





LEGEND

+ 105.00 EXISTING ELEVATION

----- PROPERTY BOUNDARY

----- PRE-DEVELOPMENT DRAINAGE BOUNDARY

==> PRE-DEVELOPMENT DRAINAGE DIRECTION

↑ RUNOFF COEFFICIENT

0.50/1.25 ← AREA (ha)

PRE1

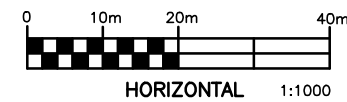
↓ DRAINAGE AREA ID

NOTES

THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

2	REVISED PER CITY COMMENTS	21/01/20	SMC
1	ISSUED FOR SUBDIVISION APPLICATION	05/12/19	SMC
NO.	REVISION DESCRIPTION	DATE	BY

SCALE



Robinson
Land Development

CONSULTING ENGINEERS
350 PALLADIUM DRIVE
KANATA, ONTARIO K2V 1A8
TELEPHONE (613) 592-6060

DESIGN	BLM
CHECKED	SMC
DRAWN	BLM
CHECKED	SMC
APPROVED	SMC

INVERNESS HOMES
38 AURIGA DRIVE, SUITE 200
OTTAWA, ON K2E 8A6
147 LANGSTAFF DRIVE
CARP, ON

PRE-DEVELOPMENT
DRAINAGE AREA PLAN

PROJECT No.	19008
SURVEY	RLD
DATED	JANUARY 2020
DWG. No.	19008-PRE1