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# Pathways at Findlay Creek – Block 225 Planning Rationale

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## **PATHWAYS AT FINDLAY CREEK – BLOCK 225**

### **PLANNING RATIONALE IN SUPPORT OF A SITE PLAN CONTROL APPLICATION**

Prepared For:



**eQ Homes**

Prepared By:



**NOVATECH**

Suite 200, 240 Michael Cowpland Drive  
Ottawa, Ontario  
K2M 1P6

April 4, 2019  
Novatech File: 117182  
Ref: R-2019-065



April 4, 2019

City of Ottawa

Planning, Infrastructure and Economic Development Department

110 Laurier Ave. West, 4<sup>th</sup> Floor

Ottawa, Ontario

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Attention: Tracey Scaramozzino, Planner II

**Reference: Pathways at Findlay Creek – Block 225, 4800 Bank Street  
Site Plan Control  
Planning Rationale and Design Brief**

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Novatech is pleased to submit this Planning Rationale on behalf of eQ Homes (c/o Regional Group) in support of a Site Plan Control application for Block 225 in their Pathways at Findlay Creek subdivision located at 4800 Bank Street.

A Site Plan Control application is required to permit the development of Block 225 with freehold townhouse units on a private street.

The attached Planning Rationale details the proposed development and demonstrates that the proposal is consistent with the relevant provincial and municipal policy documents.

Should you have any questions or comments, please do not hesitate to contact me.

Sincerely,

**Novatech**



Ellen Potts, BES (PI)  
Planner



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## 1.0 INTRODUCTION

Novatech was retained by Pathways Regional Inc. (eQ Homes c/o Regional Group) to prepare a Planning Rationale in support of a Site Plan Control application to permit the development of Block 225 on Plan 4M 1617 in their Pathways at Findlay Creek subdivision (“Pathways”) located at 4800 Bank Street, as shown in Figure 1.



Figure 1: Subject Site Location Context (Image Source: Google Maps)

The proposed Planned Unit Development would contain 34 two-storey free hold townhouse units fronting onto a private street with access provided via Miikana Road and Salamander Way.

This report summarizes the existing conditions of the Subject Site and surrounding lands, describes the proposed development, and outlines the policy and regulatory framework with respect to the project and demonstrates how it represents good planning.

### 1.1 Background

The Pathways subdivision was registered on February 22, 2019 as Plan 4M-1617.

A Zoning By-law Amendment was passed on January 25, 2017 (City File No. D02-02-15-0072) to achieve zoning to permit the draft-approved Plan of Subdivision. Block 225 was zoned Residential (R4Z [2370]). The proposed freehold townhome units are detailed in Section 3.0 of this report.

## 2.0 EXISTING CONDITIONS

### 2.1 Site Location and Surrounding Context

The Subject Site consists of Block 225 in the Pathways at Findlay Creek (“Pathways”) subdivision in the developing Leitrim community. Block 225 is in the northeast corner of the subdivision, west of Cedar Creek Drive, south of Miikana Road and north of Salamander Way, as shown on Plan 4M-1617 in Figure 2 (see Appendix A for the full plan). It is a through lot that has 144.49 metres of frontage along Miikana Road and 49.82 metres of frontage along Salamander Way.

