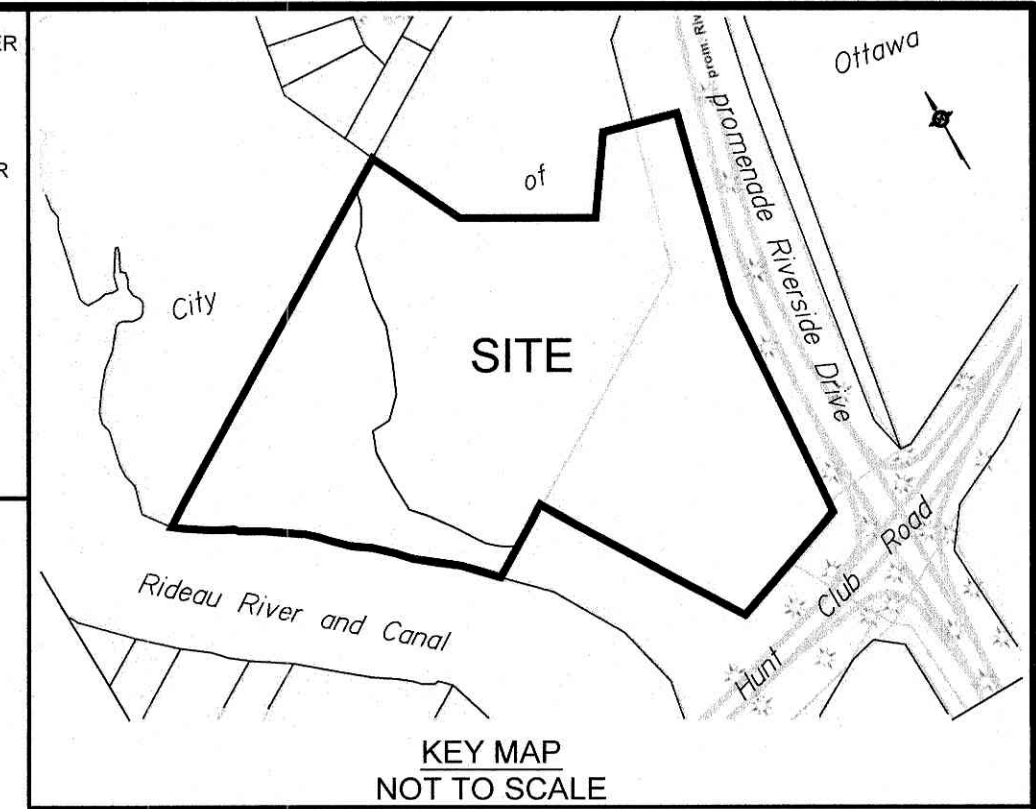


SUBJECT TO THE CONDITIONS, IF ANY, SET FORTH IN OUR LETTER DATED
May 16, 2025
THIS DRAFT PLAN IS APPROVED BY THE CITY OF OTTAWA UNDER SECTION 51 OF THE PLANNING ACT.
THIS 6th DAY OF JULY 2025

LILY XU, MCIP RPP, MANAGER,
DEVELOPMENT REVIEW SOUTH
PLANNING, REAL ESTATE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



REVISION SCHEDULE			
NO.	REVISION	DATE	BY
8	walkway block added	DEC. 12, 2024	N
7	revised Block 46	NOV. 27, 2024	N
6	revised Blocks 33 to 38	DEC. 7, 2023	N
5	added traffic circle, revised Blocks 41/42	SEPT. 7, 2023	N
4	area conversions added to land use table	JAN. 10, 2023	N
3	REVISIONS	NOV. 17, 2022	N
2	REVISIONS	NOV. 15, 2022	N
1	PLAN PREPARED	NOV. 8, 2022	N

**DRAFT PLAN OF SUBDIVISION OF
PART OF LOT 5
CONCESSION 2 (RIDEAU FRONT)**
Geographic Township of Gloucester
CITY OF OTTAWA
Prepared by Annis, O'Sullivan , Vollebakk Ltd.
Scale 1 : 750

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE
I CERTIFY THAT :
The boundaries of the lands to be subdivided and their relationship to
adjoining lands have been accurately and correctly shown.

Date May 22, 2025
T. Hartwick
ONTARIO LAND SURVEYOR

OWNER'S CERTIFICATE
This is to certify that I am the owner / agent of the lands to be subdivided and that
this plan was prepared in accordance with my instructions.
Date Jun 2, 2025
Jeff Parkes, President
St. Mary's Lands Corporation
I have authority to bind the corporation

**ADDITIONAL INFORMATION REQUIRED UNDER
SECTION 51-17 OF THE PLANNING ACT**
(a) see plan
(b) see plan
(c) see plan
(d) single and multi-family residential housing, park land, open space
(e) see plan
(f) see plan
(g) see plan
(h) City of Ottawa
(i) see soils report
(j) see plan
(k) sanitary, storm sewers, municipal water, bell, hydro, cable and
gas to be available
(l) see plan

PROPOSED LAND USE TABLE				
PROPOSED USE	LOTS/BLOCKS	AREA (sqm)	AREA (Ac)	AREA (Ha)
SINGLE FAMILY	1 - 24	10 219	2.52	1.022
	25 - 32,			
	34, 35, 36	12 780	3.16	1.278
TOWNHOMES	42, 43, 44, 45			
	38, 39, 40, 41	12 480	3.08	1.248
	33	416	0.10	0.042
APARTMENTS	37	172	0.04	0.017
	47	2 659	0.66	0.266
	46	1 278	0.32	0.128
	52	2 259	0.56	0.226
	55	218	0.05	0.022
PARK				
ENVIRONMENTAL	48, 54, 56	19 892	4.92	1.989
STREETS	1-4	15 972	3.95	1.597
WIDENING	49, 50	398	0.10	0.040
EMBANKMENT	51	1 322	0.33	0.132
WALKWAY	53	1 510	0.37	0.151
TOTAL SITE AREA = 81 581 sqm 20.16 (Ac) 8.158 (Ha)				