



KILMORIE 21 WITHROW AVENUE

CULTURAL HERITAGE IMPACT STATEMENT

THEBERGE HOMES

OCTOBER 2017



MTBA

ARCHITECTURE • URBANISM • CONSERVATION

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1 INTRODUCTION

**CHIS IS LIMITED TO A REVIEW OF
THE IMPACT ON HERITAGE
VALUE ASSOCIATED WITH THE
PRELIMINARY CONCEPT SITE
LAYOUT**

This Cultural Heritage Impact Statement (CHIS) was requested by the City of Ottawa to evaluate a proposed development at 21 Withrow Avenue in the City View area of Ottawa (within the former City of Nepean). The proponents are Theberge Homes, the architects are Urban Design Diva Inc., and the planners are Holzman Consulting. The proposed development is located within a large property that contains a historic building designated under Part 4 of the Ontario Heritage Act. It is not within a Heritage Conservation District.

This Cultural Heritage Impact Statement is intended to evaluate the impact of the proposed development on 21 Withrow Avenue and, more specifically, the portion of the property (restricted to the house) that has been identified as possessing heritage value, in a manner consistent with the City of Ottawa Official Plan section 4.6.1. It includes: a description of the property, its surroundings, the affected Heritage asset and the proposed development; an evaluation of the expected impacts associated with the proposed developments on the affected Heritage asset; potential opportunities for mitigation to reduce the impact upon the Heritage asset; and a conclusion. Full descriptions of the CHIS requirements, approved by Council on Feb. 22, 2012 are available at <http://ottawa.ca/en/city-hall/planning-and-development/how-develop-property/development-application-review-process-2-3#a-guide-to-preparing-cultural-heritage-impact-statements>

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PROPERTY DESCRIPTION

ADDRESS

21 WITHROW AVENUE, OTTAWA

ALSO KNOWN AS KILMORIE

PART IV DESIGNATION YES

PART V DESIGNATION NO

2.1. SITE DESCRIPTION

21 Withrow Avenue is a large estate property (2 acre +) located within the City View neighbourhood in Ottawa (former City of Nepean). The closest major intersection is Merivale Road and Clyde Avenue. Access to the site is provided via a single asphalt paved lane from Winthrow Avenue that is the only break in the continuous tree and brush line along the perimeter of the property. Due to the continuity and size of the trees that mark the property's boundary, there is a definite sense of containment or isolation present when one is within the property. That being said, there are houses along the north, east and west that are visible through the trees and brush due to their close proximity to the property line.

While the rest of the neighbourhood has been subdivided into smaller lots, the character of the property and one of its two structures pre-date the dominant development character of the surrounding neighbourhood. It speaks to the agricultural roots of the former City of Nepean, a rare surviving example of a property associated with farming within this part of the city.



BOTTOM Approximate limit of the property noted by dotted red line. *GeoOttawa*

TOP View of the house on approach on the lane leading from Withrow Avenue.

MIDDLE Looking west along Withrow Avenue with the subject property on the left of the image.

BOTTOM View of the house looking down the lane from Withrow Avenue.



TOP Looking south on Tower Road with the subject house barely visible (dotted red oval) beyond the tree cover.

MIDDLE Looking east on Rita Avenue towards the subject property.

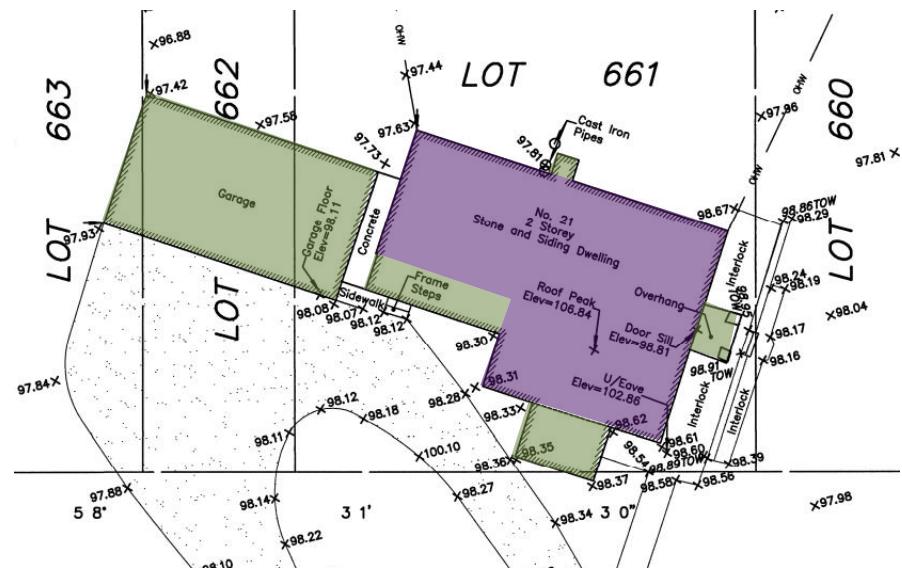


STRUCTURES

There are two structures located on the subject property, including a three-car garage that was constructed between 1976 and 1991 (based on review of historic aerial photographs) and the main house that was constructed circa 1840-1850.