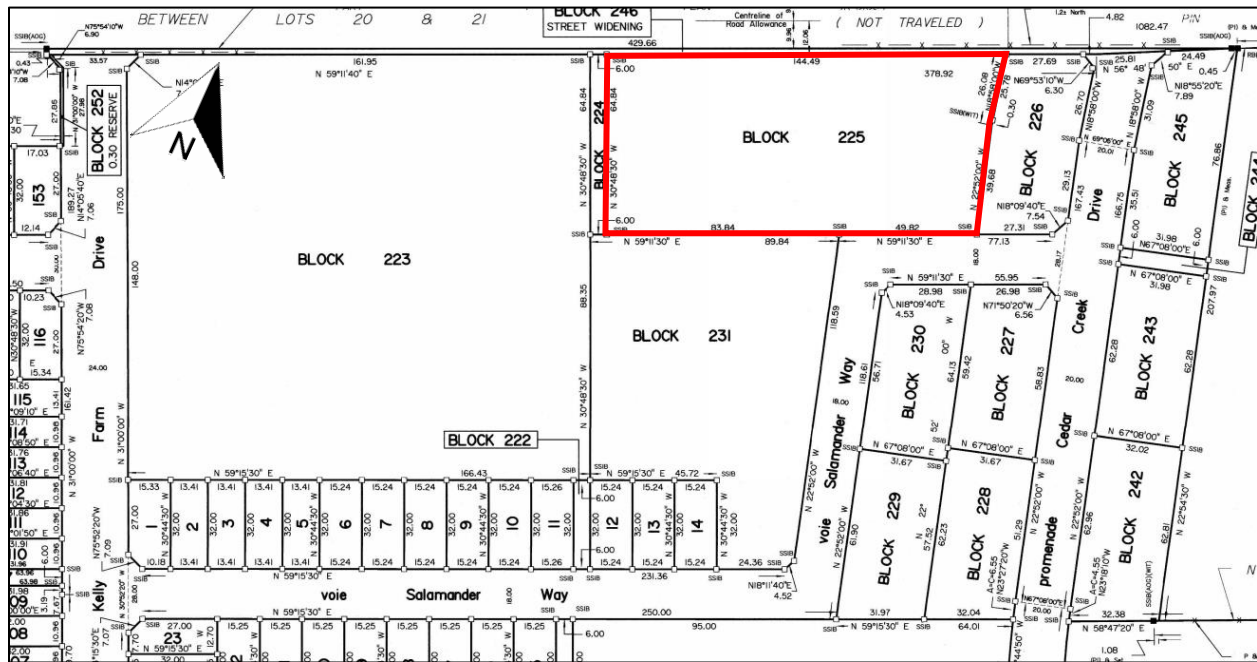


Figure 2: Excerpt of Plan 4M-1617 outlining Block 225 (the Subject Site) in red

The Subject Site and lands north of Miikana Road are part of the Leitrim community and have been developed with a variety of lower-density residential dwellings. The block directly north of the Subject Site is zoned DR – Development Reserve. The Pathways subdivision surrounds the Subject Site to the east, south and west: Block 226 abuts the Subject Site to the east and will contain a row of two-storey townhouse units facing Cedar Creek Drive; Block 231 to the south is a park block; and Block 224 (a walkway block) abuts the Subject Site to the west. Block 223, on the other side of the walkway, is a school block. Bank Street is located further east of the Subject Site and delineates the urban boundary; rural lands are located east of Bank Street. The “Idone Lands” (4840 Bank Street) abut the Subject Site to the south and will be developed with future residential development as part of the Pathways subdivision (City File No. D07-16-17-0006).



Figure 3: Surrounding Land Uses with Subject Site outlined in purple (Image Source: GeoOttawa)

## 2.2 Planning Context

### 2.2.1 City of Ottawa Official Plan

Per “Schedule B – Urban Policy Plan” of the City of Ottawa *Official Plan*, the Subject Site is located within the General Urban Area, as shown in Figure 4. The General Urban Area permits a wide range and choice of housing types to meet the needs of all ages, incomes, and life circumstances, in combination with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses. Please see Section 4.2 of this rationale for a discussion of how the proposed development implements the applicable General Urban Area policies.

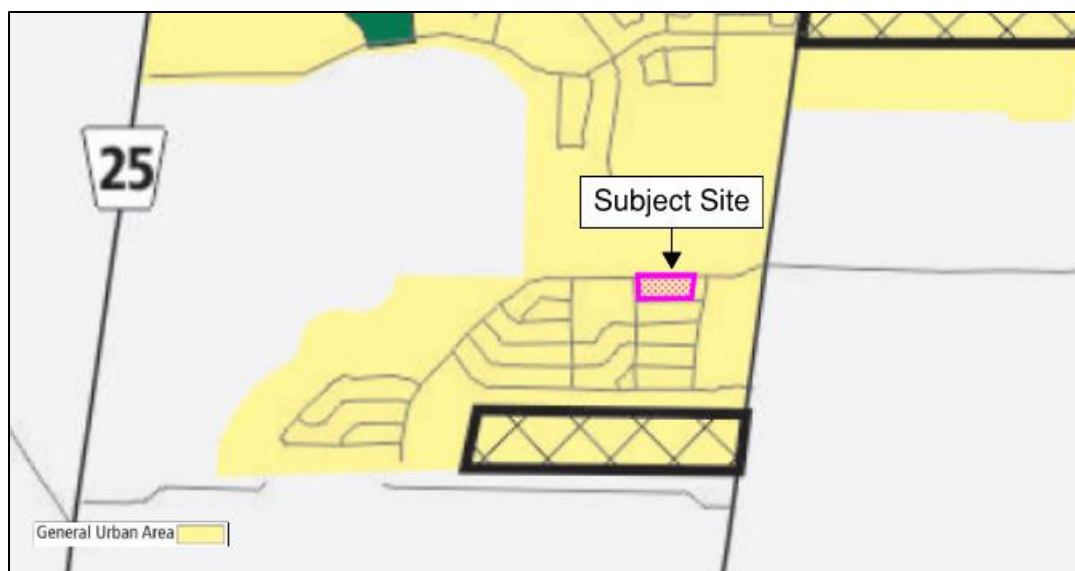


Figure 4: Excerpt of OP Schedule B showing Subject Site in purple

Per “Schedule C – Primary Urban Cycling Network”, the Subject Site is located west Bank Street which currently has a designated cycling route to Findlay Creek Drive, as shown in Figure 5.



Figure 5: Excerpt of OP Schedule C showing Subject Site in purple

Per “Schedule D – Rapid Transit and Transit Priority Network”, the Subject Site is located southeast of the future Trillum Line extension of the Light Rail Transit (LRT) system, as shown in Figure 6.

