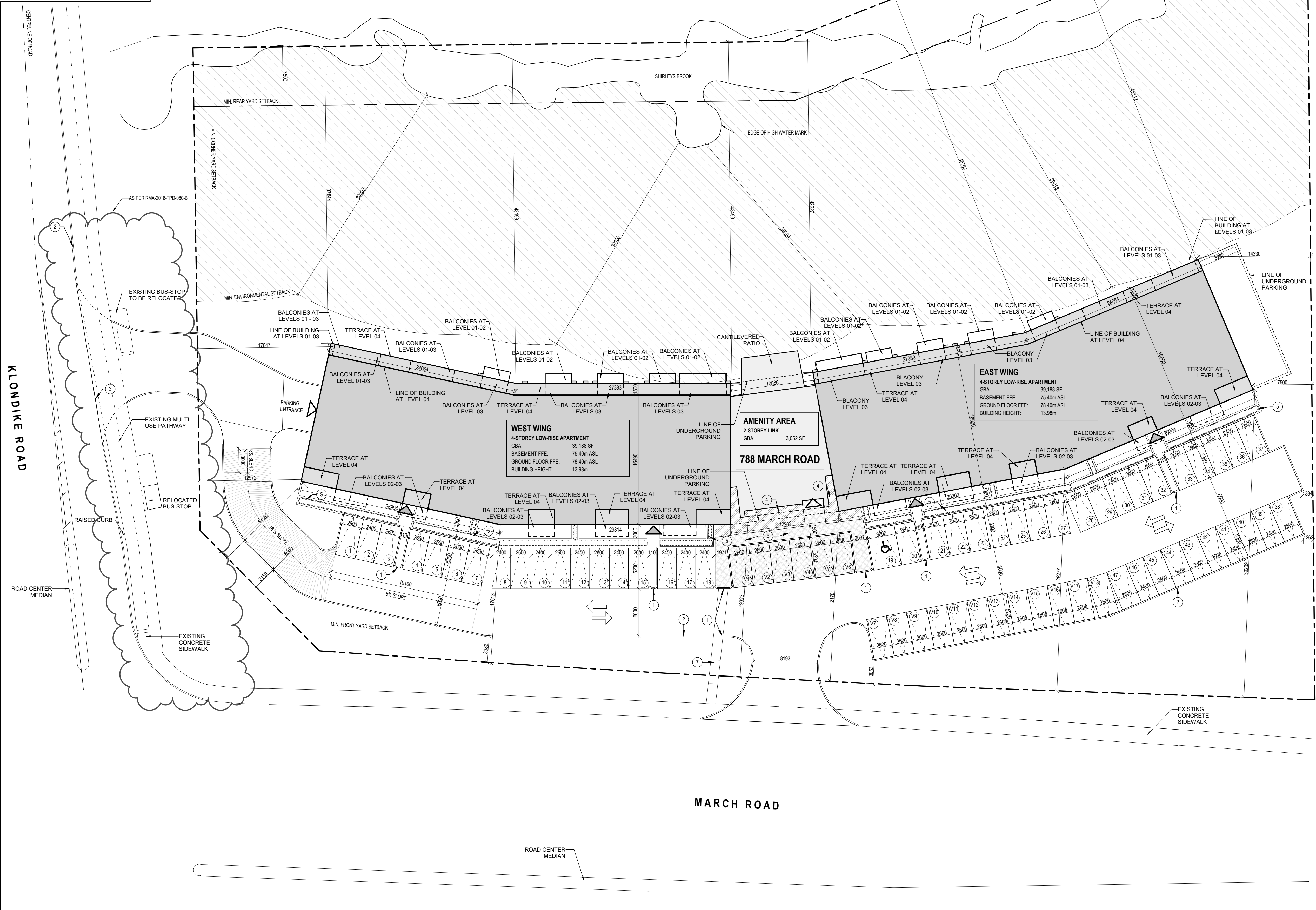


- 1 DEPRESSED CURB
2 EXISTING CURB
3 EXISTING CURB TO BE REMOVED
4 SOFT LANDSCAPE
5 RAISED PLANTER
6 INTERLOCKING STONE WALKWAY
7 CONCRETE WALKWAY

6 KEYNOTE LEGEND
SCALE: N.T.S.



5 SITE PLAN
SCALE: 1 : 250



1 LOCATION PLAN
SCALE: N.T.S.

SITE PLAN SYMBOLS LEGEND

- Building Entrance
Building Exit
Fire Hydrant
New Street Light
Street Light to be Removed
Bicycle Parking

2 SYMBOLS LEGEND
SCALE: N.T.S.

TOPOGRAPHIC PLAN OF SURVEY OF:
PART OF LOT 10
CONCESSION 4
GEOGRAPHIC TOWNSHIP OF MARCH
CITY OF OTTAWA
J.D. BARNES LTD. 2018

3 SURVEY INFO
SCALE: 1 : 1

SITE & PROJECT STATISTICS

GENERAL INFORMATION

Zoning:	3M
Min. Lot Area:	No minimum
Min. Front Yard:	3.0m
Min. Corner Yard:	3.0m
Min. Int. Side Yard:	3.0m
Min. Rear Yard:	7.5m
Max. Building Height:	18.0m
Max. Floor Space Index:	2
Min. Width Landscaped Area:	Street sides - 3.0m South side - 3.0m East side - No minimum

PROJECT STATISTICS

Lot Area:	12,204.3m ²
Front Yard:	17.51m
Corner Yard:	12.97m
Int. Side Yard:	7.5m
Rear Yard:	37.84m
Building Height:	13.98m

Number of Residential Units: 92

PARKING CALCULATION

As per Section 101

Parking Space Rate Area:	Area C
Required Resident Parking:	110 spaces
1.2 spaces per unit	

Resident Parking Provided:	110 spaces (63 underground & 47 surface)
----------------------------	--

VISITOR PARKING CALCULATION

As per Section 102

Required Visitor Parking:	18 spaces
0.2 spaces per unit	

Provided Visitor Parking:	18 spaces
---------------------------	-----------

BICYCLE PARKING CALCULATION

As per Table 111A

Required Parking:	46 spaces
0.5 spaces/res. unit - Table 111A(i)(i)	

Total Parking Provided:	46 spaces
-------------------------	-----------

AMENITY AREA CALCULATION

As per Table 137

Total Amenity Area Required:	552m ²
6m ² per res. unit, and 10% of the gross floor area of each rooming unit	

Municipal Amenity Required:	276m ²
Mn. 50% of Total Amenity Area	

Private Amenity Area Provided:	732.20m ²
Level 01:	245.30m ²
Level 02:	151.00m ²
Level 03:	136.04m ²
Level 04:	199.86m ²

Communal Amenity Provided:	283.56m ²
Level 01:	178.11m ²
Level 02:	105.45m ²

Total Amenity Area Provided:	1,015.76m ²
------------------------------	------------------------

4 ZONING
SCALE: N.T.S.

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2 ISSUED FOR COORDINATION	2020-03-27
1 ISSUED FOR COORDINATION	2020-03-06

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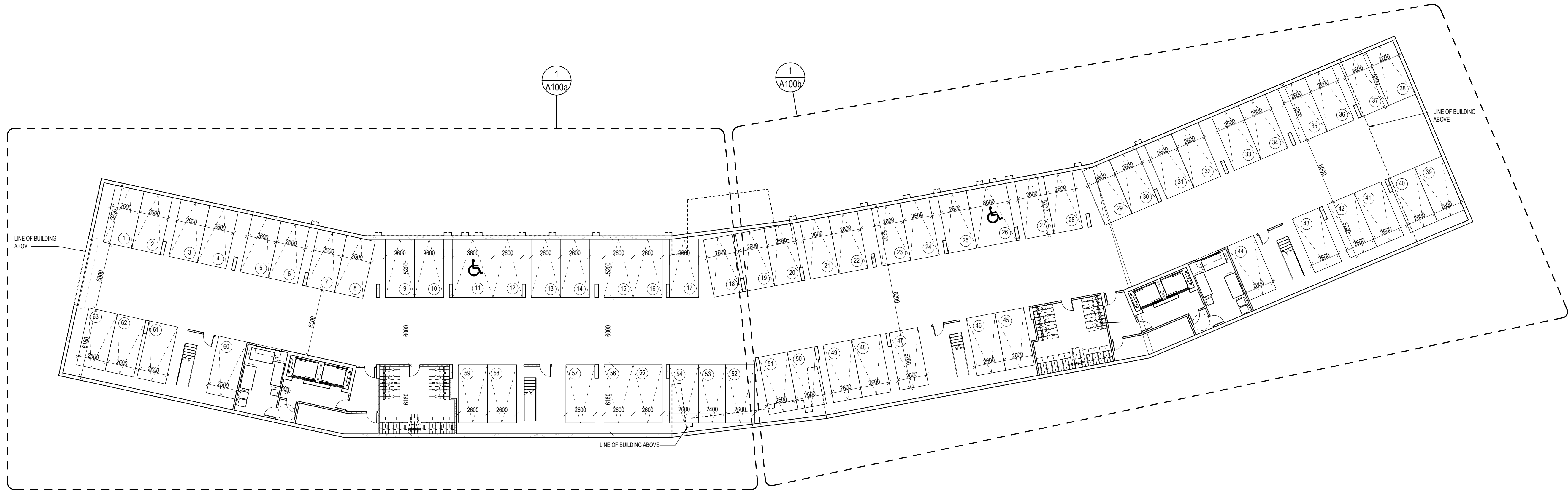
788 MARCH ROAD
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PROJ	SCALE	DRAWN	REVIEWED
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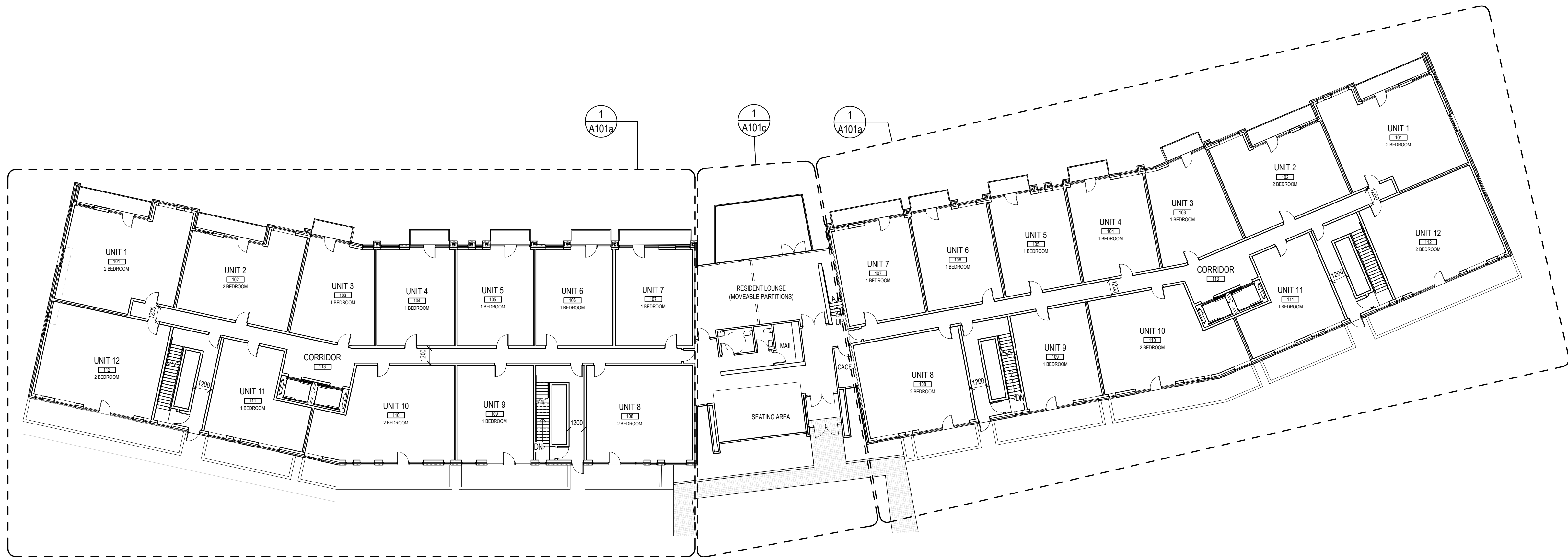
SITE PLAN