The main house is a 1-1/2 storey stone structure, orientated with its main (front) elevation, facing east with a secondary elevation facing south. The symmetrical front elevation is characterized by a contemporary flat roof porch, centrally placed door assembly with large sidelites and transom (with stained glass insert), and a centrally-placed arced fanlite above the main entry. The secondary south elevation, that faces the main drive, includes two primary components: a gable end elevation with 3 visible historic openings (with contemporary windows) and a 1-storey contemporary addition clad in aluminum siding; and a rear protection set well back from the south elevation of the main portion of the house. This set back portion currently includes an enclosed porch, finished in the same masonry as the garage.

The original house is T-shaped in plan. There are no historic windows with the possible exception of the north elevation fanlite and the stained glass transom. While there have been modifications to the house, there is a moderate to high level of integrity with the stone walls, chimneys and roof profile remaining with limited change. Most significantly, the original front verandah that wrapped the southeast corner of the house was replaced with a portico, while the original 6-over-6 windows have been replaced and a small addition to the south side of the house was constructed.



BOTTOM Highlighting the various portions of the house. Purple identifies the limit of the original house. Green identifies the various modifications.

TOP Looking north towards the house along the drive.

MIDDLE East (main) elevation of the house.

BOTTOM Detail of the fanlite above the main entrance.





ROW 1 LEFT Detail of the stained glass panel above the main entrance.

ROW 1 RIGHT Detail of a shutter hook adjacent to the north window on the east elevation.

ROW 2 LEFT Painted metal basket (one of pair) adjacent to main entrance.

ROW 2 RIGHT Detail of the portico at the main entrance.

ROW 3 A portion of the south elevation.

ROW 4 LEFT Garage structure to the west of the house.

ROW 5 RIGHT Detail of the contemporary porch enclosure with house behind.

ROW 6 LEFT Rear (north) elevation of the house.

ROW 6 RIGHT Detail of the masonry stone walls on the north elevation.



GROUNDS

Isolated from its surroundings and accessible from only one lane, Kilmorie includes grounds primarily to the south and east of the house. The landscaping is primarily lawn, and also includes brush, 3 large trees near the point where the lane goes into its oval loop, other smaller trees and a range of trees and brush along the perimeter of the property. Based on a review of the property on site and a review of the aerial photos, the grounds are broken into three zones: east grounds (in front of the main elevation), southwest arrival court and south grounds. The south grounds are separated from the remainder of the property by a line of trees.



MIDDLE Looking north across the south portion of the grounds.

BOTTOM Looking northwest on approach to the garage, highlighting the bushes in the middle of the oval drive.



TOP Detail of the "3 gateway trees" where the drive splits.
3 of the earlier 4 trees remain.

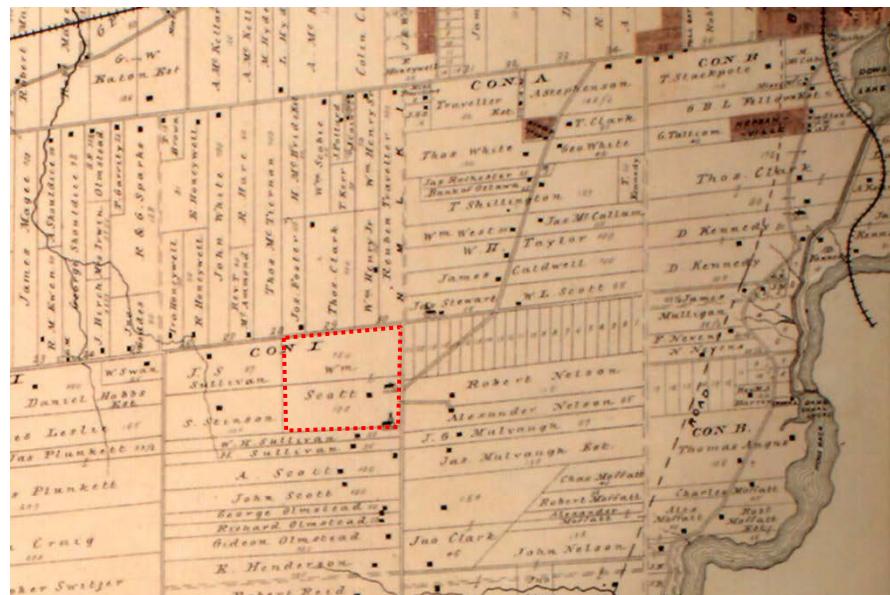


2.2. SITE HISTORY

Historical value within this site is primarily associated with the early settlement of Nepean Township, along with its agricultural origins and its association with the short tenure of William Wilfred Campbell, a Confederation Poet who lived on the property from 1914-1918.

Development of the subject property dates to circa 1840-1850 when the 1-1/2 storey house was constructed for William Scott. This house, which still exists on the property (with a number of modifications), is an example of the early-to-mid 19th century stone cottage that was a common structure along the Rideau corridor. This type of structure was common as it provided a large amount of space without incurring the additional taxes associated with a two storey house during the period of its construction. After the death of William Campbell in 1918, the property was eventually purchased by the Roger family in 1951.