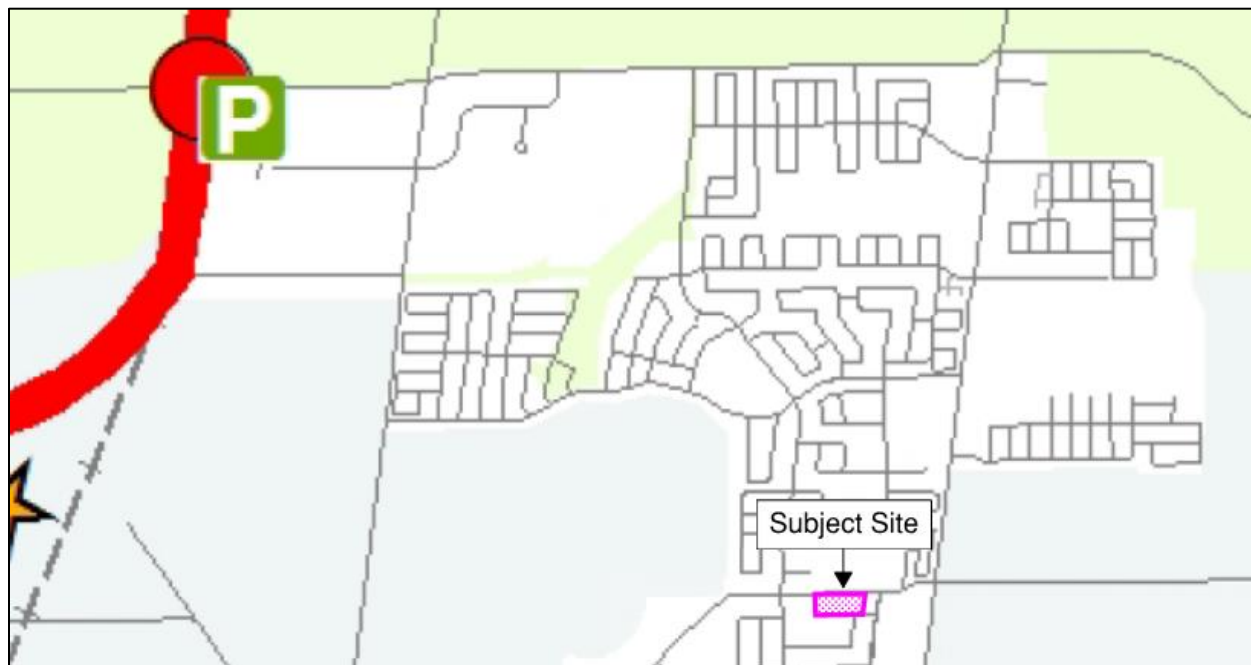


Figure 6: Excerpt of OP Schedule D showing Subject Site in purple

Per “Schedule E – Urban Road Network”, Miikana Road is designated as a Future Collector Road and Bank Street is designated as an Existing Arterial Road, as shown in Figure 7.



Figure 7: Excerpt of OP Schedule E showing Subject Site in purple

Per “Schedule K – Environmental Constraints”, the Subject Site is located within the Airport Development Vicinity Zone, as shown in Figure 8.

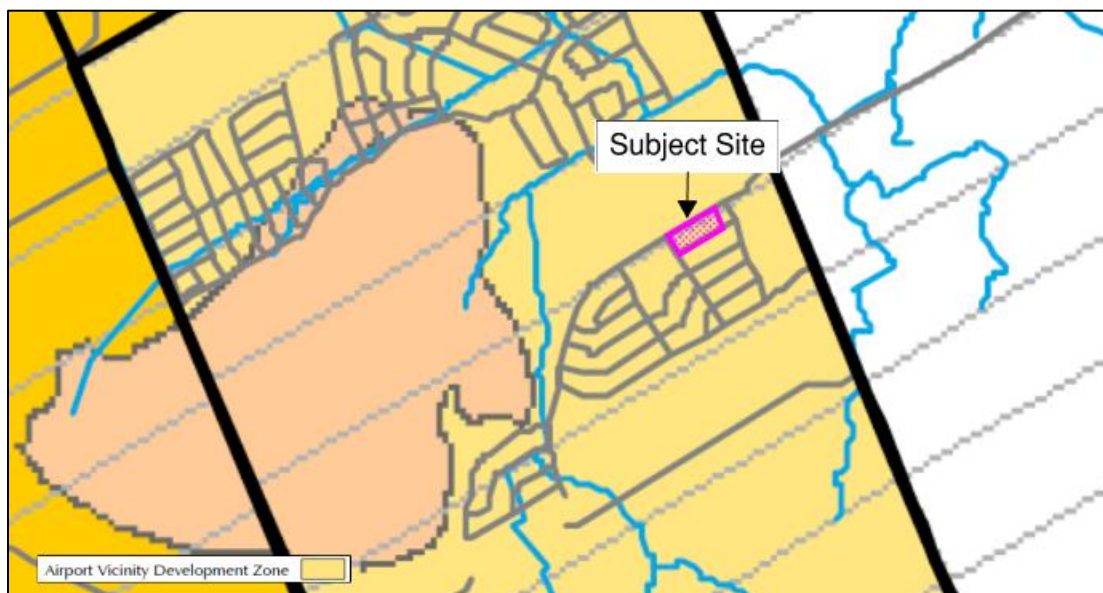


Figure 8: Excerpt of Schedule K showing Subject Site in purple

Per “Schedule L1 – Natural Heritage System Overlay (East)”, no portion of the Natural Heritage System is located on the Subject Site, as shown in Figure 9.

