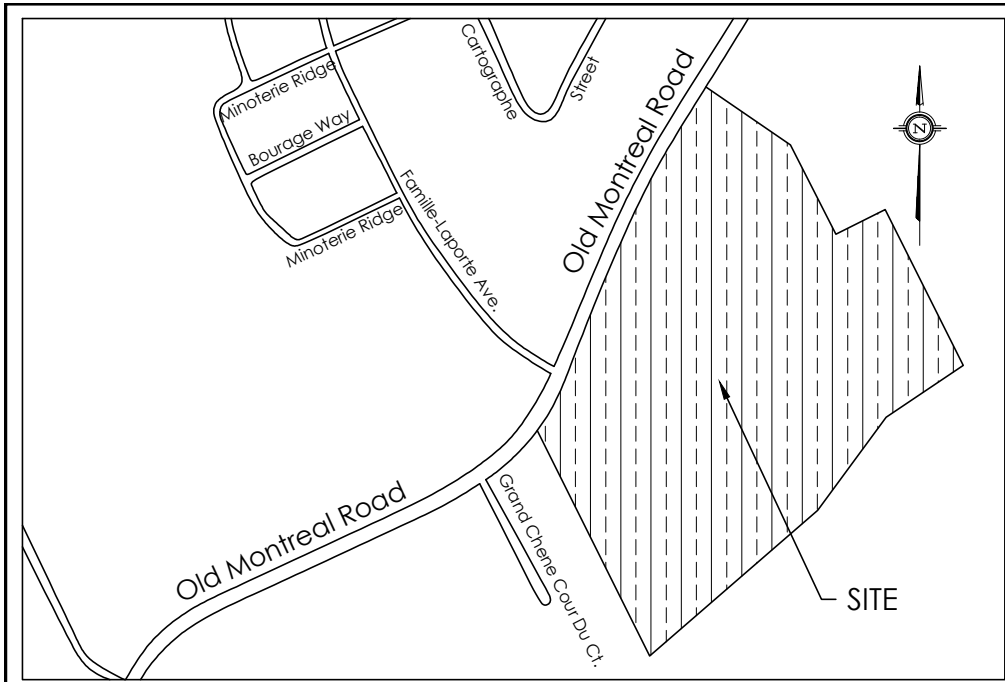




KEY PLAN
n.t.s.

2
SP1

EXISTING 1-STORY HOUSE [1138 OLD MONTREAL RD]
EXISTING ABOVE GROUND POOL & DECK
EXISTING 1-STORY GARAGE

60m EROSION ACCESS
GEOTECHNICAL SETBACK

25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

25.0m setback from Top of Bank

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25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

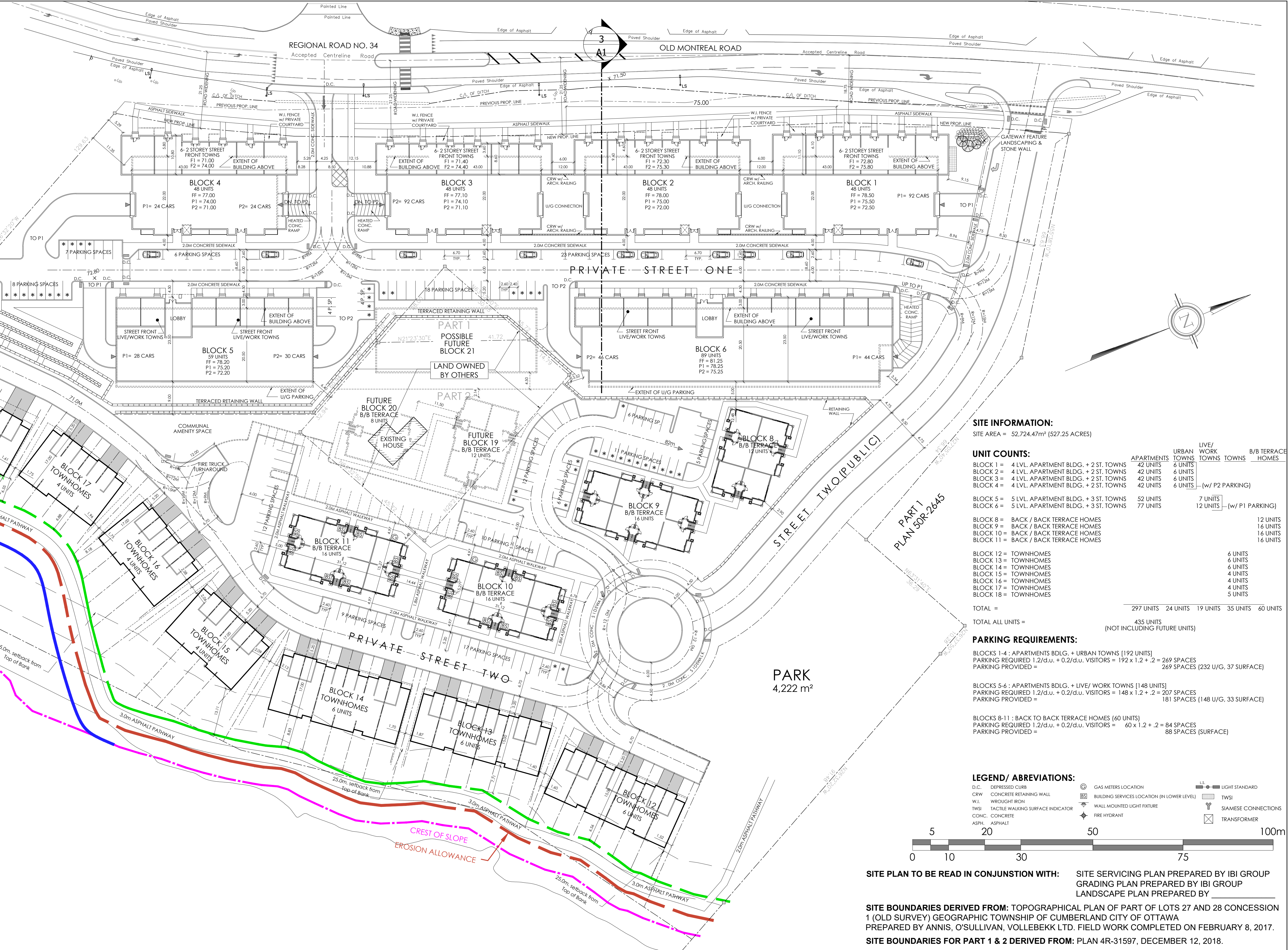
25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