SP-01

FOR INFORMATION ONLY



1 LEVEL P1 - FLOOR PLAN - REFERENCE
A000 SCALE: 1 : 200

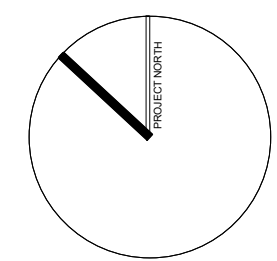


2 LEVEL 01 - FLOOR PLAN - REFERENCE
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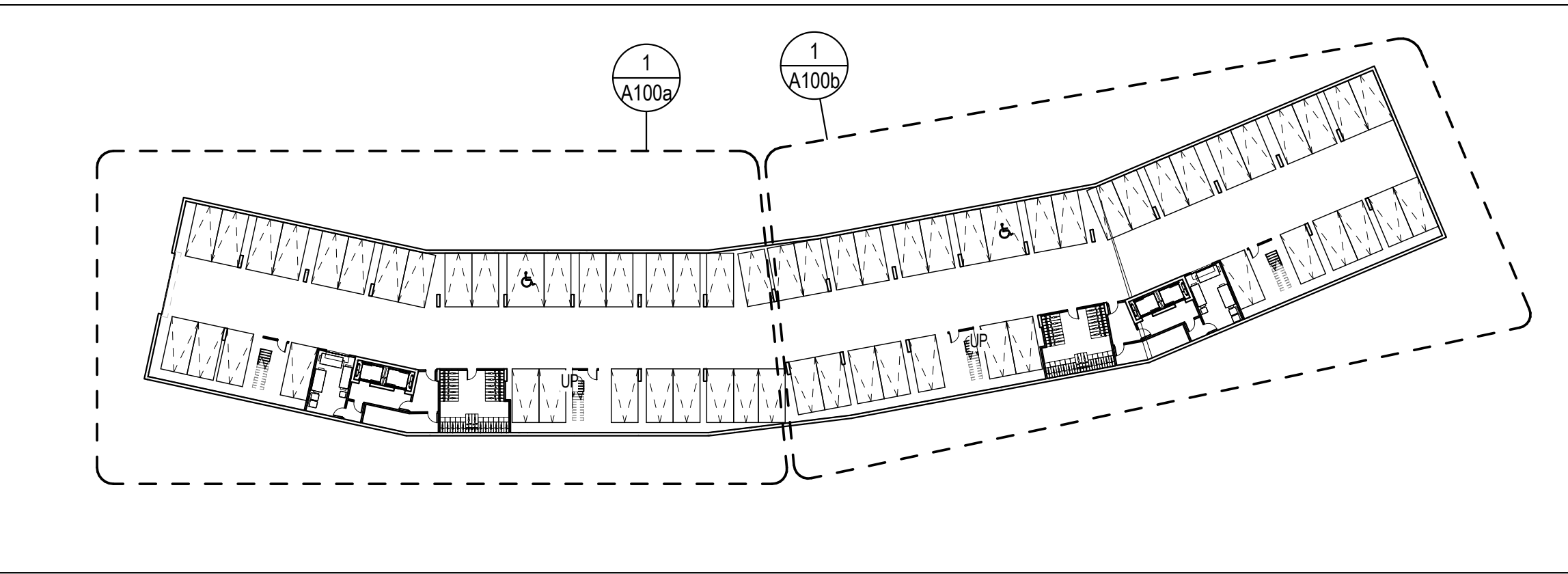
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1917	NOTED	SE	RMK