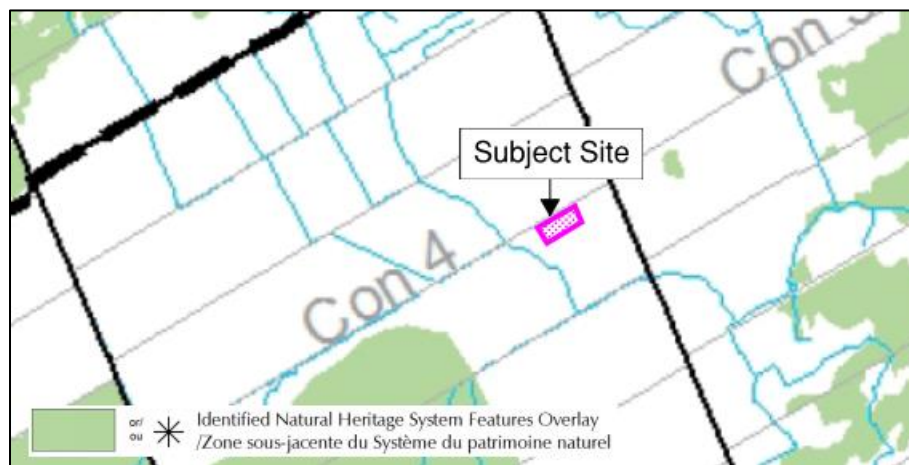


Figure 9: Excerpt of Schedule L1 showing Subject Site in purple.

## 2.2.2 Leitrim Community Design Plan

Per Section 4.2 of the *Leitrim Community Design Plan (CDP)*, the Subject Site is designated for Medium Density Residential development, as shown in Figure 10. The Medium Density Residential designation is intended to provide most of the ground-oriented multiple dwelling units in the Leitrim Community. Please see Section 4.3 of this report for a discussion of how the proposed townhouse development is consistent with the applicable CDP design guidelines and policies.



Figure 10: Excerpt of CDP Land Use Plan showing Subject Site in purple.

### 2.2.3 City of Ottawa Zoning By-law 2008-250

The Subject Site is currently zoned Residential Fourth Density (R4Z[2370]), as shown in Figure 11. This zone was established as part of the zoning by-law amendment that was Council Approved on January 25, 2017 (City File No. D02-02-15-0072) for the Remer Subdivision lands (City File No. D07-16-17-0003).

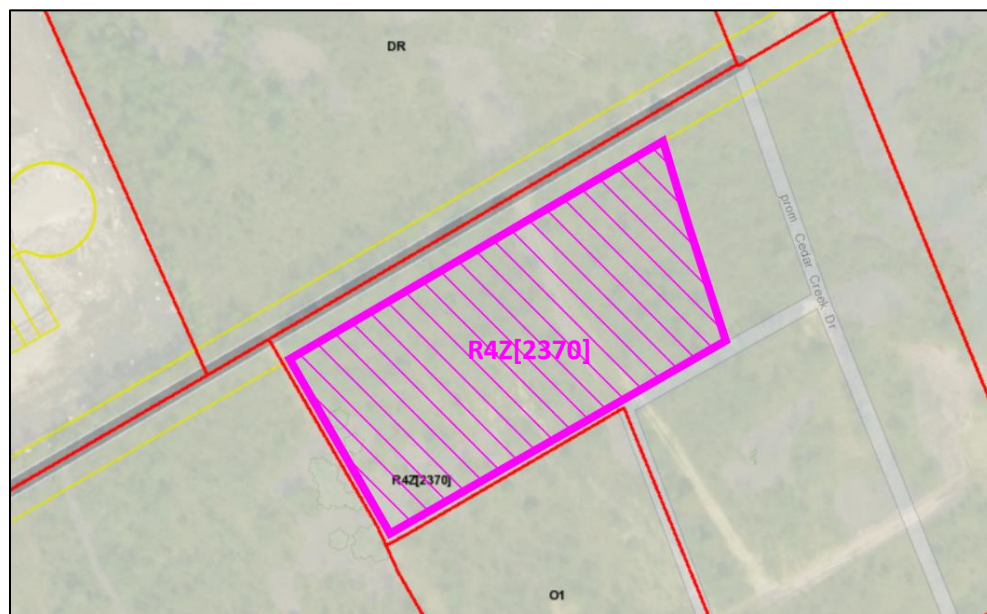


Figure 11: Existing Zoning for the Subject Site (Image Source: GeoOttawa).

The purpose of the R4 Zone is to:

- (1) allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys, in areas designated as General Urban Area in the Official Plan;
- (2) allow a number of other residential uses to provide additional housing choices within the fourth density residential areas;
- (3) permit ancillary uses to the principal residential use to allow residents to work at home;
- (4) regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced; and,
- (5) permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

### 3.0 PROJECT DESCRIPTION

#### 3.1 Design Proposal

The proposed planned-unit development consists of 34 two-storey free-hold townhouse units fronting onto a private street which will be created through subsequent Part Lot Control and Private Street applications. The private street has two access points to Miikana Road and one to Salamander Way, as shown in Figure 12. The full Site Plan is provided in Appendix B.



Figure 12: Excerpt of Proposed Site Plan

Twelve metre centre-line turning radii have been provided to accommodate emergency and City waste collection vehicles. Snow removal will be handled privately.

The proposed lots range in depth from 28 metres to 31.4 metres, consistent with the lot depths in the surrounding Pathways subdivision. The proposed orientation of the lots towards the private street achieves the following:

- Provides appropriate spacing to avoid an awkward off-set intersection at Salamander Way;
- Provides an opportunity for enhanced landscaping in the Miikana Road right-of-way;
- Reduces the number of pedestrian-vehicle and vehicle-vehicle conflicts along Miikana Road between the School Block and the proposed commercial lands at the corner of Miikana Road and Bank Street; and
- Creates an attractive alcove of townhouses that maintains excellent pedestrian and vehicular connectivity to the Pathways subdivision, Miikana Road, and the adjacent Park and School blocks.