25.0m setback from Top of Bank

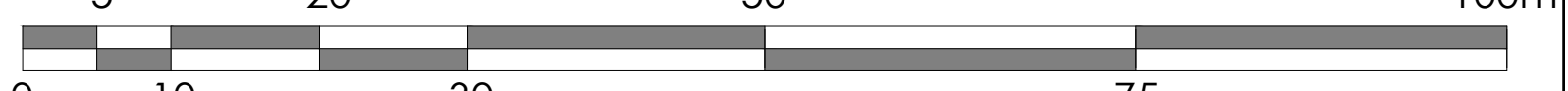


SITE INFORMATION:
SITE AREA = 52,724.47m² (527.25 ACRES)

UNIT COUNTS:	APARTMENTS	URBAN TOWNS	LIVE/WORK TOWNS	B/B TERRACE HOMES
BLOCK 1 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		
BLOCK 2 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		
BLOCK 3 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		
BLOCK 4 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS	(w/ P2 PARKING)	
BLOCK 5 = 5 LVL. APARTMENT BLDG. + 3 ST. TOWNS	52 UNITS		7 UNITS	
BLOCK 6 = 5 LVL. APARTMENT BLDG. + 3 ST. TOWNS	77 UNITS		12 UNITS (w/ P1 PARKING)	
BLOCK 8 = BACK / BACK TERRACE HOMES				12 UNITS
BLOCK 9 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 10 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 11 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 12 = TOWNHOMES				6 UNITS
BLOCK 13 = TOWNHOMES				6 UNITS
BLOCK 14 = TOWNHOMES				4 UNITS
BLOCK 15 = TOWNHOMES				4 UNITS
BLOCK 16 = TOWNHOMES				4 UNITS
BLOCK 17 = TOWNHOMES				4 UNITS
BLOCK 18 = TOWNHOMES				5 UNITS
TOTAL =	297 UNITS	24 UNITS	19 UNITS	35 UNITS
TOTAL ALL UNITS =	435 UNITS (NOT INCLUDING FUTURE UNITS)			

PARKING REQUIREMENTS:
BLOCKS 1-4: APARTMENTS BLDG. + URBAN TOWNS [192 UNITS]
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 192 x 1.2 + .2 = 269 SPACES
PARKING PROVIDED = 269 SPACES (232 U/G, 37 SURFACE)
BLOCKS 5-6: APARTMENTS BLDG. + LIVE/WORK TOWNS [148 UNITS]
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 148 x 1.2 + .2 = 207 SPACES
PARKING PROVIDED = 181 SPACES (148 U/G, 33 SURFACE)
BLOCKS 8-11: BACK TO BACK TERRACE HOMES [60 UNITS]
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 60 x 1.2 + .2 = 84 SPACES
PARKING PROVIDED = 88 SPACES (SURFACE)