REFERENCE PLAN

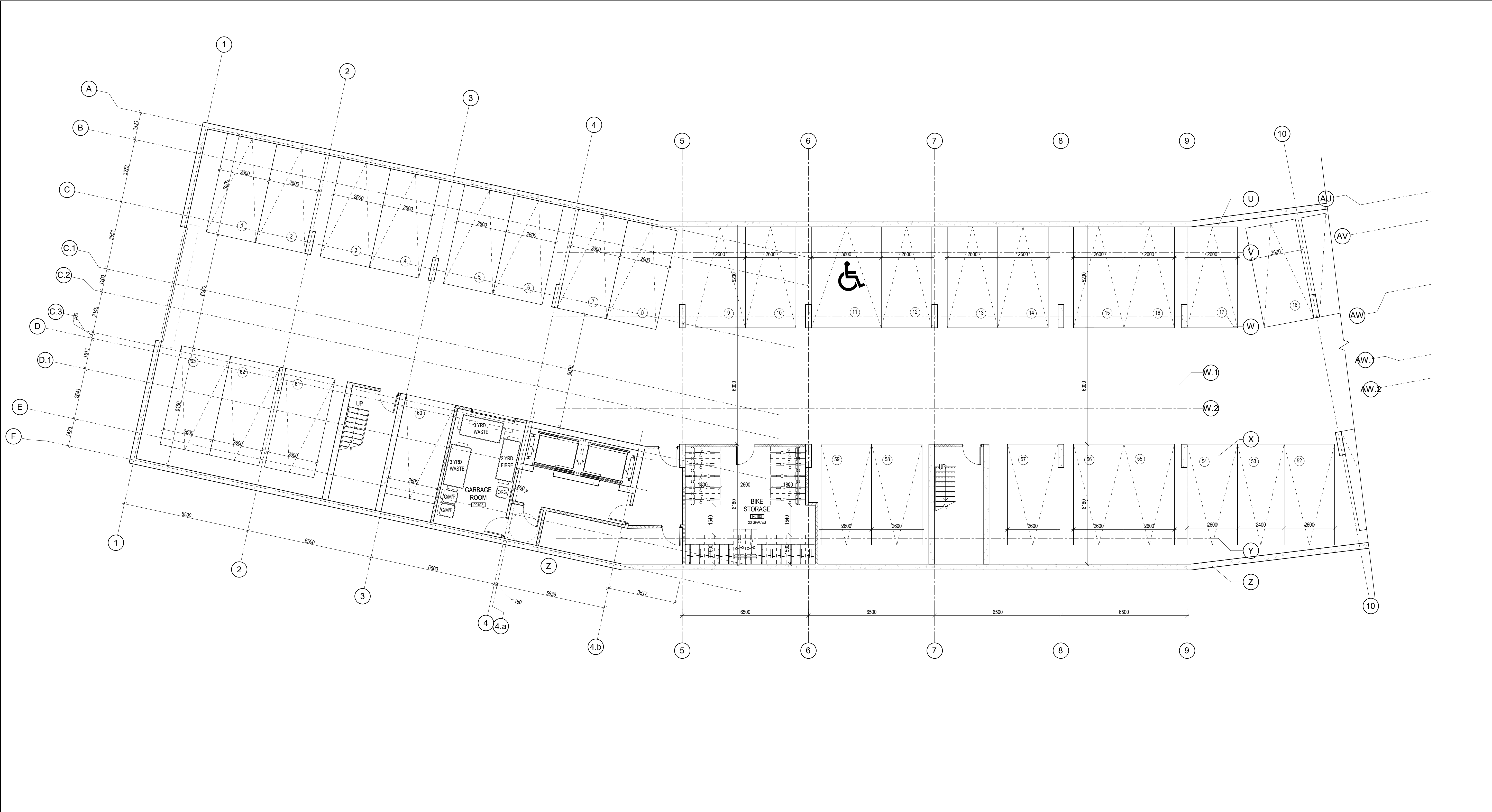
A000

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D07-12-18-0128



2 LEVEL P1 - FLOOR PLAN - KEY PLAN
A100a SCALE: 1 : 500

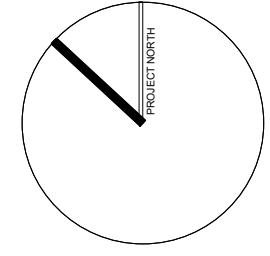


1 LEVEL P1 - FLOOR PLAN - WEST WING
A100a SCALE: 1 : 100

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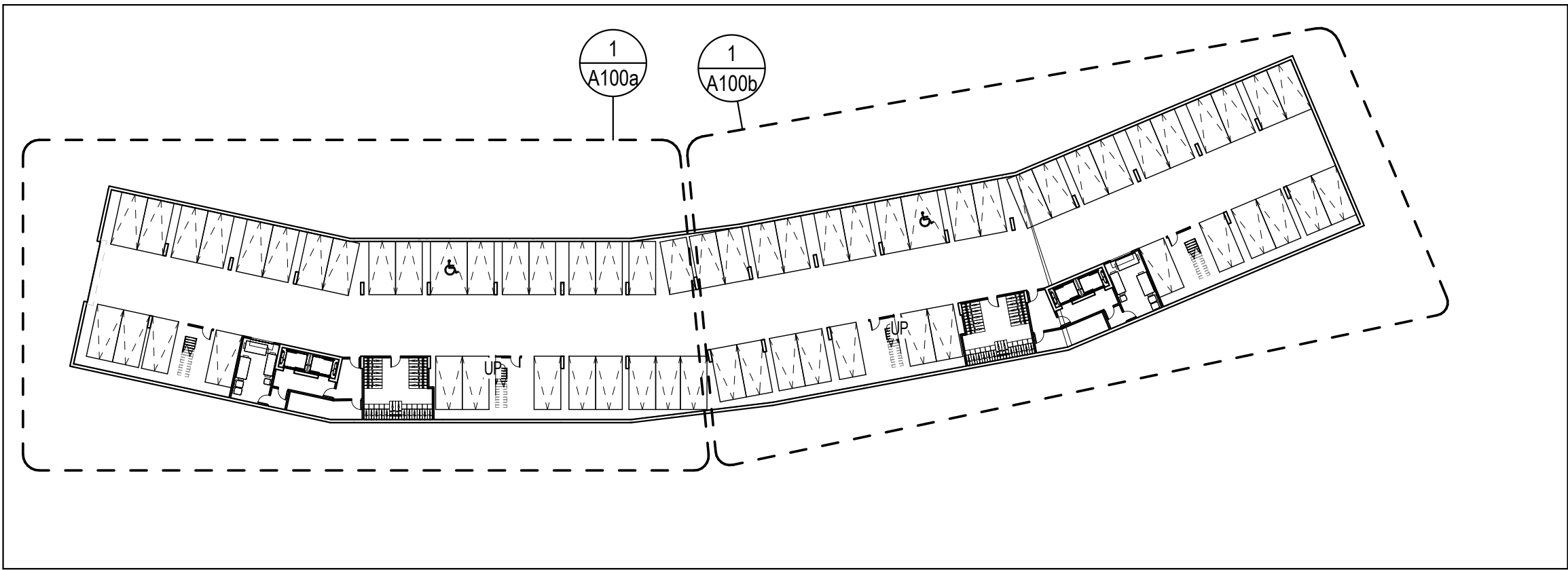
PROJ	SCALE	DRAWN	REVIEWED
1917	NOTED	SE	RMK

LEVEL P1 - FLOOR PLAN

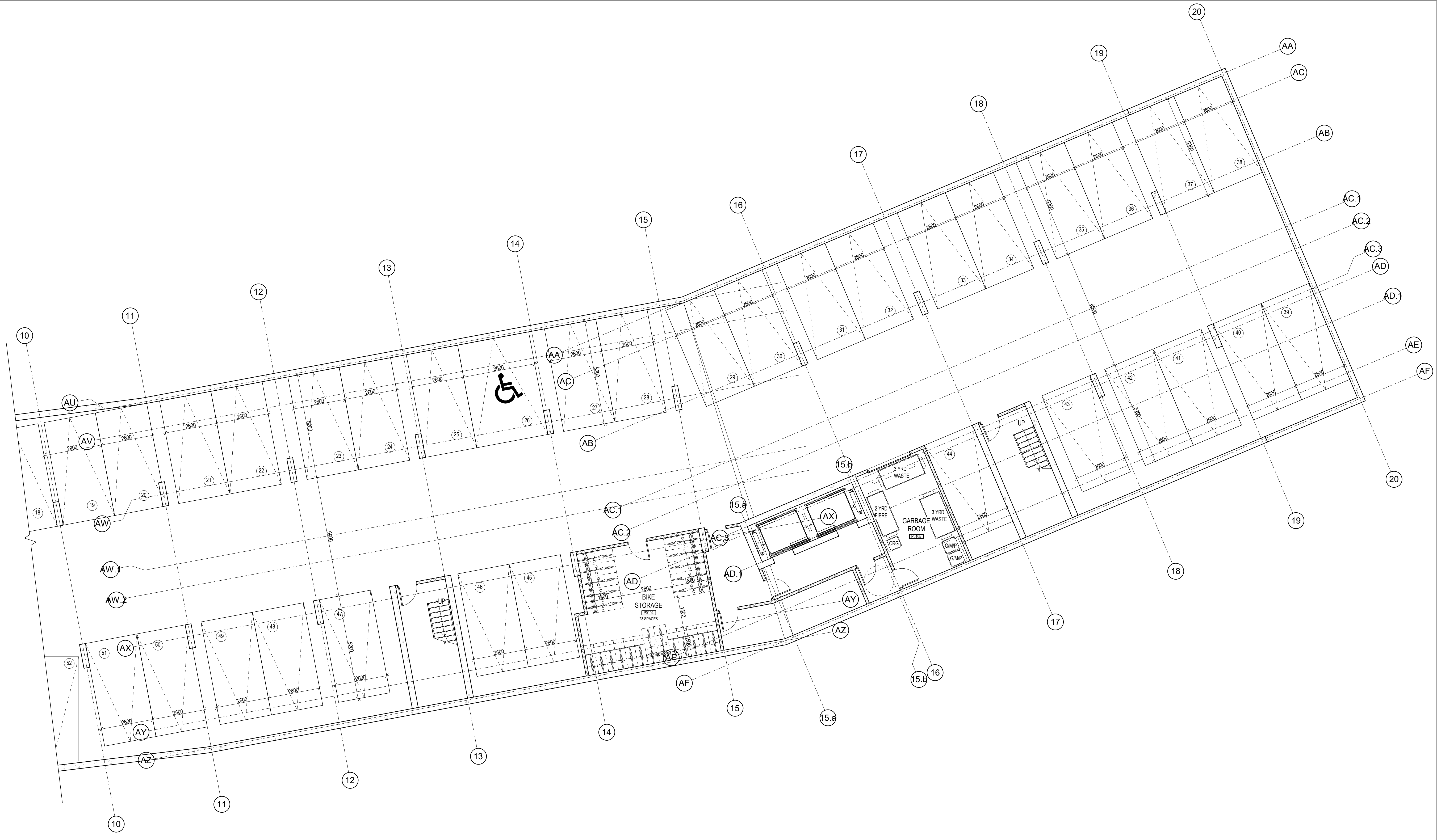
A100a

#17779

D07-12-18-0128



2 LEVEL P1 - FLOOR PLAN - KEY PLAN -
A100b SCALE: 1 : 500



1 LEVEL P1 - FLOOR PLAN - EAST WING
A100b SCALE: 1 : 100

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LEVEL P1 - FLOOR PLAN

A100b

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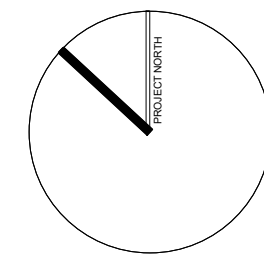
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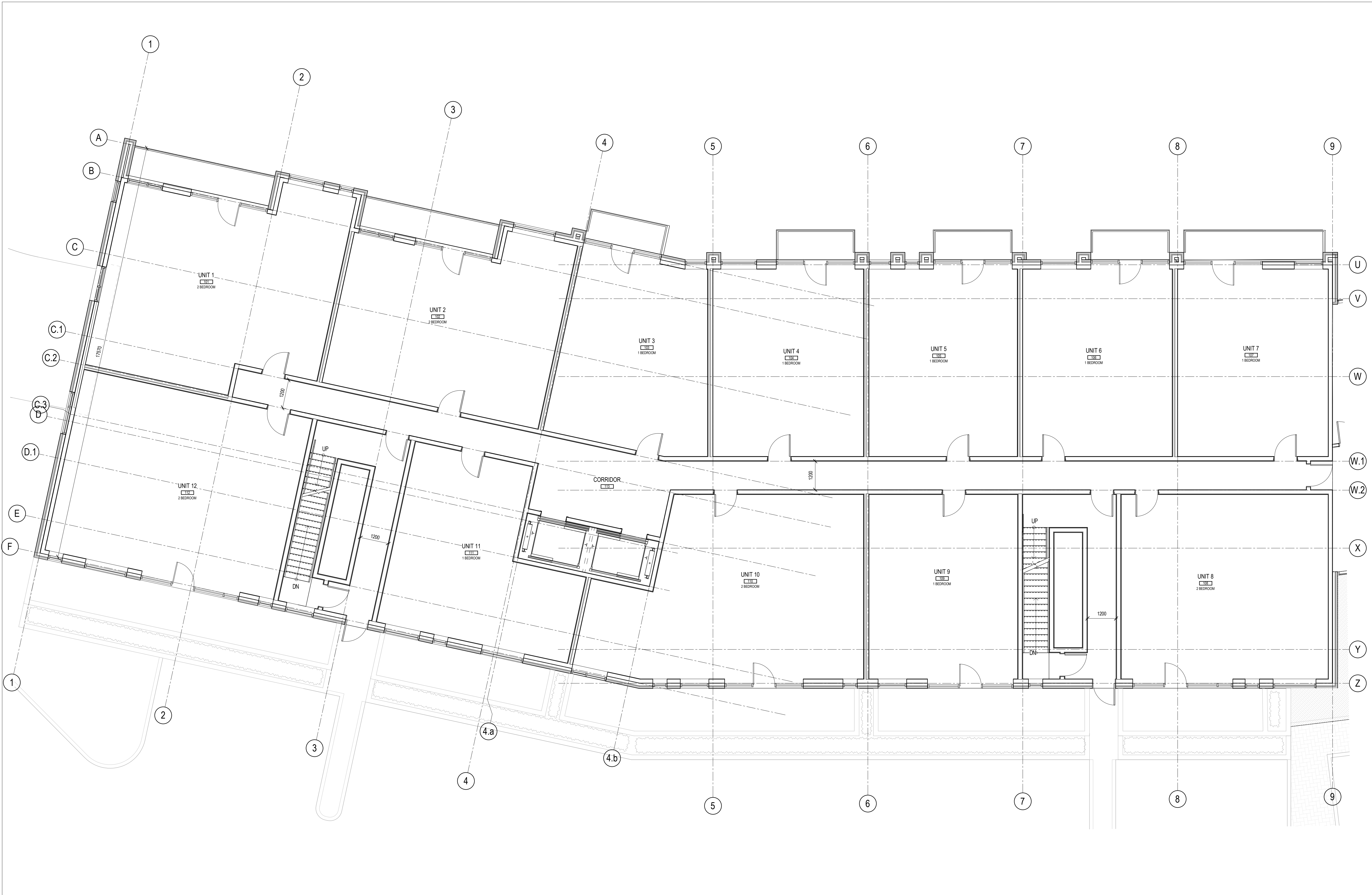
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1917	NOTED	SE	RMK

LEVEL 01 - FLOOR PLAN

A101a

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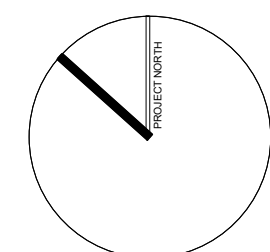
1 LEVEL 01 - FLOOR PLAN
A101a SCALE: 1 : 75