The proposed townhouses, as shown in Figures 13 and 14 are consistent in architectural detail, massing and scale to the rest of the Pathways subdivision. Please see Section 4 of this report for details about how the proposed design is consistent with the applicable provincial and municipal policies and guidelines.

An application for a minor variance will be submitted to permit a reduced rear yard setback from 6.0 metres to 3.0 metres to accommodate one of the end-unit townhomes in the northeast corner of the Subject Site. A three metre setback is consistent with the corner side yard setback required for the current R4Z[2370] zone and will allow the proposed end-unit to maintain a consistent setback along Miikana Road with the abutting end-unit townhome in Block 226 of the Pathways subdivision.



**Figure 13:** Actual construction of eQ's townhomes in the Fernbank Crossing development



Figure 14: Rendering of proposed townhomes (Image Source: eQ Homes)

## 3.2 Supporting Technical Studies

### 3.2.1 Geotechnical Investigation

A Geotechnical Investigation was prepared by Golder Associates (Report No. 13-1121-0083 (1046), dated January 2017) in support of the development of the Pathways Subdivision on the Remer Lands and another residential subdivision on the Idone lands directly south of the Remer lands (4840 Bank Street). The report concludes that the Subject Site can support the proposed development and that no tree planting restrictions exist.

### 3.2.2 Phase 1 Environmental Site Assessment Update

An updated Phase 1 Environmental Site Assessment (ESA) was prepared by Golder Associates (Project No. 18112515, dated January 9, 2019) to assess the environmental condition of Block 225 based on a review of current activities, historical information and available information for the surrounding properties within 250 metres of the Subject Site. The report concludes that a Phase 2 ESA is not required.

## 4.0 POLICY REVIEW

### 4.1 Provincial Policy Statement, 2014

The Provincial Policy Statement, 2014 (PPS) provides policy directions on land use planning and development matters of provincial interest, as set out in Section 2 of the Planning Act. All decisions affecting planning matters are required to “be consistent with” the policies of the PPS.

The policies are divided into three sections: (1) Building Strong and Healthy Communities, (2) Wise Use and Management of Resources, and (3) Protecting Public Health and Safety. The following demonstrates that the proposed development is consistent with the PPS.

### **Building Strong and Healthy Communities**

Section 1.0 of the PPS – *Building Strong Communities* encourages efficient land use and development patterns to support sustainability by promoting strong, liveable, healthy and resilient communities; protecting the environment and public health and safety; and facilitating economic growth.

Policy 1.1.1 states that *healthy, liveable and safe communities are sustained by:*

- a. promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b. accommodating an appropriate range and mix of residential (including second units, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c. avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
- d. avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*
- e. promoting cost-effective development patterns and standards to minimize land consumption and servicing costs;*
- f. improving accessibility for persons with disabilities and older persons by identifying, preventing and removing land use barriers which restrict their full participation in society;*
- g. ensuring that necessary infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities are or will be available to meet current and projected needs; and*
- h. promoting development and land use patterns that conserve biodiversity and consider the impacts of a changing climate.*

The proposed development presents an efficient use of a residential block within the Pathways subdivision. It provides a housing type that is consistent with the land use designation identified for the area in the Leitrim Community Design Plan and respects the adjacent land uses.

Policy 1.1.3.2 states that *Land use patterns within settlement areas shall be based on:*

- a. densities and a mix of land uses which:*
  - 1. efficiently use land and resources;*

2. *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
  3. *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
  4. *support active transportation;*
  5. *transit-supportive, where transit is planned, exists or may be developed; and*
  6. *are freight-supportive; and*
- b. *a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.*

The Subject Site is being developed as part of the Pathways Subdivision which is part of the larger Council-approved Leitrim Community Design Plan. The Leitrim CDP proposes a wide variety of land uses including commercial retail, institutional, parks and open space, as well as low, medium and high density residential. The development of the Subject Site is consistent with the land use designation identified in the CDP and is appropriate for the planned and existing infrastructure and public service facilities. The Subject Site is also in proximity to the planned southward Trillium Line extension for the O-Train.

### **Wise Use and Management of Resources**

Section 2.0 of the PPS speaks to protecting natural heritage, water, agricultural, mineral and cultural heritage and archaeological resources for their economic, environmental and social benefits.

Policy 2.1.1 states that *Natural features and areas shall be protected for the long term.*

No natural features and areas are located on or adjacent to the Subject Site.

Policy 2.1.6 states that *Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.*

No fish habitat exists on or adjacent to the Subject Site.

Policy 2.1.7 states that *Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.*

No habitat of endangered or threatened species exists on or adjacent to the Subject Site.

Policy 2.1.8 states that *Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 2.1.4, 2.1.5, and 2.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.*

No natural heritage features and areas exist on or adjacent to the Subject Site.

Policy 2.3.1 states that *Prime agricultural areas shall be protected for long-term use for agriculture.*

The Subject Site and surrounding lands are not designated as prime agricultural areas.

