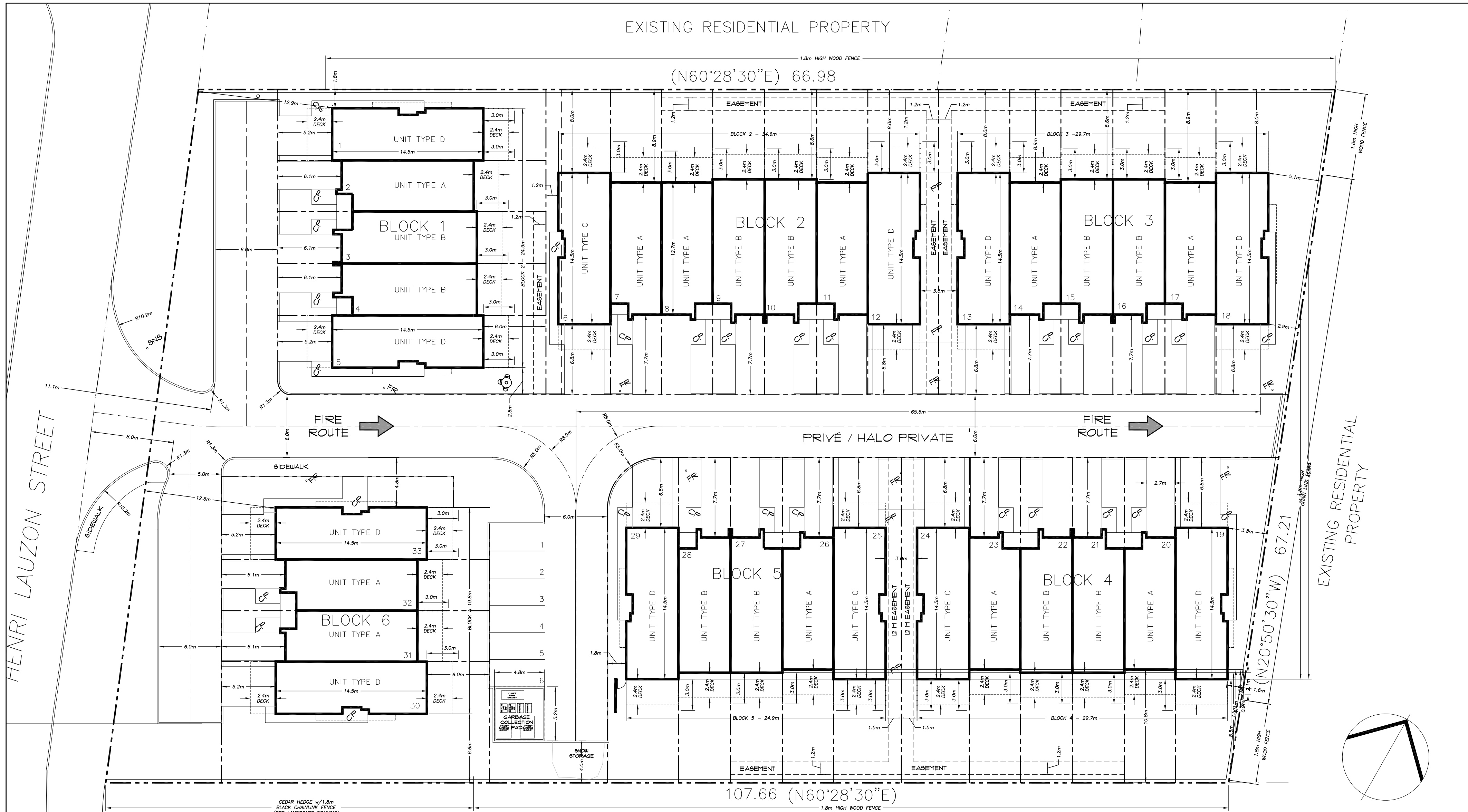
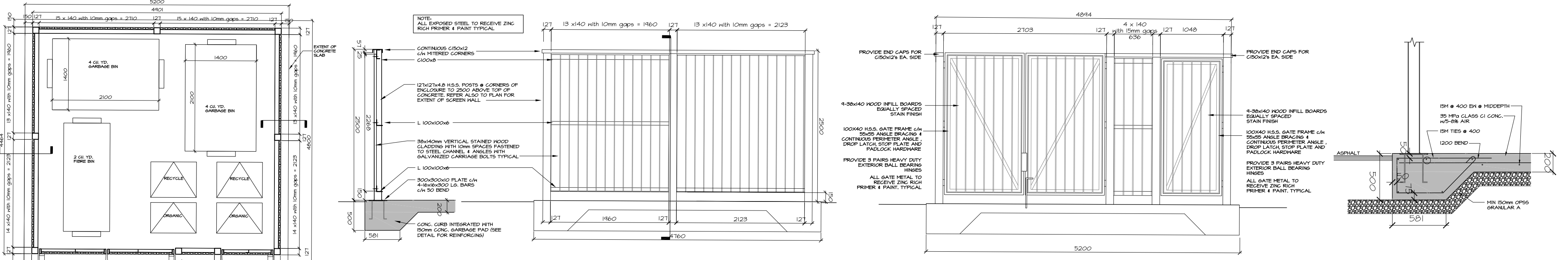