Owning the property for more than 50 years, the Roger family represents the longest and most recent occupier of the property. Dr. John Roger is an important figure in the local medical community practicing at the Civic Hospital in a range of capacities, including cardiology, radiology, and internal medicine. He also served as the President of the Medical Arts Building for a number of years and was involved with Beechwood Cemetery. Serving in multiple high level positions, including Director of the Board and President, Dr. Roger's support and guidance was key during the 1990s in safe guarding the cemetery from development. Dr. Roger passed away in 2015.



BOTTOM Highlighting the extent of the Scott property located within Nepean Township circa 1870s.
<http://digital.library.mcgill.ca/Countyatlas/Images/Maps/TownshipMaps/car-m-nepean.jpg>

THIS PAGE Aerial photographs of the property and immediate context. *GeoOttawa*



2.3. SURROUNDING CONTEXT

21 Withrow is located within the City View area of Ottawa and, more specifically, St. Clair Gardens. The surrounding subdivision is somewhat unusual due to its grid street layout, dating to its subdivision in 1913. Due to its location and distance from employment centres, the area was slow to develop with most lots remaining undeveloped in the 1940s when developers began purchasing the larger market gardens to build homes. From 1952 to 1974, the small neighbourhood was a police village with a limited tax base. The neighbourhood origins are reflected in the lack of sidewalks. Eventually, the neighbourhood was absorbed by Nepean and then by the City of Ottawa after amalgamation in 2001.

While the surrounding context has seen consistent evolution with a range of housing and construction periods, there is a general sense of consistency that pervades the surrounding neighbourhood. Key characteristics that provide consistency include a street grid, setbacks, trees and general scale of homes (all of the observed homes within the two blocks surrounding 21 Withrow were fully detached). Houses in the surrounding area were a mix of two-storey, one storey bungalows and split level homes. In general, the two storey houses appear to be more recent infill, owing to their materials. This includes three houses a few doors west of the subject property.



BOTTOM House on St Helen's Place.



THIS PAGE Examples of houses on the south side of Withrow Avenue within close proximity to the subject site.

TOP Contemporary two-storey single family home at the corner of Pender Street and Rita Avenue.

MIDDLE Example of a bungalow on Rita Avenue.

BOTTOM Example of homes on the north side of Tower Road, immediately north of the subject site.



TOP Merivale Road located 1-2 blocks east of the subject site, looking south.

MIDDLE TOP Merivale Road located 1-2 blocks east of the subject site, looking north.



KILMORIE 21 WITHROW AVENUE, OTTAWA, ONTARIO

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HERITAGE RESOURCE STATEMENT OF SIGNIFICANCE

3.1. DESCRIPTION OF PROPERTY

Kilmorie, 21 Withrow Avenue, is a one-and-one-half-storey stone house constructed between 1840 and 1850 in City View, in former Nepean Township.

3.2. CULTURAL HERITAGE VALUE

Kilmorie has cultural heritage value for its association with the early settlement of Nepean Township and with the Confederation Poet William Wilfred Campbell and for its design value as an example of a 19th century vernacular stone house.

Kilmorie's historical value lies in its association with the early development of City View, in former Nepean Township. Constructed at some point between 1840 and 1850 as a farmhouse for William Scott, who emigrated from Ireland to Upper Canada in 1819 as part of a wave of Irish Protestants who settled in Nepean Township in the 19th century, Kilmorie serves as a reminder of the area's agricultural history. Kilmorie is also associated with William Wilfred Campbell, one of the Confederation Poets, a group of poets born in the 1860s who became popular in Canada at the end of the 19th century. Campbell purchased Kilmorie in 1914 and lived there until his death in 1918.

Kilmorie has design value as an example of the vernacular stone buildings constructed in the classical tradition in the Ottawa area in the early-to-mid 19th century. Exemplifying its type, Kilmorie is constructed of limestone, has a gable roof with returned eaves and symmetrical facades. The front facade is highlighted by a tripartite window with decorative fanlight in the central gable.

3.3. HERITAGE ATTRIBUTES

Those features of Kilmorie, 21 Withrow Avenue, that exemplify it as a good example of a 19th century vernacular stone house in the classical tradition include:

- One-and-one-half-storey massing;
- limestone construction, laid in random courses;

- symmetrical front facade with central entrance flanked by large rectangular windows;
- truncated gable roof with chimneys at each end and central gable featuring a tripartite window with decorative fanlight;
- returned eaves;
- large, symmetrically arranged, rectangular window openings, on the north and south facades; and
- stone sills and voussoirs.

The interior of the building, the small addition on the south side of the house and the recent garage are excluded from the designation.