Policy 2.4.1 states that *Minerals and petroleum resources shall be protected for long-term use.*

No minerals or petroleum resources exist on or adjacent to the Subject Site.

Policy 2.5.1 states that *Mineral aggregate resources shall be protected for long-term use and, where provincial information is available, deposits of mineral aggregate resources shall be identified.*

No mineral aggregate resources exist on or adjacent to the Subject Site.

Policy 2.6.1 states that *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

No significant built heritage resources or cultural heritage landscapes exist on or adjacent to the Subject Site.

Policy 2.6.2 states that *Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.*

The Subject Site was cleared for development by the Ministry of Tourism, Culture and Sport.

Policy 2.6.3 states that *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

The Subject Site is not on lands adjacent to a protected heritage property.

### **Protecting Public Health and Safety**

Section 3.0 of the PPS directs development away from areas of natural or human-made hazards where there is an unacceptable risk to public health or safety, and to prevent the aggravation of existing or creation of new hazards. The proposed development is consistent with the following applicable policies:

Policy 3.1.1 states that *Development shall generally be directed to areas outside of:*

- c. hazardous sites.*

The Subject Site is not located within or adjacent to hazardous sites.

Policy 3.2.1 states that *Development on, abutting or adjacent to lands affected by mine hazards; oil, gas and salt hazards; or former mineral mining operations, mineral aggregate operations or petroleum resource operations may be permitted only if rehabilitation or other measures to address and mitigate known or suspected hazards are under way or have been completed.*

As discussed in Section 3.3.2 of this report, the Phase 1 Environmental Site Assessment concluded that a Phase 2 ESA is not required.

Policy 3.2.2 states that *Sites with contaminants in land or water shall be assessed and remediated as necessary prior to any activity on the site associated with the proposed use such that there will be no adverse effects.*

As stated above, the phase 1 ESA determined that the Subject Site is fit for the proposed development and a Phase 2 ESA is not warranted.

## 4.2 City of Ottawa Official Plan

The Subject Site is designated as “General Urban Area” in Schedule B of the *Official Plan*. Per Policy 1 of Section 3.6.1, the *General Urban Area designation permits all types and densities of housing, as well as employment, retail uses, service, industrial, cultural, leisure, greenspace, entertainment and institutional uses.* The proposed development permitted in this designation.

Policy 2 states that *the evaluation of development applications, studies, other plans and public works undertaken by the City in the General Urban Area will be in accordance with Section 2.5.1 and Section 4.11.*

### **Section 2.5.1 – Urban Design and Compatibility**

Section 2.5.1 of the *Official Plan* provides broad policy direction on urban design and community compatibility. It lists several design objectives to guide development at a City-wide scale. The proposed development achieves the following Section 2.5.1 design objectives:

- The proposed development maintains the identity of the surrounding “Pathways at Findlay Creek” subdivision and contributes to the larger Leitrim Community identity (Objective 1);
- defines quality public and private spaces by creating opportunities for landscaping in the public ROW and by providing architectural treatments on end-unit corner side walls (Objective 2);
- provides street connections to Miikana Road and Salamander Way to make the development easy to get to and move through (Objective 3);
- respects the character of the Pathways subdivision by maintaining the lot depth and built form of the adjacent townhouse blocks (Objective 4); and
- contributes to the variety of housing type and stock within the Leitrim Community (Objective 5).

### **Section 4.11 – Urban Design and Compatibility**

Section 4.11 provides compatibility criteria against which the City will evaluate the compatibility of a proposed development. The applicable criteria are listed below in bold type with a description of how the proposed development addresses each criterion.

#### ***Traffic***

A Transportation Screening Form was completed and shows that the surrounding street network has sufficient capacity to accommodate the traffic generated by the proposed development.

***Vehicular Access***

Vehicular access is provided via two connections to Miikana Road and one connection to Salamander Way. These proposed connections will not have adverse impacts on the adjacent development with respect to noise, headlight glare or loss of privacy.

***Parking Requirements***

Each proposed dwelling unit has parking for two vehicles – one in the garage and one in the driveway. Driveways are grouped where possible to provide space for landscaping in the development. Additional parking spaces are provided as on-street parallel parking and angled parking.

***Outdoor Amenity Areas***

The proposed townhouses along the eastern edge of the Subject Site respect the private outdoor amenity areas of the adjacent townhouse block by orienting the units such that the proposed rear yards will abut the adjacent rear yards.

***Loading Areas, Service Areas, and Outdoor Storage***

The proposed development will be serviced by City waste collection. Twelve metre centre-line turning radii are provided to accommodate City waste collection trucks. The proposed angled parking will serve a dual purpose as temporary snow storage during the winter months. Snow clearing will be handled privately.

***Lighting***

The proposed development will not generate light spill-over or glare that would create a nuisance for adjacent land uses.

***Noise and Air Quality***

The proposed residential development will not generate significant noise, odours or emissions.

***Sunlight***

The proposed townhouses will not create a shadowing effect on the adjacent lands.

***Microclimate***

The proposed development will not generate adverse effects related to wind, snow drifting and temperature on adjacent lands.

***Supporting Neighbourhood Services***

The proposed development is adequately served by existing and planned services and amenities in the Leitrim community and surrounding area.

### 4.3 Leitrim Community Design Plan

The Leitrim Community Design plan (CDP) is a Council-approved document that informs and guides the development of the Leitrim community. The proposed development maintains the intent of the CDP's design guidelines, as demonstrated below.