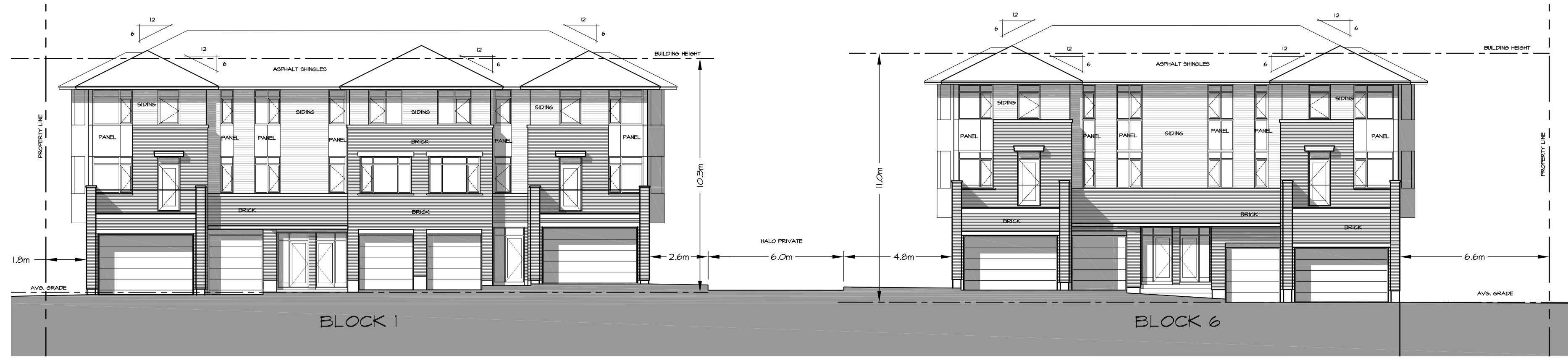