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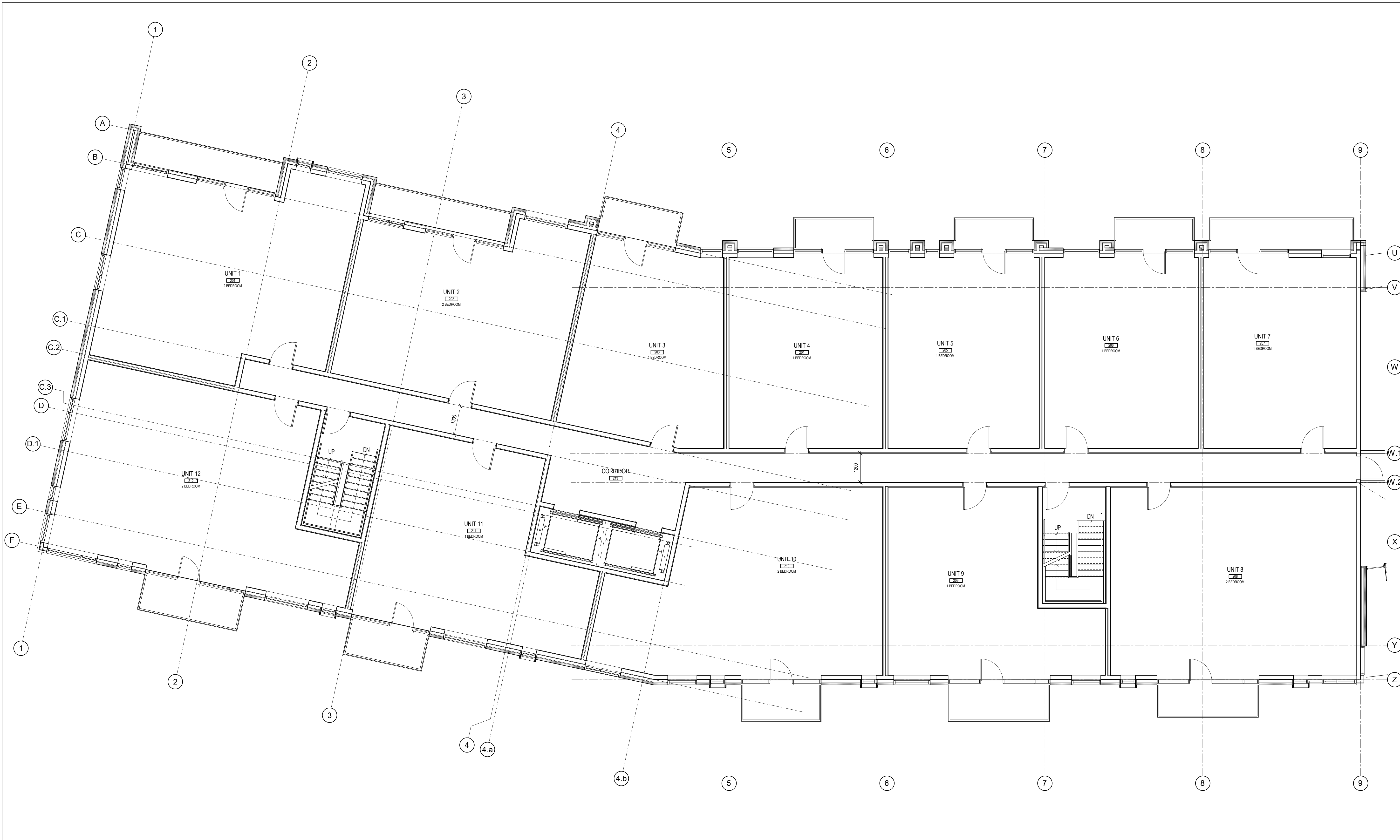
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1917	NOTED	SE	RMK

LEVEL 02 - FLOOR PLAN

A102

#17779



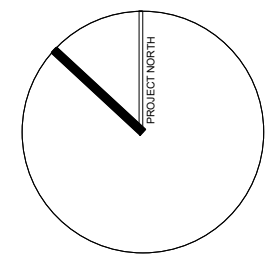
1 LEVEL 02 - FLOOR PLAN
A102 SCALE: 1 : 75

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LEVEL 03 - FLOOR PLAN

A103

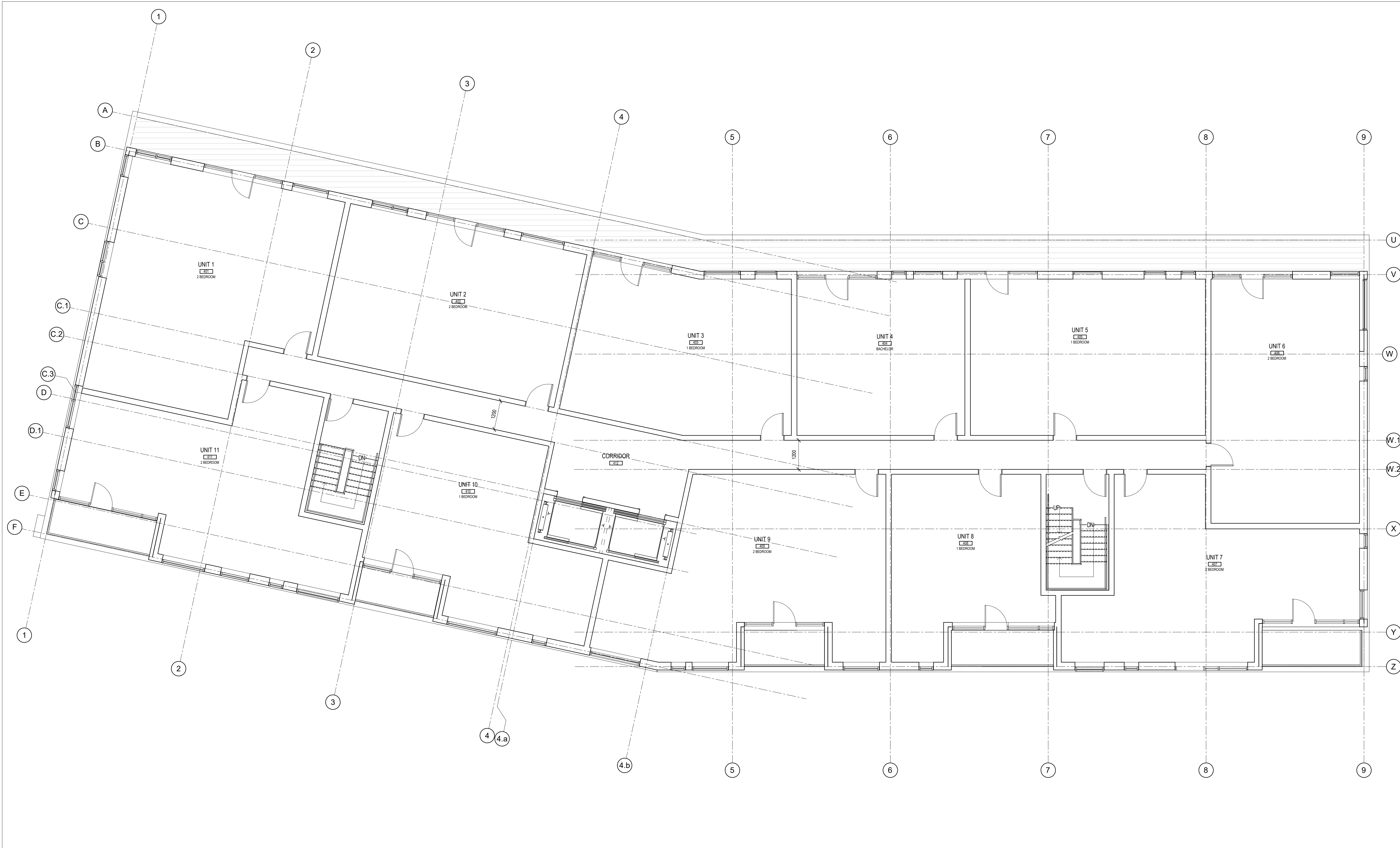
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1 LEVEL 03 - FLOOR PLAN
A103 SCALE: 1 : 75

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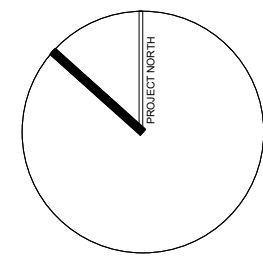
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1 LEVEL 04 - FLOOR PLAN
A104 SCALE: 1 : 75

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LEVEL 04 - FLOOR PLAN

A104

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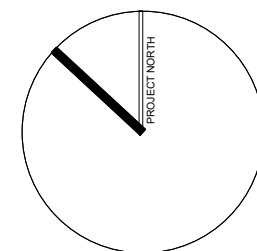
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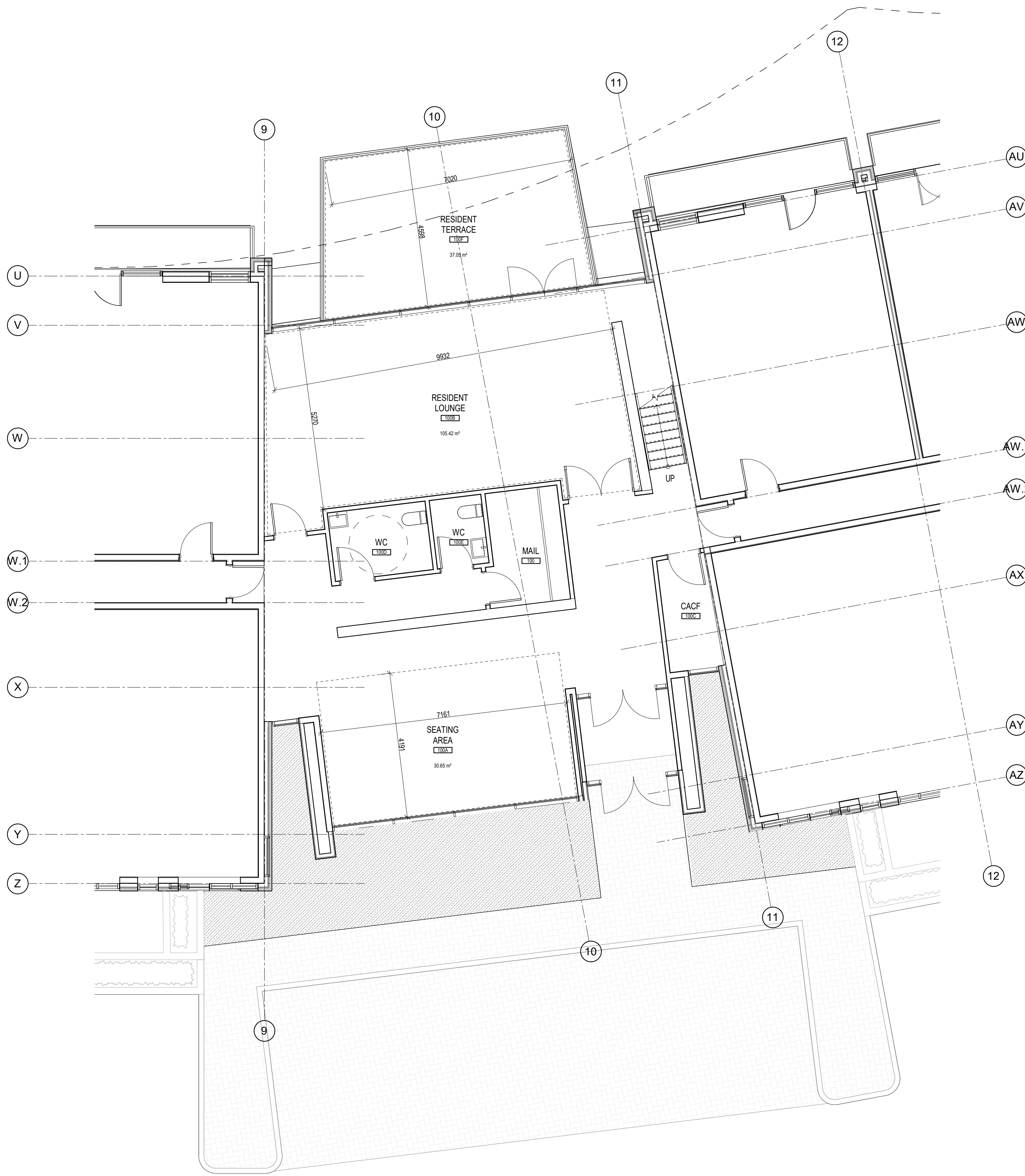
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1917	NOTED	SE	RMK