Section “5.6 – Higher Density Residential Development” in the Leitrim CDP contains the following design guidelines for townhouses:

- *Townhouses should be mixed with other house forms so that they do not dominate an entire neighbourhood.*
- *Architectural style and detail of townhouse blocks should complement the design of single and semi-detached units.*
- *Townhouses adjacent to focal points, such as facing a park, should be designed with rear lanes to avoid the dominance of a garage and parked cars in the front yard.*
- *Where front garages must be provided, the garage door should not protrude beyond the main front wall of the dwelling.*
- *Where end units of townhouse blocks are at a corner facing a public street, both front and side façades should be treated.*

The proposed development is part of the Pathways subdivision which contains a mix of housing forms. The architectural style and detail of the proposed townhouses is consistent with and complementary to the style used throughout the subdivision. The garages do not dominate the front façade of the units and the end units have additional architectural treatments on the side façades.

Section “5.7 – Residential Neighbourhoods” contains the following general design guidelines for all housing types:

- *Each neighbourhood will include a variety of housing types, reduced front yard setbacks to reinforce the street edge, and garages set behind the front of the house or accessed from a rear lane.*
- *Buildings must have front façades parallel to the road with front doors, windows, and entry features facing the road to create a consistent street wall.*
- *The garage door should not protrude beyond the main front wall of the building.*
- *Entry features and other architectural elements should be incorporated into the front elevation of the house to reduce the visual dominance of the garage and the front drive.*
- *Shared or grouped driveways will be encouraged to reduce the amount of asphalt on front yards.*
- *Corner lots and homes facing or abutting parks are priority lots within the neighbourhood. The design of these homes shall include the following considerations:*
  - *Where sides or flankage of buildings are visible, they should have windows, materials, and other architectural treatments equal to the front elevation of the house;*
  - *The main front entrance should be located on the exterior side elevation, corner windows and wrap-around porches should be included to emphasize a corner location; and,*

- *Fencing around front and/or exterior side yards should not block the view of the sidewalk from the house; their height shall be limited to 1.2 m, and they should be primarily open structures, not solid walls.*
- *The setback to the main front wall of the house should be in the range of 3 - 6.0 m from the front lot line.*

The front façades of the proposed townhomes are parallel to the private street with entry features facing the private street to create a consistent street wall and to reduce the visual dominance of the garage door and driveway. Driveways are grouped where possible to reduce the amount of asphalt on front yards. The corner units have architectural treatments equal to the front façades with the main front entrance located on the exterior side elevation. The setback from the main front wall of each unit is in the range of three to six metres from the front lot line.

The proposed development meets the intent of the Leitrim Community Design Plan.

## 5.0 CONCLUSION

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It is our assessment that the proposed Site Plan is consistent with the *Provincial Policy Statement, 2014* and generally conforms to the *City of Ottawa Official Plan*, and the *Leitrim Community Design Plan*.

This Planning Rationale, along with the associated technical studies, supports the development of Block 225 of EQ Homes' *Pathways at Findlay Creek* subdivision. The townhouse blocks are compatible with the existing and planned land uses and function well within the surrounding context, thereby representing good planning.

Sincerely,

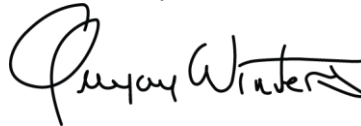
### NOVATECH

Prepared by:



Ellen Potts, BES (PI)  
Planner

Reviewed by:



Greg Winters, MCIP, RPP  
Senior Project Manager



## Appendix A: Pathways at Findlay Creek 4M-1617











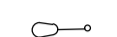


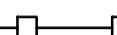
## Appendix B: Proposed Site Plan

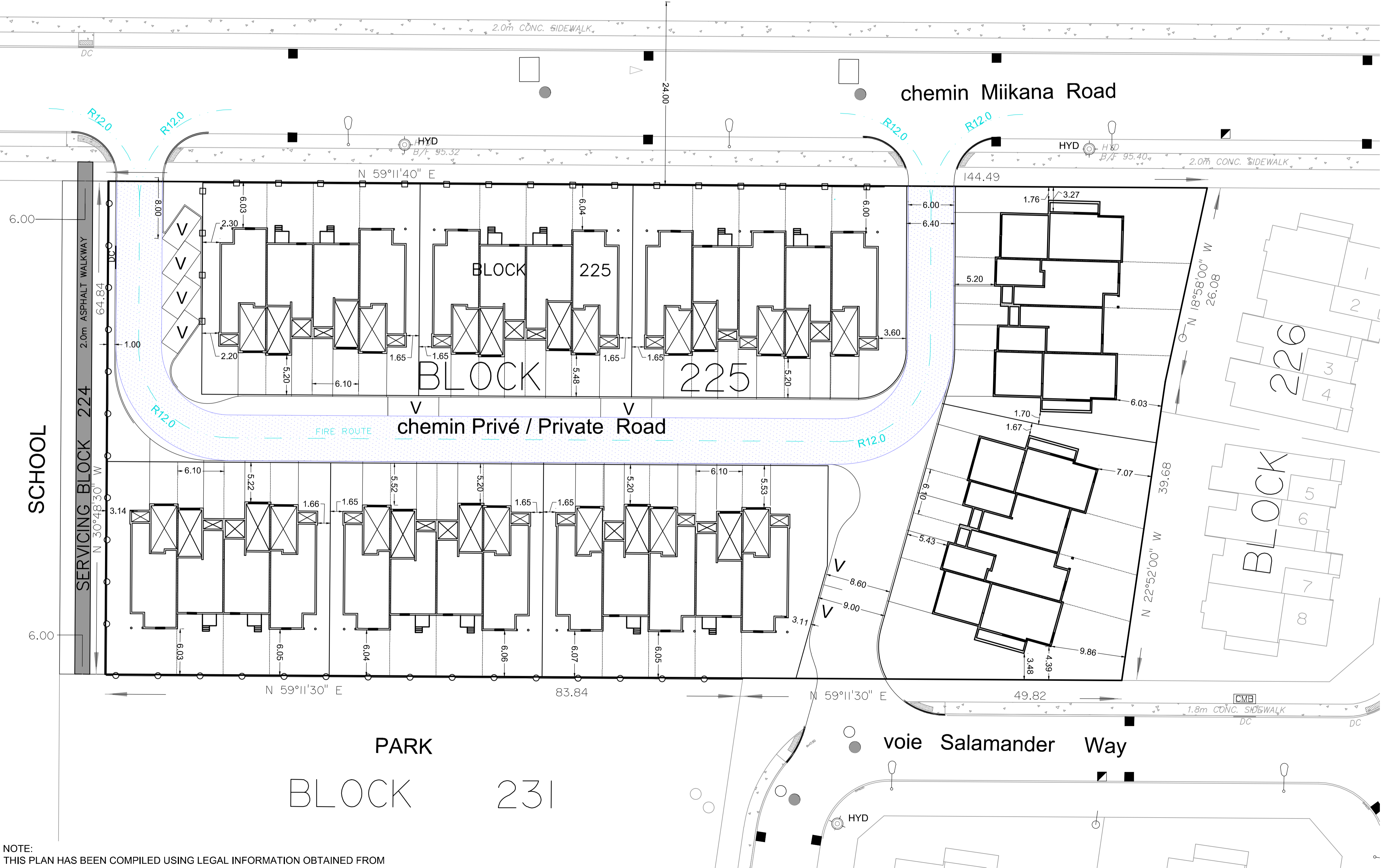
Pathways at Findlay Creek, Block 225 - Zoning Table

ZONING PROVISIONS - City of Ottawa Zoning By-law 2008-250		
PROVISION	REQUIRED	PROPOSED
RESIDENTIAL FOURTH DENSITY, SUBZONE Z (R4Z [2370])		
MIN LOT WIDTH (m)	18	133.66
MIN LOT AREA (m <sup>2</sup> )	1,400	8980.97
MAX BUILDING HEIGHT (m)	11	9.75 (from grade to roof peak)
MIN FRONT YARD SETBACK (m)	3	4.39
MIN CORNER SIDE YARD SETBACK (m)	3	N/A
MIN REAR YARD SETBACK (m)*	6	3.27
MIN INTERIOR SIDE YARD SETBACK (m)	1.2, but in the case of an abutting vacant lot, a minimum required interior side yard of 1.8	3.14
PARKING RATES		
MIN PARKING SPACE RATE	1 per dwelling unit	1 per dwelling unit
MIN VISITOR PARKING SPACE RATE	0.2 per dwelling unit	1 per dwelling unit + 8 on-street
PLANNED UNIT DEVELOPMENT		
MIN WIDTH OF PRIVATE WAY (m)	6	6
MIN SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY (m)	1.8	2.3
MIN SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM A PRIVATE WAY (m)	5.2	5.2
MIN SEPARATION AREA BETWEEN BUILDINGS WITHIN A PUD - WHERE THE HEIGHT OF ABUTTING BUILDINGS IS LESS THAN OR EQUAL TO 14.5M (m)	1.2	3.3

\* Minor Variance Required

LEGEND

-  PROPOSED FIRE ROUTE
-  PROPOSED TWSI (TACTILE WALKING SURFACE INDICATOR)
-  HYD HYDRANT C/W VALVE & LEAD
-  CATCH BASIN
-  SANITARY MANHOLE
-  STORM MANHOLE
-  STREET LIGHT
-  CMB COMMUNITY MAILBOX
-  PROPOSED CHAINLINK FENCE
-  PROPOSED WOOD PRIVACY FENCE



NOTE:  
THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM  
ANNIS, O'SULLIVAN, VOLLEBEKK LTD., ONTARIO LAND SURVEYORS  
PRELIMINARY PLAN OF SUBDIVISION (4M-1617); JOB No. 19429-17



KEYPLAN  
NOT TO SCALE

SITE PLAN  
BLOCK 225

PART OF LOT 21  
CONCESSION 4, RIDEAU FRONT  
FORMER CITY OF GLOUCESTER  
Now CITY OF OTTAWA  
BLOCK 225, PLAN 4M-1617



1 : 300

1	ISSUED FOR SITE PLAN APPLICATION	APR 04/19	EP
No.	REVISION	DATE	BY



Engineers, Planners & Landscape Architects  
Suite 200, 240 Michael Cowpland Drive  
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Facsimile (613) 254-5867  
Website www.novatech-eng.com

ISSUED	APRIL, 2019
PROJECT No.	117182
DRAWING No.	117182-SP

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