SITE PLAN



GARBAGE ENCLOSURE DETAILS

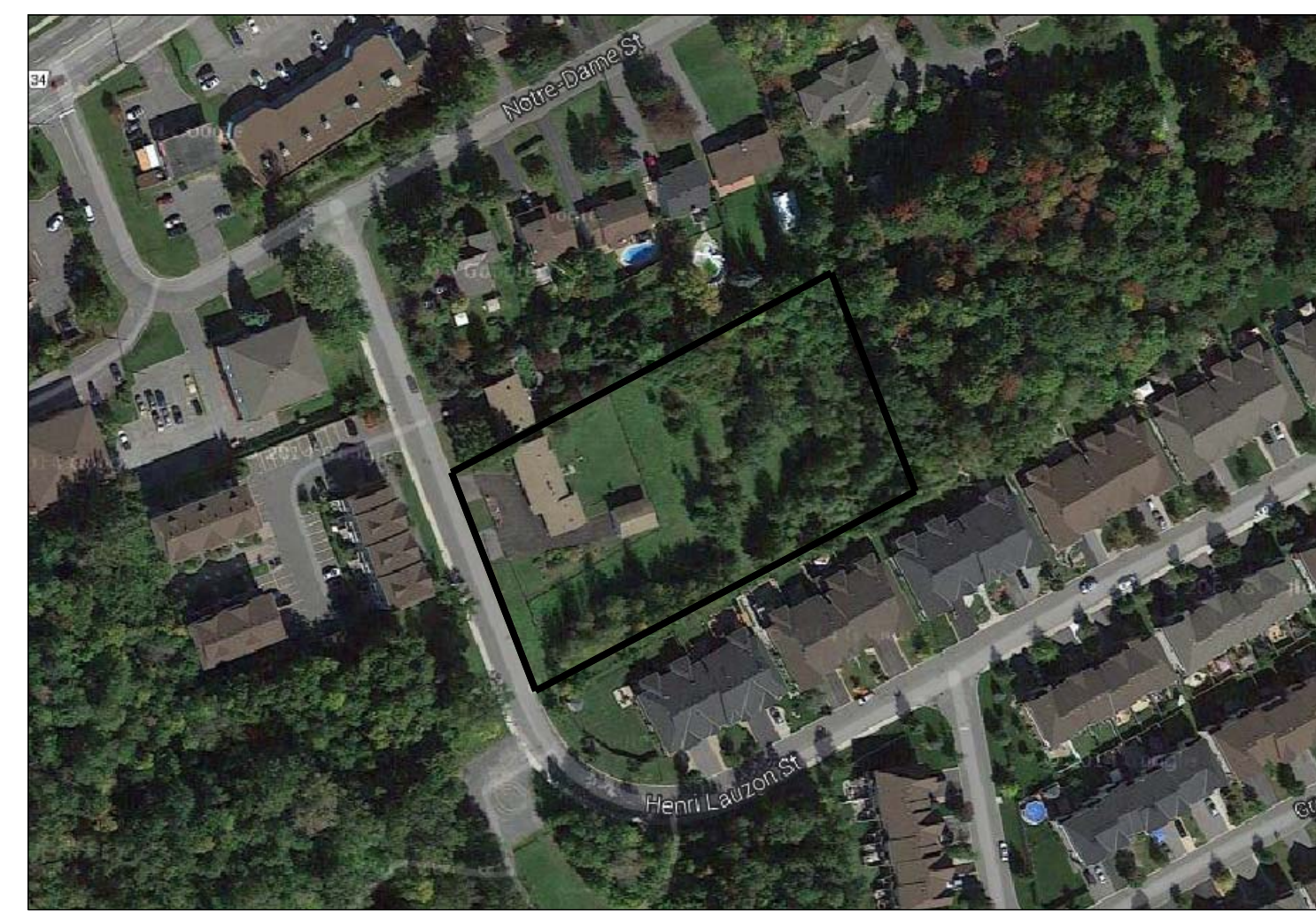


PROPOSED STREETSCAPE FROM HENRI LAUZON – N.T.S.