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DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development was reviewed as per concept renderings, drawings and plans, dated June 30, 2017 and July 5, 2017 provided by the proponent Theberge Homes and the Architect Urban Diva Design Inc. The development at this preliminary stage focuses on the subdivision of the subject property that includes a historic house that has been designated under Part IV of the Ontario Heritage Act. A full set of schematic architectural plans have not yet been provided. Therefore this CHIS is considered preliminary. **A revised site plan proposal was provided on September 18, 2017. This revised plan is reviewed as the final proposal for submission.**

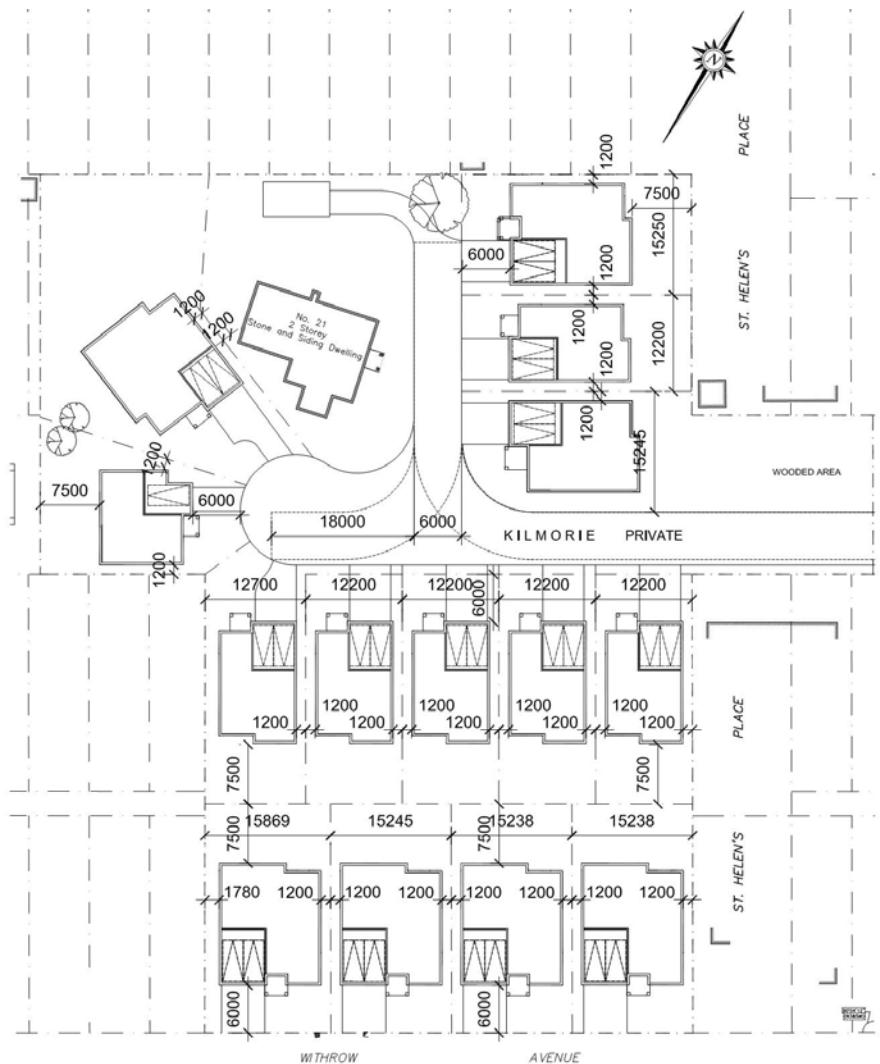
4.1. PRIMARY PROPOSAL ELEMENTS

The proposed site plan includes the following primary elements:

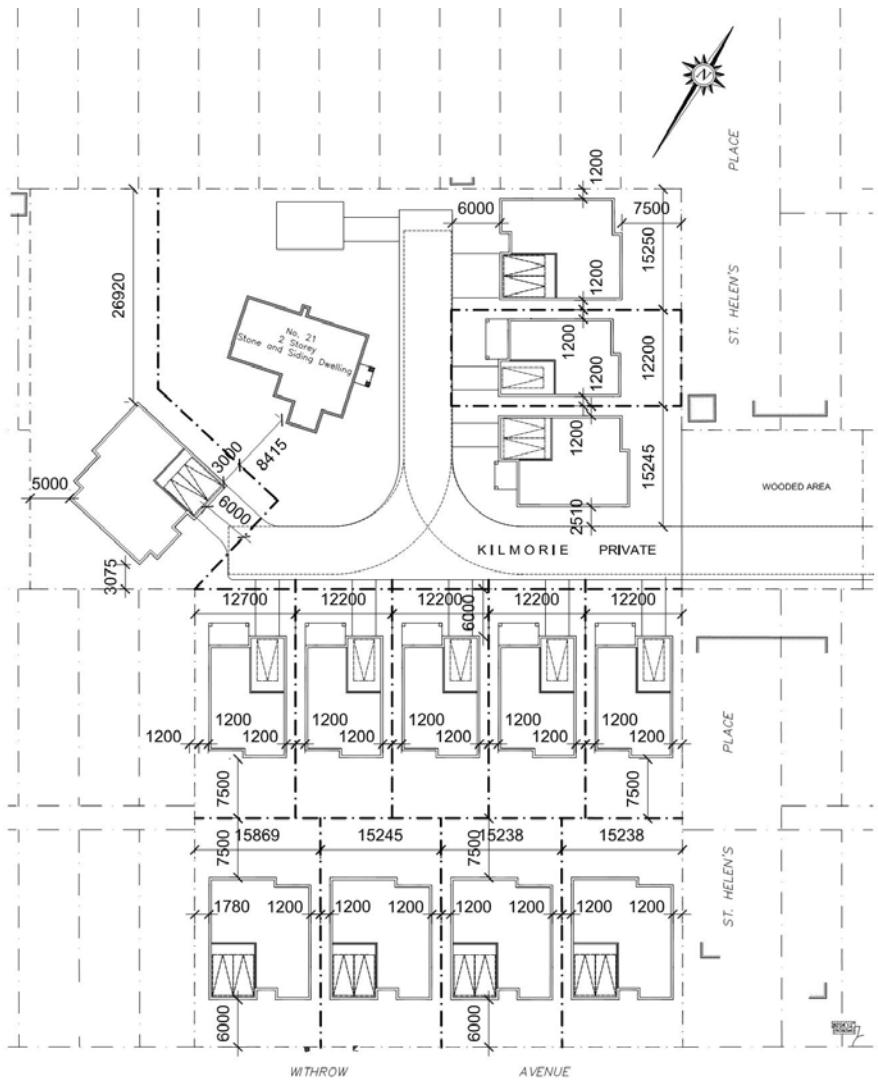
- Removal of the garage structure (west of the historic asset) and the enclosed porch (south elevation of the historic asset - not a heritage element);
- Construction of a new single car garage for the existing house, in lieu of the removed three-car garage identified above;
- Construction of a new road in line with Cleto Avenue and terminating in a turnaround (cul-de-sac);
- Sub-dividing the subject property to allow for the construction of 14 single family homes (July 5th site plan) **that was reduced to 13 single family homes in the September 18th site plan. These totals exclude the retention of the existing heritage residence which is proposed to be retained with selective removals as part of the proposed development.** The preliminary elevations for the proposed homes show a two-storey structure with a hip roof, finished in a variety of materials including brick, stone, and stucco (*materials and final design subject to change as design evolves*).

TOP Proposed revised site plan (July 5th). *Urban Diva Design Inc.*

BOTTOM Example elevation illustrating preliminary massing and materials for the single family homes.
Urban Diva Design Inc.



TOP Proposed site plan (September 18th). *Urban Diva Design Inc.*



5 IMPACT OF PROPOSED DEVELOPMENT ON DEFINED HERITAGE CHARACTER

This review is based on the original July 5th site plan and includes updated text related to the September 18th site plan, as appropriate, noted in *green italicized text*.

5.1. ARCHITECTURAL VALUE

Identified Heritage Value/Attribute	Proposed Development Impact
19th century vernacular stone house (Cultural Heritage Value - CHV)	The proposed development proposes the retention of the original stone house. As such, the heritage value of this portion of the physical heritage asset is not negatively impacted.
One-and-one-half-storey massing (Heritage Attribute - HA)	The proposed development does not negatively physically impact the heritage asset. However, the proposed development does negatively impact the historic asset as it visually overwhelms the 1-1/2 house in certain areas. <i>The updated site plan eliminates one single family home in close proximity to the western edge of the heritage home, lessening the impact on the heritage home. Lesser mitigation measures will be required.</i>
Limestone construction, laid in random courses (HA)	The proposed development layout does not negatively physically impact the heritage asset. For conservation work, the use of qualified and experienced trades is strongly recommended.
Symmetrical front facade with central entrance flanked by large rectangular windows (HA)	The proposed development layout does not negatively physically impact the heritage asset. However, the proposed development does negatively impact the historic asset as it visually overwhelms the 1-1/2 house

in certain areas. *The updated site plan eliminates one single family home in close proximity to the western edge of the heritage home, lessening the impact on the heritage home. Lesser mitigation measures will be required.*

Truncated gable roof with chimneys at each end and central gable featuring a tripartite window with decorative fanlight (HA)

Returned eaves (HA)

The proposed development layout does not negatively physically impact the heritage asset. For conservation work, the use of qualified and experienced trades is recommended.

The proposed development layout does not negatively physically impact the heritage asset. Retention of this heritage attribute is strongly recommended as part of any conservation work.

Large, symmetrically arranged, rectangular window openings on the north and south facades (HA)

The proposed development layout does not negatively physically impact the heritage asset. Retention of this heritage attribute is strongly recommended as part of any conservation work.

Stone sills and voussoirs (HA)

The proposed development layout does not negatively physically impact the heritage asset. For conservation work, the use of qualified and experienced trades is strongly recommended.

5.2. HISTORICAL VALUE

Identified Heritage Value/Attribute	Proposed Development Impact
Association with the early development of City View, in former Nepean Township. Constructed at between 1840 and 1850 (CHV)	The property's boundaries have been continuously eroded since the land grant, especially during the late 19th century. However, the loss of the grounds negatively impacts its historical value. This would be the case in any significant development of the property.
Kilmorie is also associated with William Wilfred Campbell, one of the Confederation Poets (CHV)	The grounds of Kilmorie factored into the writings of Wilfred Campbell. As such, the loss of the expansive grounds surrounding the heritage home could be said to negatively impact the property's historical value. This would be the case in any significant development of the property.