FLOOR PLANS - AMENITY

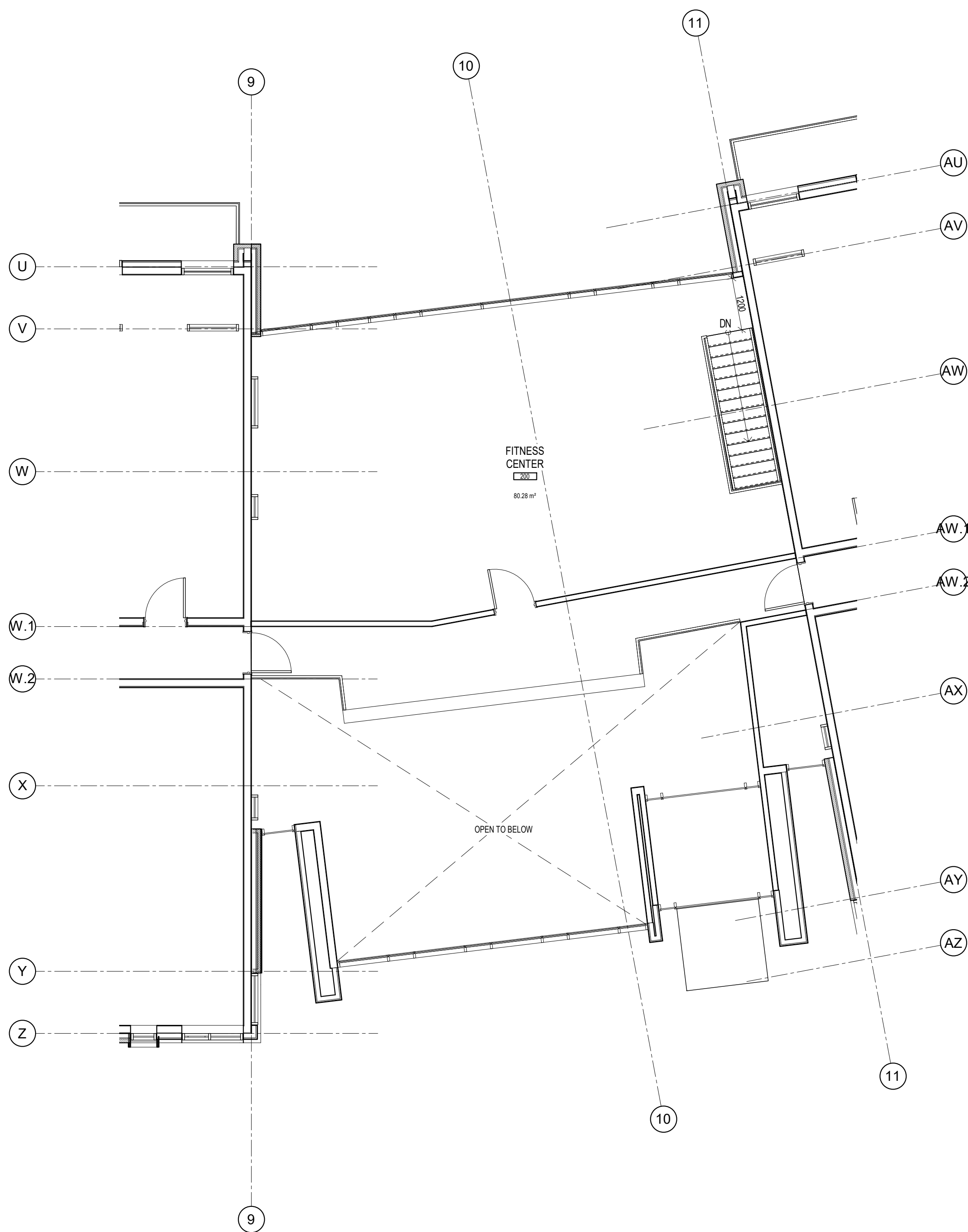
A101c

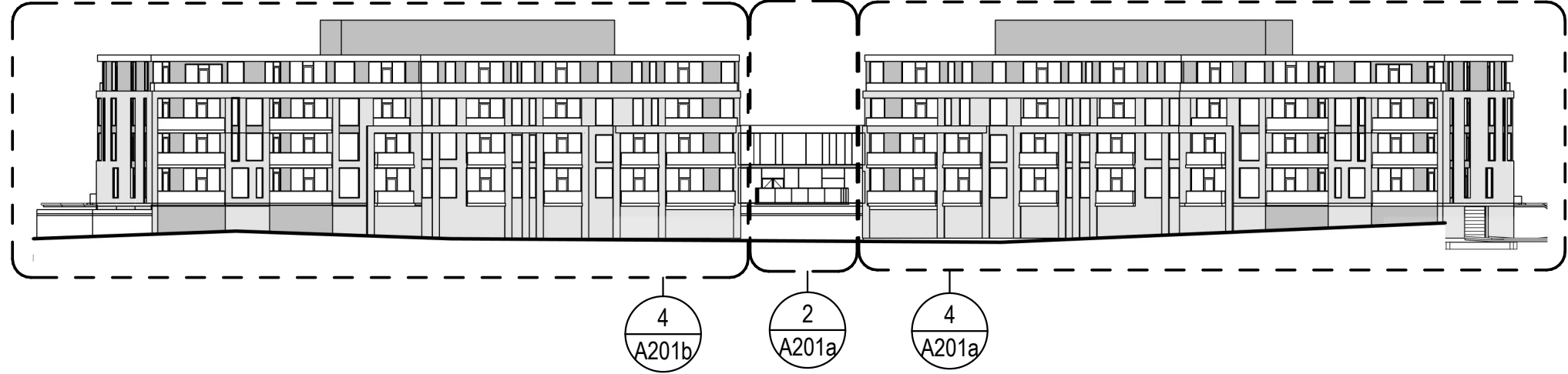
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1 LEVEL 01 - AMENITY
A101c SCALE: 1 : 75