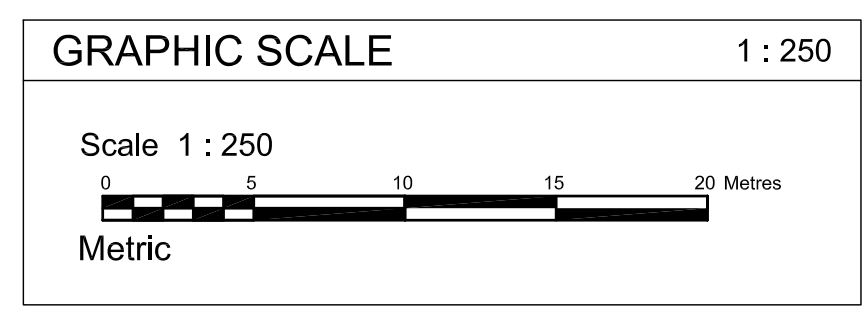
SITE STATISTICS		
PLANNED UNIT DEVELOPMENT ZONING MECHANISM		
ZONING: R3Y (1448) – RESIDENTIAL THIRD DENSITY ZONE (BY-LAW 2008-250)		
DWELLING TYPE: PUD – 33 TOWNHOUSE UNITS	REQUIRED	PROPOSED
MIN. WIDTH OF PRIVATE DRIVEWAY	6.0m	6.0m
MIN. SETBACK FOR ANY WALL TO A PRIVATE WAY	1.8m	1.8m
MIN. SETBACK FOR GARAGE	5.2m	5.2m min.
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m	2.4m
SETBACKS FRONT YARD	5.0 m	12.6 m
REAR YARD	6.5 m	1.2 m*
INTERIOR SIDE YARD	6.5 m	1.2 m*
CORNER SIDE YARD	3.0 m	N/A
MIN. LOT WIDTH	18.0 m	66.4 m
MIN. LOT AREA	1400 m ²	7186 m ²
MAX. BUILDING HEIGHT	11 m	11 m
RESIDENT PARKING SPACE (1.0 SPACE PER UNIT)	33	33
VISITOR PARKING SPACE (.20 SPACE PER UNIT)	7	43



KEY MAP with ZONING (NTS)



AERIAL VIEW



GENERAL NOTES:

1. SURVEY INFORMATION TAKEN FROM PLAN OF SURVEY PREPARED BY ARPENTAGE DUTRISAC SURVEYING INC. LEGAL DESCRIPTION: PART 2 OF LOT 5 (REGISTERED PLAN 4R-14350), CONCESSION 2 (OTTAWA FRONT), FORMERLY IN THE GEOGRAPHIC TOWNSHIP OF GLOUCESTER, NOW IN THE CITY OF OTTAWA.

SITE PLAN LEGEND:

- STREET NAME SIGN
- FIRE ROUTE SIGNAGE
- CONCRETE PATHWAY
- PREFABRICATED CONCRETE PAVEMENT
- 1.8m HIGH WOOD PRIVACY FENCE (3m MIN)

21	2019/02/07	SPCA RESUBMISSION
20	2019/01/16	ISSUED FOR REVIEW
19	2017/01/27	ISSUED FOR SPCA
18	2014/12/15	ISSUED FOR ZONING AMENDMENT 4 SITE PLAN CONTROL APPLICATION
17	2014/10/31	ISSUED FOR REVIEW
16	2014/09/24	ISSUED FOR REVIEW - ADDING 1401 HENRI LAUZON
15	2014/07/14	ISSUED SITE PLAN AMENDING 1401 HENRI LAUZON
14	2014/02/11	RE-ISSUED FOR SITE PLAN CONTROL APPLICATION
13	2013/10/04	RE-ISSUED FOR SITE PLAN CONTROL APPLICATION
12	2013/04/01	RE-ISSUED FOR SITE PLAN CONTROL APPLICATION (REVISIONS)
11	2012/04/19	RE-ISSUED FOR SITE PLAN CONTROL APPLICATION
10	2012/08/27	RE-ISSUED FOR SITE PLAN CONTROL APPLICATION
9	2012/05/16	ISSUED FOR SITE PLAN CONTROL APPLICATION
8	2011/10/18	REVISED BLOCK 1 SIDE YARD SETBACK
7	2011/09/31	SPCA RESUBMISSION

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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BARRY J. HOBIN & ASSOCIATES ARCHITECTS INCORPORATED

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project title

1401-1411 HENRI LAUZON TOWNHOUSES

OTTAWA, ONTARIO

drawing title

SITE PLAN

drawn JG	date 2014/12/15	scale 1:250
project 1012.01		drawing no. S1
revision no.		

ONTARIO ASSOCIATION OF ARCHITECTS

BARRY J. HOBIN LICENCE 3049

#16540