5.3. ENVIRONMENTAL VALUE

Identified Heritage Value/Attribute	Proposed Development Impact
None	N/A

5.4. OTHER CONSIDERATIONS

While not explicitly identified as a heritage attribute of the property, the grounds are important to the historic value of the house, especially the associations with early development in Nepean Township and the association with Confederation Poet Wilfred Campbell. The grounds and their organization are also important to how the house is perceived. As discussed above, the grounds are broken into three reasonably defined zones:

- East grounds (in front of the main elevation);
- Southwest arrival court;
- South grounds.

Zone	Characteristic	Proposed Development Impact
East grounds	Open views to main elevation of the historic home	Place of proposed house to east of historic asset limits distance back from house. Placement of proposed house to west of historic asset will likely overwhelm the historic asset when viewed from east and south. <i>The updated site plan eliminates one single family home in close proximity to the western edge of the heritage home, lessening the impact on the heritage home. Lesser mitigation measures will be required.</i>
Southwest court	Views up laneway to historic house	Views lost.
	View to southeast corner of house	View lost. There is limited opportunity to view the southeast corner of the house from the proposed access private. Views to southeast corner of historic asset maintain prominence in proposed development; however, new views are from east rather than from south.
	Screening of garage	Garage is removed. However, the placement of the proposed house immediately west of the historic asset will likely overwhelm the historic asset when viewed from east and south. <i>The updated site plan eliminates one single family home, in close proximity to the western edge of the heritage home lessening the impact on the heritage home. Lesser mitigation measures will be required.</i>
South grounds	Distinctive character separate from remainder of grounds	The bulk of the proposed development is located within the south grounds.

		The open character of this area is lost; however, it is less important to the defined heritage character of the property.
	Three "gateway" trees near top of lane. Trees within the grounds are unique as most trees are along periphery of property	The three gateway trees are lost as part of the proposed development.

5.5. POSITIVE IMPACTS

The proposed development retains the original house and a limited portion of the grounds within the proposed site plan layout. The house contains all of the identified heritage attributes.

6

MEASURES TO ENHANCE RESPONSIVENESS TO HERITAGE CHARACTER

This review is based on the original July 5th site plan and includes updated text related to the September 18th site plan, as appropriate, noted in *green italicized text*.

MOST NOTABLE MITIGATION MEASURES INCLUDE: REMOVING PROPOSED HOUSE IMMEDIATELY WEST OF HISTORIC ASSET, INCREASING LAWN TO EAST OF HISTORIC ASSET

6.1. SPECIFIC TO THE PROVIDED SITE PLAN

PRIMARY MEASURES

1. Include measures to protect the integrity of the existing house during the dismantling of the additions, the removal of the garage and the construction of the proposed homes adjacent to the existing house.
2. Enact larger setbacks from the west side of the house. Views from the south and east towards the house are important historically and in the proposed development towards the existing house. The scale of the proposed dwellings and the close proximity of the dwelling immediately west of the historic asset will likely visually overwhelm the existing house. A recommended mitigation approach is to remove the proposed house immediately west of the historic asset. Alternatively, the proposed single-car garage home to the south could be removed and the double-car garage proposed house adjacent to the historic asset could be “shifted” south. Whatever removal scenario is used, there should not be any new construction within 7.5 meters of the historic home, in order to preserve at least minimal space around and views to the heritage resource. Any new construction more than one typical residential storey in height should be a minimum of 10.0 m from the historic home, in order to not visually overwhelm the heritage resource.
The September 18th updated site plan reflects this recommended setback to the west of the heritage home, satisfying the largest concern associated with this recommendation. To further enhance the relationship between the proposed development and the heritage resource, carefully planned landscaping along the northeast edge of the new home to the west of the heritage resource (extending past the edge of the proposed house along the edge of the driveway) should be introduced to provide a partial landscape screen.

3. Explore opportunities to increase the amount of lawn in front of the east (main) elevation of the house. Additional landscape screening should also be explored within the front yards of the houses proposed to the east of the heritage resource.
4. Explore opportunities to retain the "gateway" trees located near the top of the current entry laneway.

SECONDARY MEASURES

1. Locate a garage for the historic asset to its west. This is more historically reflective of the site's evolution (potentially representing the third such structure in this area since 1967). Any new outbuilding should possess a lower profile than the existing house. Exterior finishes for the garage should be sympathetic to the character of the existing house, but reflect the secondary nature of the garage structure. If the new garage associated with the heritage resource is situated in a new location, the proposed placement is ideal for minimizing visual impact on the heritage resource.