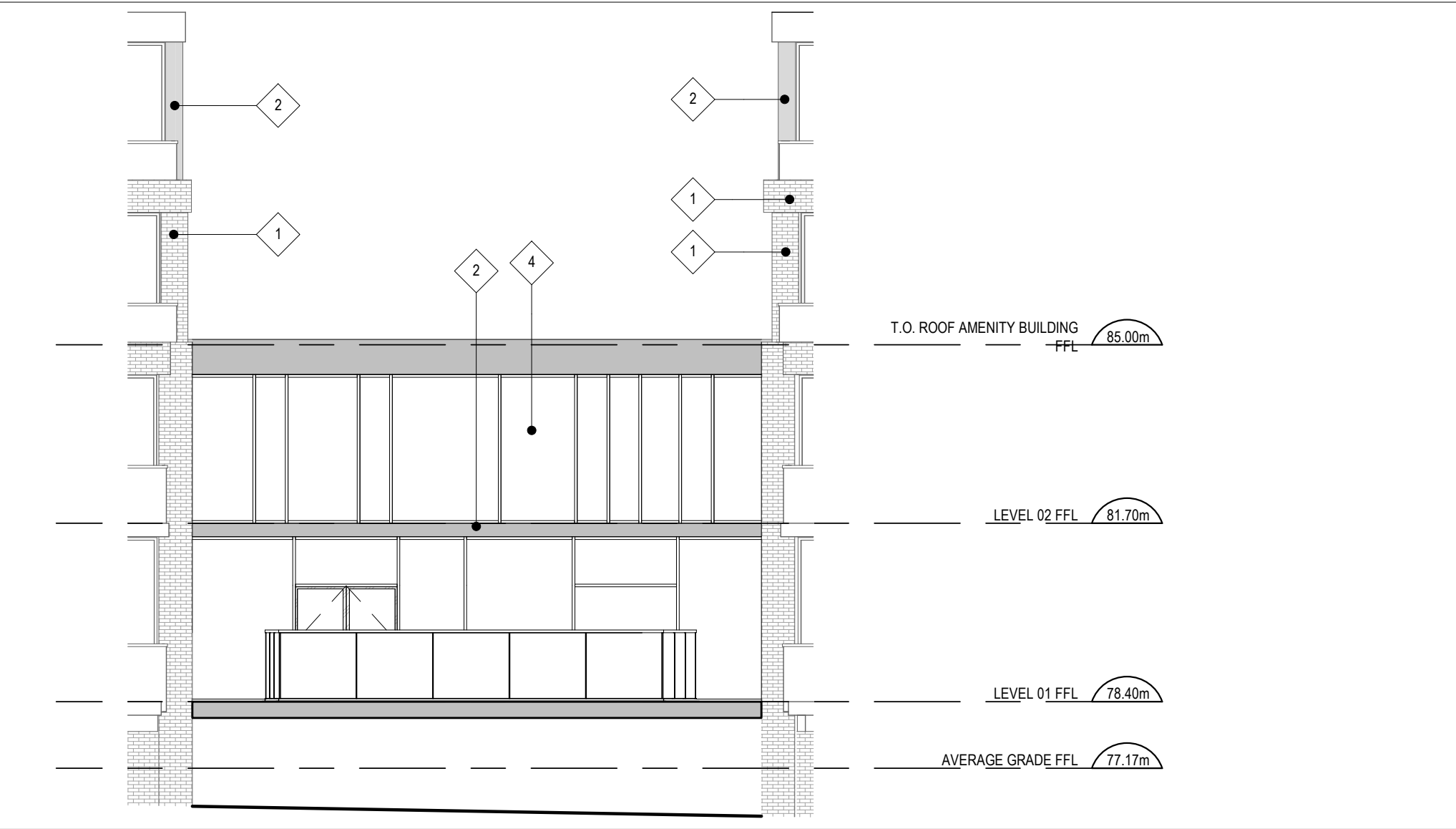


2 LEVEL 02 - AMENITY
A101c SCALE: 1 : 75

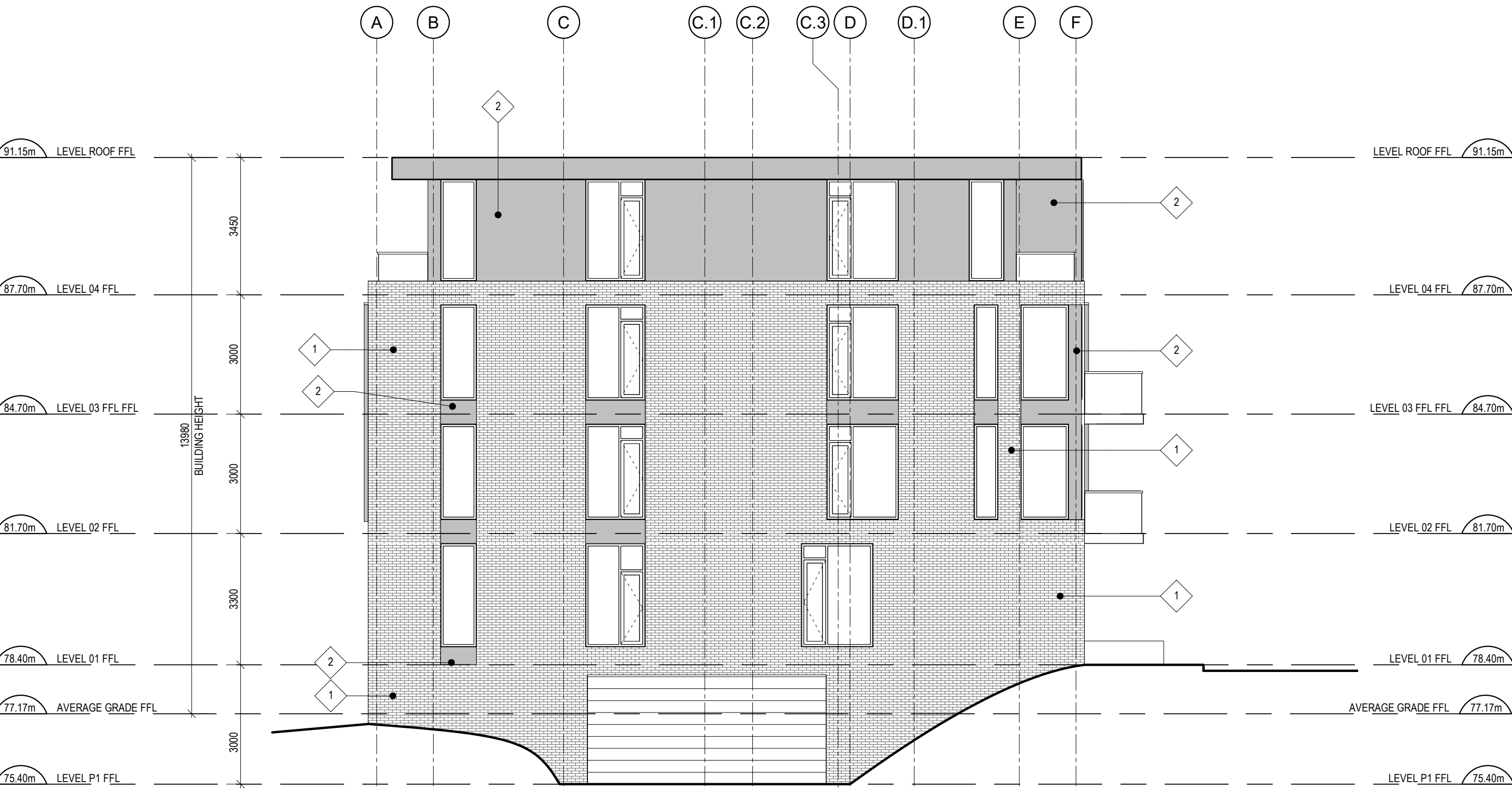




1 NORTH ELEVATION
A201a SCALE: 1 : 500



2 NORTH ELEVATION - AMENITY
A201a SCALE: 1 : 100



3 WEST ELEVATION - WEST WING
A201a SCALE: 1 : 100



4 NORTH ELEVATION - WEST WING
A201a SCALE: 1 : 100

CLADDING LEGEND:

- 1 NAME: BRICK MASONRY
COLOUR: RED
- 2 NAME: FIBRE CEMENT PANEL TYPE A
COLOUR: DARK GREY
- 3 NAME: POURED CONCRETE
- 4 NAME: ALUMINUM AND CLEAR GLASS

CLADDING LEGEND
SCALE: 1 : 100

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1 ISSUED FOR COORDINATION 2020-03-06

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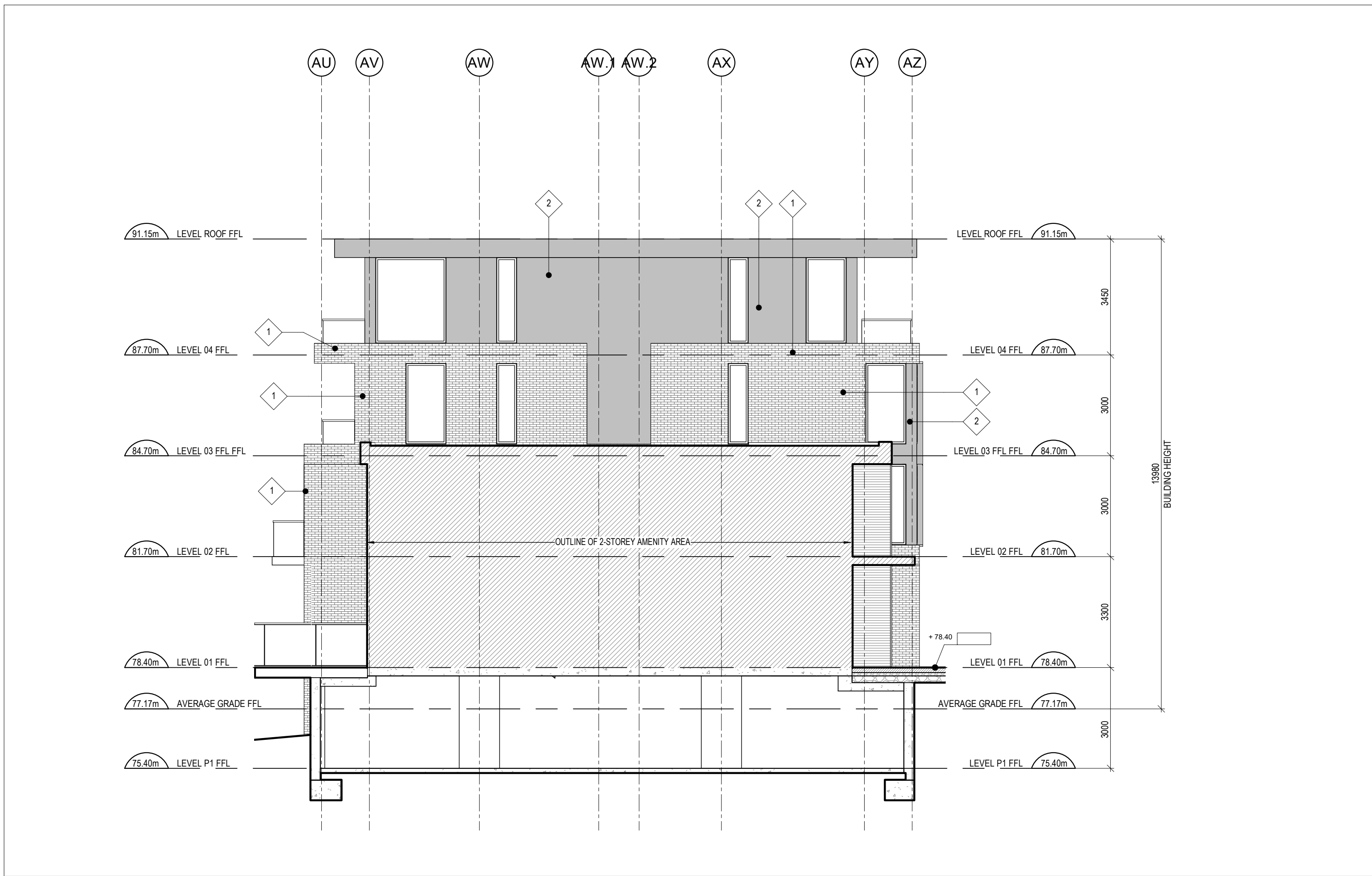
788 MARCH ROAD