LEGEND/ ABBREVIATIONS:
D.C. DEPRESSIONED CURB
CRW CONCRETE RETAINING WALL
W.I. WROUGHT IRON
TWSI TACTILE WALKING SURFACE INDICATOR
CONC. CONCRETE
ASPH. ASPHALT
GAS METERS LOCATION
BUILDING SERVICES LOCATION (IN LOWER LEVEL)
WALL MOUNTED LIGHT FIXTURE
FIRE HYDRANT
LIGHT STANDARD
TWSI
SIAMESE CONNECTIONS
TRANSFORMER

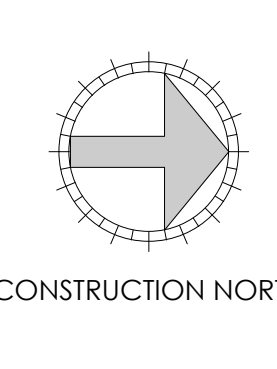


SITE PLAN TO BE READ IN CONJUNCTION WITH:
SITE SERVICING PLAN PREPARED BY IBI GROUP
GRADING PLAN PREPARED BY IBI GROUP
LANDSCAPE PLAN PREPARED BY

SITE BOUNDARIES DERIVED FROM: TOPOGRAPHICAL PLAN OF PART OF LOTS 27 AND 28 CONCESSION 1 (OLD SURVEY) GEOGRAPHIC TOWNSHIP OF CUMBERLAND CITY OF OTTAWA
PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. FIELD WORK COMPLETED ON FEBRUARY 8, 2017.
SITE BOUNDARIES FOR PART 1 & 2 DERIVED FROM: PLAN 4R-31597, DECEMBER 12, 2018.

M. David Blakely Architect Inc.
2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSURE THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANINGS AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THE DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.



SEAL

No.	DATE	DESCRIPTION	INIT.
12.	11/09/19	REVISED MODEL TYPES / LAYOUT	SM
11.	28/01/19	REVISED MODEL TYPES / LAYOUT	SM
10.	12/07/21	CONTOUR LINES ADDED	MB
9.	13/06/18	REVISED BLOCKS 1-4	SM
8.	05/04/18	ADDED SCALE TO SECTION	SM
7.	04/01/18	REVISED BLOCK LOCATIONS	SM
6.	28/09/17	REVISED SITE BOUNDARIES	SM
5.	20/09/17	REVISED SITE LAYOUT	SM
4.	05/07/17	REVISED UNIT TYPES	SM
3.	13/04/17	REVISED SITE LAYOUT	SM
2.	21/12/16	REVISED 36 UNIT BLOCK LAYOUT	SM
1.	30/11/16	FOR REVIEW	INIT.
24.	13/08/21	1138 OLD MTL. STRUCTURES ADDED	MB
23.	14/07/21	GENERAL REV. / FOR COORD.	MB
22.	12/07/21	ROAD WIDENING REVISIONS FOR REVIEW	MB
21.	24/06/21	ROAD WIDENING REVISED	MB
20.	18/06/21	ROAD WIDENING OVERLAYED	MB
19.	08/06/21	BLK. 8 CONVERTED TO TERR. HOMES	MB
18.	10/02/21	SIDEWALK & PVT. STREET 2 DELETED	MB
17.	05/02/21	OLD. MTL. RD. GEOMETRY UPDATED	MB
16.	29/01/21	BOUNDARIES UPDATED/ PARTS 1&2	MB
15.	03/11/20	GEO TECHNICAL ADDED	MB
14.	13/07/20	BLKS 5&6 & 8 REVISED / GRADES REVISED	MB
13.	04/12/19	REVISED BLDG. FOOTPRINTS / LAYOUT	INIT.

No.	DATE	DESCRIPTION	INIT.
26.	09/09/21	F.F. LEVELS REVISED AS PER IBI	MB
25.	30/08/21	ISSUED FOR RE-SUBMISSION	MB

A - DETAIL NUMBER
B - SHEET NUMBER (DETAIL REQUIRED)
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT:	PROPOSED SUBDIVISION OLD MONTREAL ROAD OTTAWA, ONTARIO.	DRAWING TITLE:	SITE PLAN
CLIENT:	PHOENIX HOMES 18A Bentley Ave Ottawa, ON K2E 6T8	DATE:	NOV., 2016
SCALE:	1:500	CHECKED:	MDB
DRAWN BY:	SBM	SHEET NO. REV NO.:	SP-1