RECOMMENDATIONS ON THIS PAGE ARE INTENDED TO GUIDE FUTURE DESIGN DEVELOPMENT AND WOULD TYPICALLY NOT BE REFLECTED AT THIS STAGE OF DESIGN DEVELOPMENT

6.2. RECOMMENDATIONS FOR DESIGN DEVELOPMENT AND BEYOND

HOUSE

1. Prepare complete set of as-found drawings and photographs to record the house.
2. Develop a conservation plan and condition assessment to guide the preservation of the original house.
3. Employ qualified and experienced trades for preserving the limestone masonry walls of the existing house and for repairing interface areas associated with the removed additions.
4. Explore opportunities to introduce historically sympathetic windows.
5. While the original wrap-around porch was removed many decades ago, the southeast corner of the house is and will remain a prominent focal point and the introduction of a wrap-around porch would help emphasize this corner. The removal of the small south addition would provide the visual space to accept the new porch. If pursued, the new porch should match the outline of the original and be sympathetic to the character of the house, but not necessarily a recreation of the original porch.
6. Introduce a porch off of the south face of the west portion of the house where the enclosed porch is currently located. The design details of this porch should match those of the wrap-around porch discussed above.

GROUNDS

1. Develop a commemorative element(s) highlighting the history of the property and its occupants.
2. Explore opportunities to open distant views towards the historic asset from Withrow Avenue.
3. Explore opportunities to increase the screening of the proposed houses within the south grounds from the remainder of the proposed development.
4. Explore opportunities to retain the greenery to the north of the historic asset. This greenery provides a historically appropriate background for views towards the house from within its immediate context.
5. Explore opportunities to screen proposed houses located to the west of the historic asset, similar to the character of the current plantings within the access oval.
6. Explore opportunities to retain trees currently situated around the periphery of the grounds to reflect the insular nature of the existing property and its relationship with the broader context.

SURROUNDING DEVELOPMENT

In order to enhance the responsiveness of the surrounding development to the historic resource there are a range of design measures that can be employed during future design development. These measures are recommended for the proposed houses located within views of the historic house including the proposed houses fronting onto Kilmorie Private.

RECOMMENDED DESIGN MEASURES

- Materials and colours should be sympathetic to the historic resource and its stone cladding. Potential measures include employing grey stone or brick cladding as the dominant material. Secondary materials such as wood and cement board, if used should be neutral in colour to minimize visual noise;
- Primary materials employed on the front elevations should continue on the side elevations to emphasize the three dimensional and detached nature of each proposed house;
- Proposed houses should be designed to minimize the visual presence of the garage. This includes recessing the garage, employing two doors in lieu of a single large door for two-car garages, among other measures;
- Minimize the visual impact of the proposed house height;
- Employ a range of designs for the street-fronting elevations of the proposed house with well-considered and varied roof lines that achieve a balance of variation and visual quietness;
- Explore opportunities to employ larger porches on the street-fronting elevations of proposed houses. Porches are design elements that can assist in modulating the scale of the houses when viewed from the street;
- Design of proposed houses should be contemporary in character, but sympathetic to the historic resource to avoid creating a false sense of history and diminishing the historic resource's presence.

7

PRECEDENTS AND LIMITATIONS

On a project-by-project basis, heritage conservation planning must consider related planning issues and broader Municipal objectives in order to be relevant and effective. When the design of a proposed development is evaluated, its merits are found by examining a matrix of elements and considerations. This evaluation is non-transferable on a “pick and choose” basis to another future development, which may want to utilize some attributes, but not others.

Planning issues beyond this specific mandate will be dealt with separately, as appropriate. Heritage planning is a component part of overall community planning.

8 CONCLUSION

8.1. IMPACT ON HERITAGE VALUE

This review is based on the original July 5th site plan and includes updated text related to the September 18th site plan, as appropriate, noted in *green italicized text*.

The analysis of the proposed development's impact is limited to the provided documentation and, as such, reflects a site plan-scale impact analysis, along with a high level concept for the proposed detached houses. All proposed houses are currently planned to be detached and two-storeys in height with primarily hipped-roof forms.

While the heritage attributes identified within the property's Statement of Significance are limited to the house, there are elements within the grounds that directly influence the perception of the house, along with the historic value of the property. As such, this document considers both the impact on the identified heritage attributes and the role of the grounds in the perception of the house's attributes. The proposed development does not negatively physically impact the historic asset. This statement anticipates appropriate measures to be put in place to protect the historic asset during the removal of additions and the construction of the proposed houses within close proximity to the historic asset, as well as during the preservation and rehabilitation activities on the house.

The most noteworthy impacts associated with the proposed development on the defined heritage character of the property are associated with views of the existing house and proximity of new construction. To minimize the impact on the historic resource, there are a range of potential measures identified above in **Section 6 Measures to Enhance Responsiveness to Heritage Character**. Of all of the identified mitigation measures, the removal or relocation of the proposed house situated immediately west of the historic asset is the most significant from a development standpoint and from a historic resource protection standpoint. *The September 18th updated site plan significantly improves the setback of the new home situated to the west of the heritage resource, including the removal of one of the proposed houses in this area.*

8.2. CONCLUSION

This review is based on the original July 5th site plan and includes updated text related to the September 18th site plan as appropriate noted in *green italicized text*.