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OTTAWA, ON

PROJ SCALE DRAWN REVIEWED
1917 NOTED SE RMK

NORTH AND WEST ELEVATION
- WEST WING

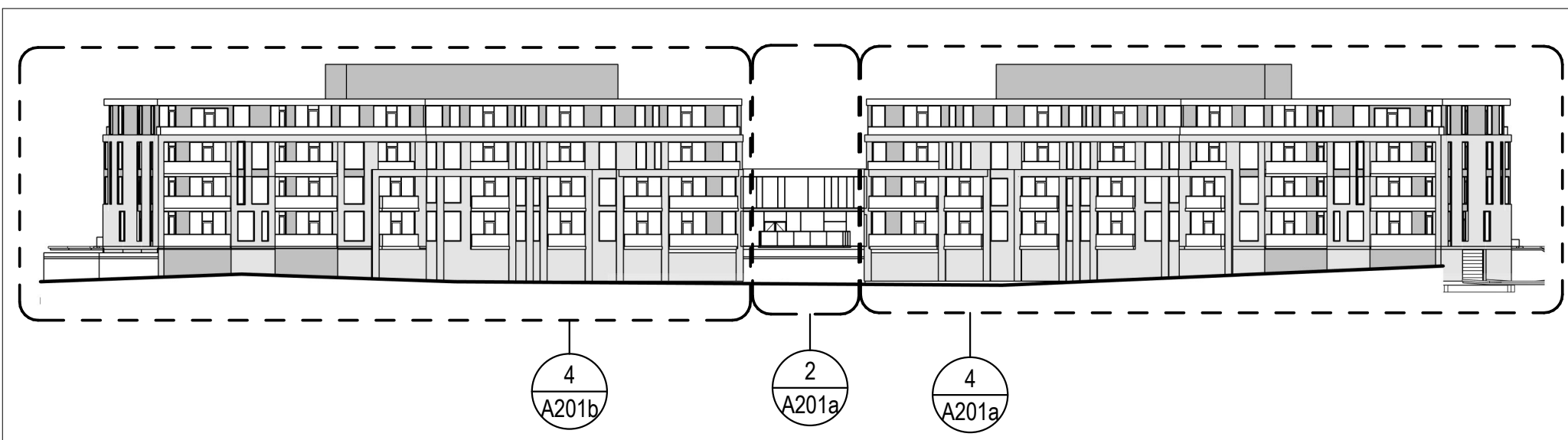
A201a



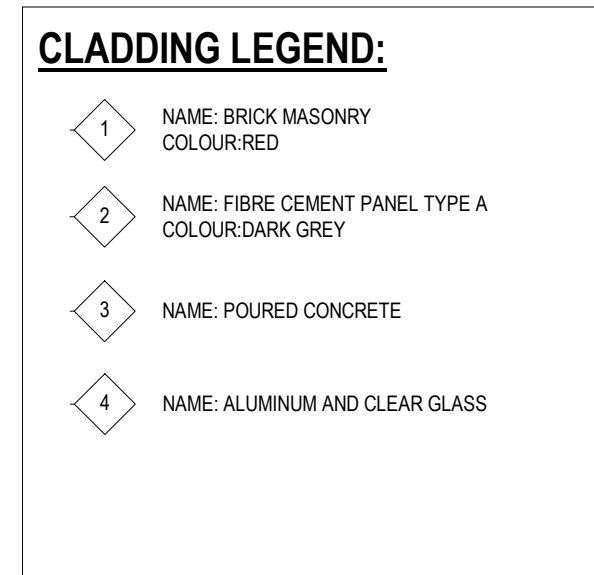
3 WEST ELEVATION - EAST WING
A201b SCALE: 1 : 100



4 NORTH ELEVATION - EAST WING
A201b SCALE: 1 : 100



1 NORTH ELEVATION -
A201b SCALE: 1 : 500



0 CLADDING LEGEND
SCALE: N.T.S.

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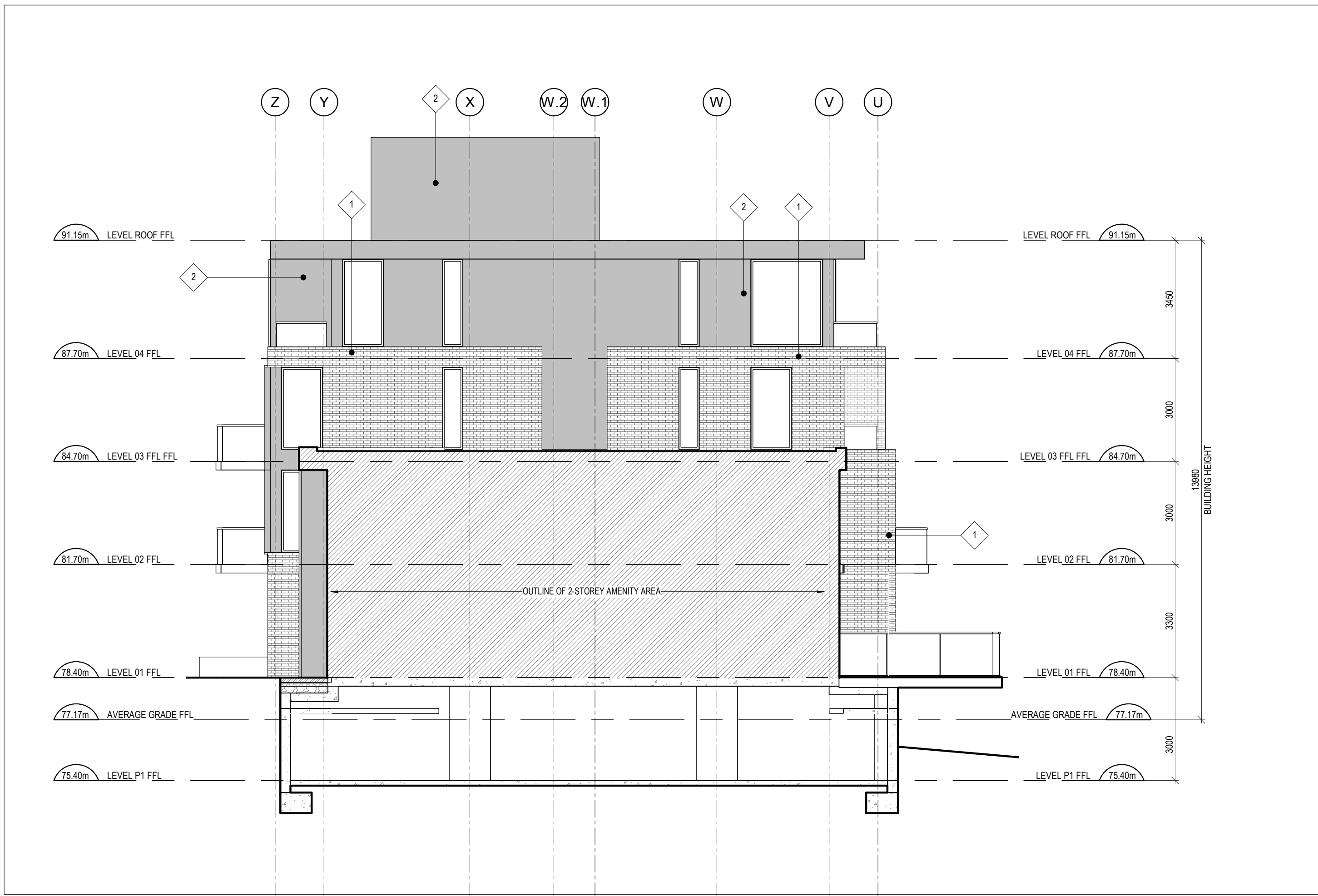
PROJ SCALE DRAWN REVIEWED
1917 NOTED SE RMK

NORTH AND WEST ELEVATION
- EAST WING

A201b

#17779

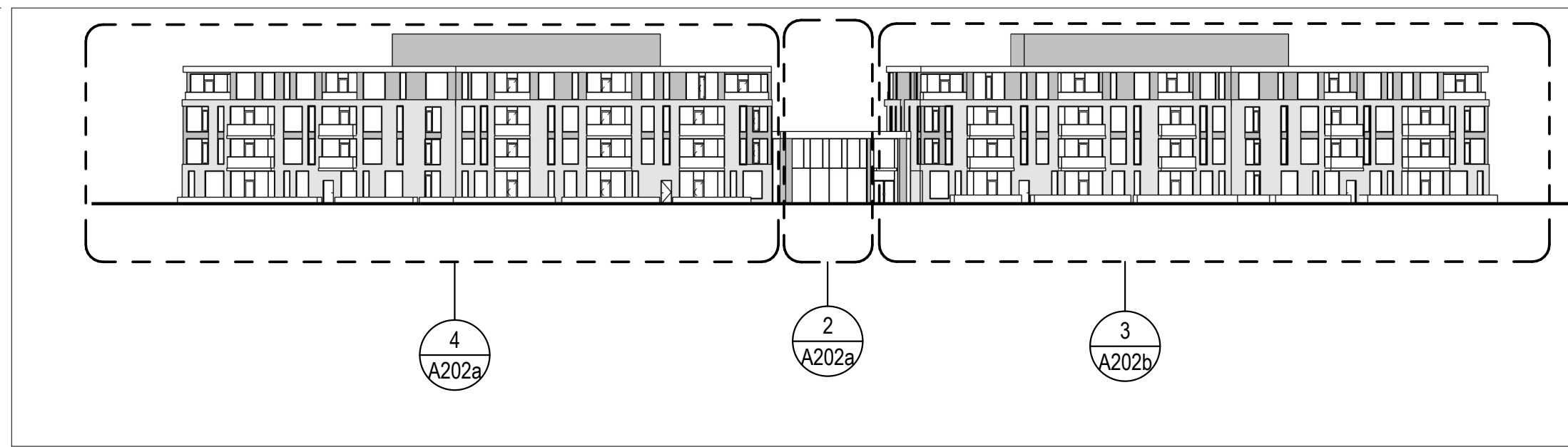
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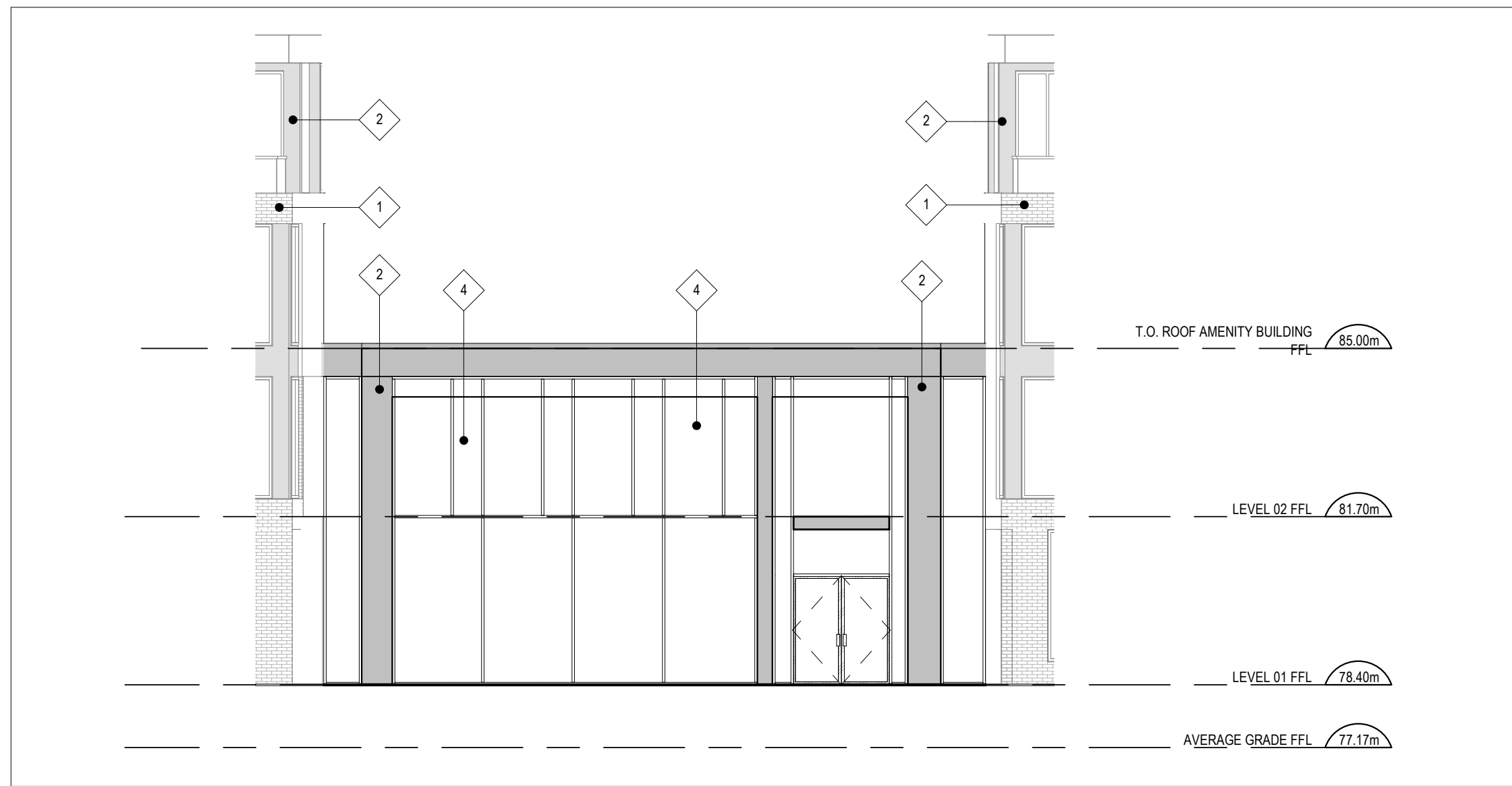
3 EAST ELEVATION - WEST WING
A202a SCALE: 1 : 100



4 SOUTH ELEVATION - WEST WING
A202a SCALE: 1 : 100



1 SOUTH ELEVATION
A202a SCALE: 1 : 500



2 SOUTH ELEVATION - AMENITY SPACE
A202a SCALE: 1 : 100

CLADDING LEGEND:

- 1 NAME: BRICK MASONRY COLOUR: RED
- 2 NAME: FIBRE CEMENT PANEL TYPE A COLOUR: DARK GREY
- 3 NAME: POURED CONCRETE
- 4 NAME: ALUMINUM AND CLEAR GLASS

CLADDING LEGEND
SCALE: 1 : 100

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4. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
5. These documents are not to be used for construction unless specifically noted for such purpose.

2 ISSUED FOR SITE PLAN CONTORL 2020-05-12
1 ISSUED FOR COORDINATION 2020-03-06

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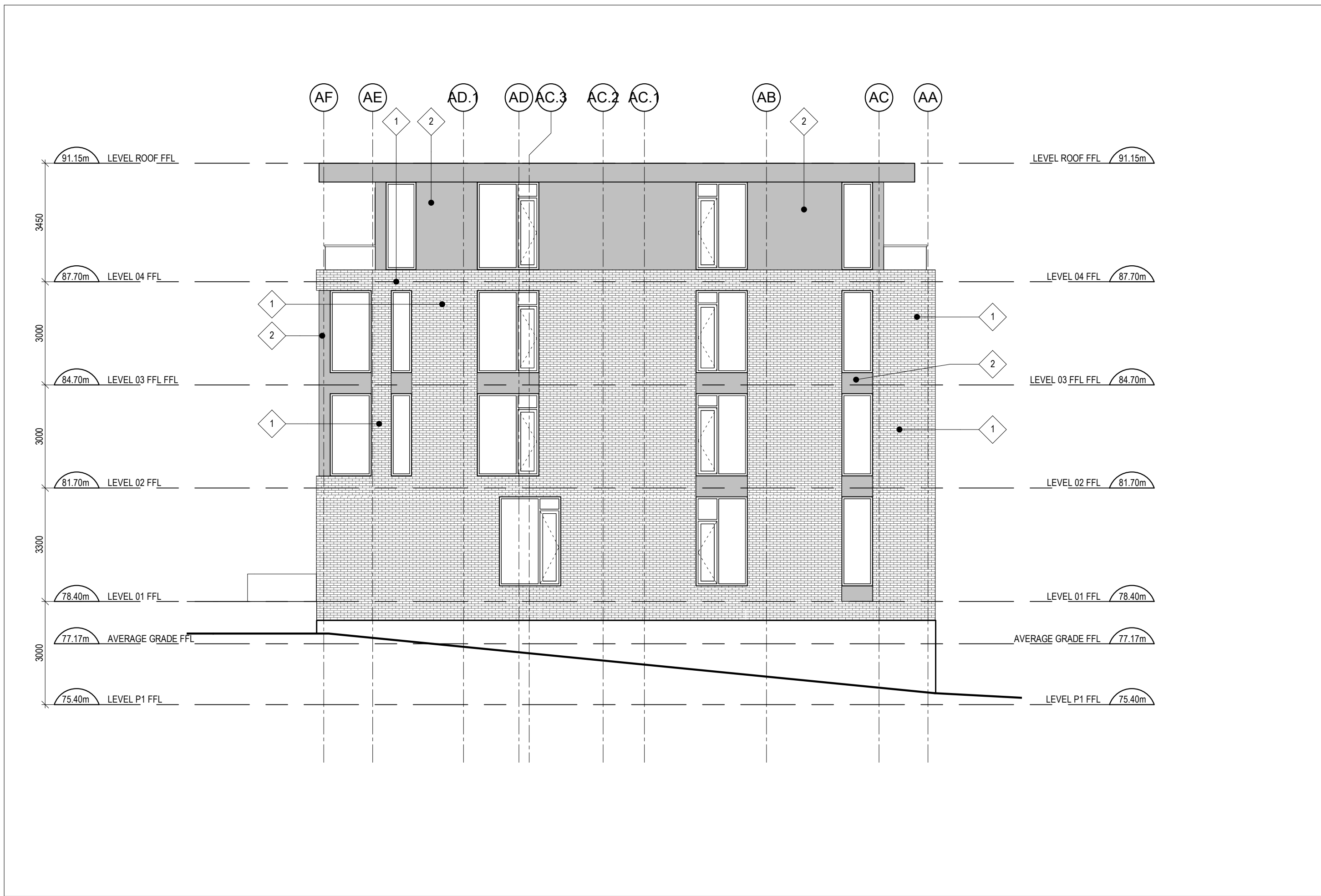
788 MARCH ROAD

788 MARCH ROAD
OTTAWA, ON

PROJ SCALE DRAWN REVIEWED
1917 NOTED SE RMK

SOUTH AND EAST ELEVATION
- WEST WING

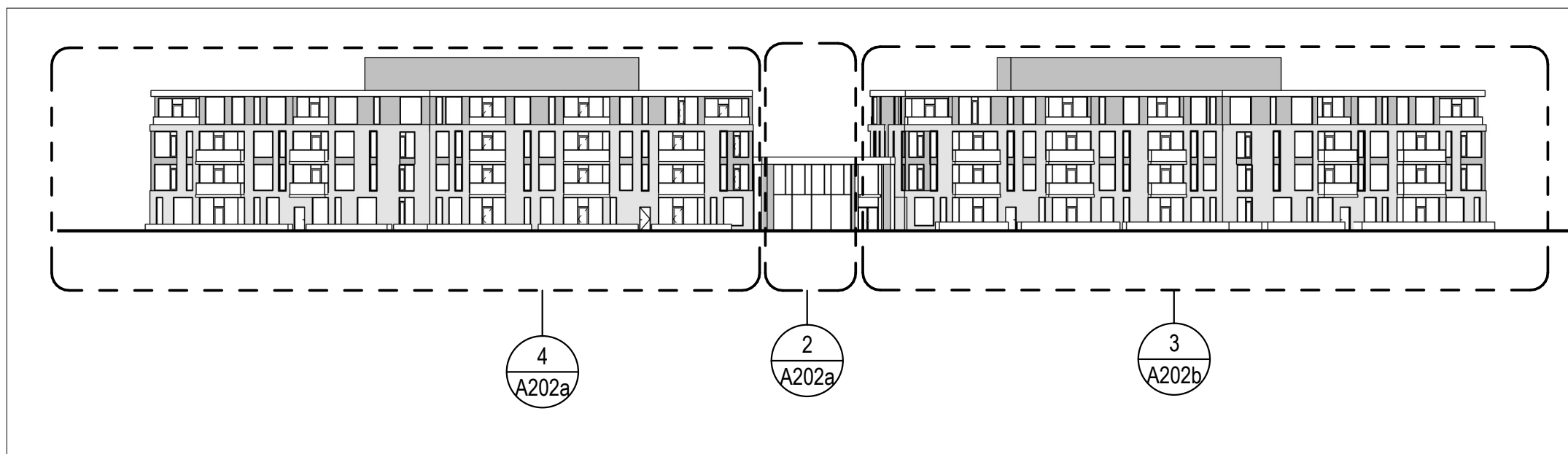
A202a



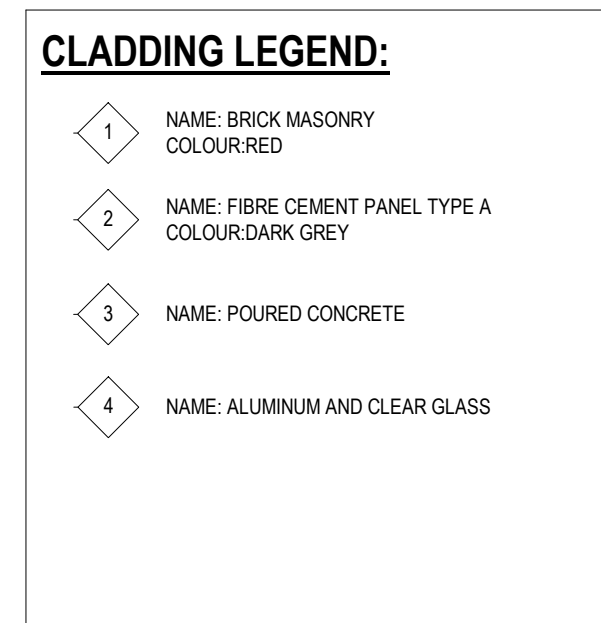
2 EAST ELEVATION - EAST WING
A202b SCALE: 1 : 100



3 SOUTH ELEVATION - EAST WING
A202b SCALE: 1 : 100



1 SOUTH ELEVATION -
A202b SCALE: 1 : 500



CLADDING LEGEND
SCALE: 1 : 100

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
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PROJ	SCALE	DRAWN	REVIEWED
1917	NOTED	SE	RMK

SOUTH AND EAST ELEVATION
- EAST WING

A202b

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D07-12-18-0128