The proposed development does not physically impact the historic asset and the impacts on the visual character of the historic asset can be mitigated to a large extent by employing the various measures identified in this document which enhance heritage character responsiveness. If the proposed mitigation measures, especially the following items, are reflected in the final site plan, the level of impact on the historic asset is considered acceptable in the professional opinion of the reviewer. Key mitigation measures include:

1. Remove or relocate the proposed house located immediately west of the historic asset, as per Section 6, Item 6.1.2 above. *The September 18th updated site plan significantly improves the setback of the new home situated to the west of the heritage resource, including the removal of one of the proposed houses in this area.*
2. Explore opportunities to retain some or all of the "gateway" trees.
3. Explore opportunities to increase lawn to the east of the historic asset.

In addition, it is recommended that the proponent incorporate the various measures intended to enhance heritage character responsiveness during the design development process, as identified in Sections 6.

A.1 BIBLIOGRAPHY

Canada's Historic Places, A Federal, Provincial and Territorial Collaboration. *Standards and Guidelines for the Conservation of Historic Places in Canada, 2nd ed.* Ottawa: Her Majesty the Queen in Right of Canada, 2011.

Collins, Leslie. *Designation of Kilmorie, 21 Withrow Avenue under Part IV of the Ontario Heritage Act (Report to Built Heritage Sub-Committee, Planning Committee and Council submitted March 23, 2016)*. Ottawa: City of Ottawa, 2016.

A.2 ADDITIONAL PROPOSED DEVELOPMENT DOCUMENTATION

No additional proposed development information was provided.

A.3 AUTHOR QUALIFICATIONS

MTBA ASSOCIATES HERITAGE & PLACES OF SIGNIFICANCE

MTBA's expertise in heritage development issues spans the full spectrum from Heritage Conservation District (HCD) Studies, to Cultural Heritage Impact Statements (CHIS) to adaptive reuse, to advising on development within heritage environments or with heritage structures, to suit an existing context. MTBA has high level expertise in heritage value and heritage intervention evaluations for sites considered to be places of significance.

COMMUNITY & CONSENSUS

MTBA works within both the planning and architectural environments to most effectively deliver projects that have a more complex nature, such as challenges with zoning or public relations or technical conservation. Working creatively with property owners and developers, municipal and provincial heritage and planning professionals, with community and special-interest groups, and a broad array of stakeholders, MTBA uses wide experience facilitating workshops and design charrettes on both sides of development issues. MTBA has gained a reputation as leading community and urban conservation experts in Eastern Ontario and Western Quebec, including building and community sustainability.

SUMMARY OF RELEVANT CULTURAL HERITAGE IMPACT STATEMENTS

MTBA Associates Inc have completed numerous Cultural Heritage Impact Statements or similar documents, including the following selected from recent files:

- Chateau Laurier Proposed Addition, Ottawa, ON
- 205 Crichton Street Residential Addition, New Edinburgh Conservation District, Ottawa, ON
- 453 Bank Street Proposed Mixed Use Development (with Contentworks), Ottawa, ON
- 233 Armstrong Proposed Mixed Use Development, Ottawa, ON
- 186 Frontenac Street Residential Addition, Kingston

- 72 Crichton Street Residential Addition, New Edinburgh Conservation District, Ottawa, ON
- 174 Bolton Street Multi-unit Residential Development, Lowertown West Conservation District, Ottawa, ON
- Purdy's Mill Multi-unit Residential Development adjacent to National Historic Site, Kingston, ON
- 1003 Prince of Wales Residential Development adjacent to a National Historic Site and UNESCO World Heritage Site, Ottawa, ON

EXPERTISE

MARK BRANDT, Senior Conservation Architect & Urbanist, OAA, RAIC, LEED AP BD&C, CAHP, APT, is a registered professional Architect, Urbanist and Conservation Consultant with over 30 years of experience in these fields. Brandt has been called as an expert witness for both the Ontario Conservation Review Board and the Ontario Municipal Board. Clients from a range of both private and public sectors, such as real estate developers, the Ontario Heritage Trust, Government of Canada, National Capital Commission, municipalities, school boards, community associations, and many others, appreciate the broad expertise that Brandt and the Team at MTBA bring to a project, including natural and cultural conservation and cultural heritage landscapes and districts.

Mark is the former Chair of the City of Ottawa Heritage Advisory Committee (LACAC). He sits on the Board of the Association for Preservation Technology International (Co-Chair, Technical Committee for Sustainable Preservation) and is a former Board Member of the Canadian Green Building Council Ottawa Region (Chair, Existing Buildings Committee). He is a former Board Member of the Canadian Association of Heritage Professionals (CAHP) and the Algonquin College Architecture Advisory Committee, was awarded the Ontario Conservation Achievement Award and is Past President of HODI Historic Ottawa Developments Inc., among many other professional and community positions and awards.

CHRIS WARDEN, Senior Conservation Architect, RAIC, LEED AP BD&C brings more than 10 years' experience in the fields of architecture and conservation. His expertise is at all levels of technical, design and research activities. He has reached the level of Senior Associate at MTBA and works as a key Project Manager with a specialty in heritage conservation on some of MTBA's most important projects.

STAFF

The Firm runs a staff of seven people dedicated to all of our wide-ranging projects from technical analysis to community design. We work at the nexus of natural & cultural conservation and specialize in the magic that occurs when new meets old. The Firm maintains current media and communication technology including advanced digital 3D modelling, internet media, and real time video animation, using many platforms and programs.