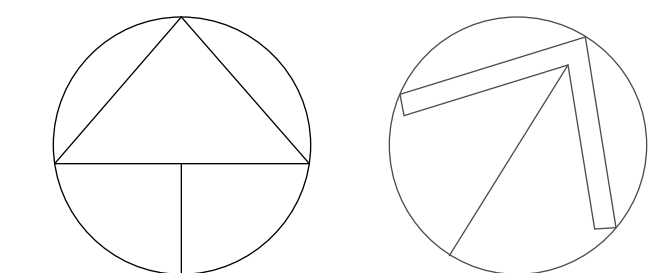
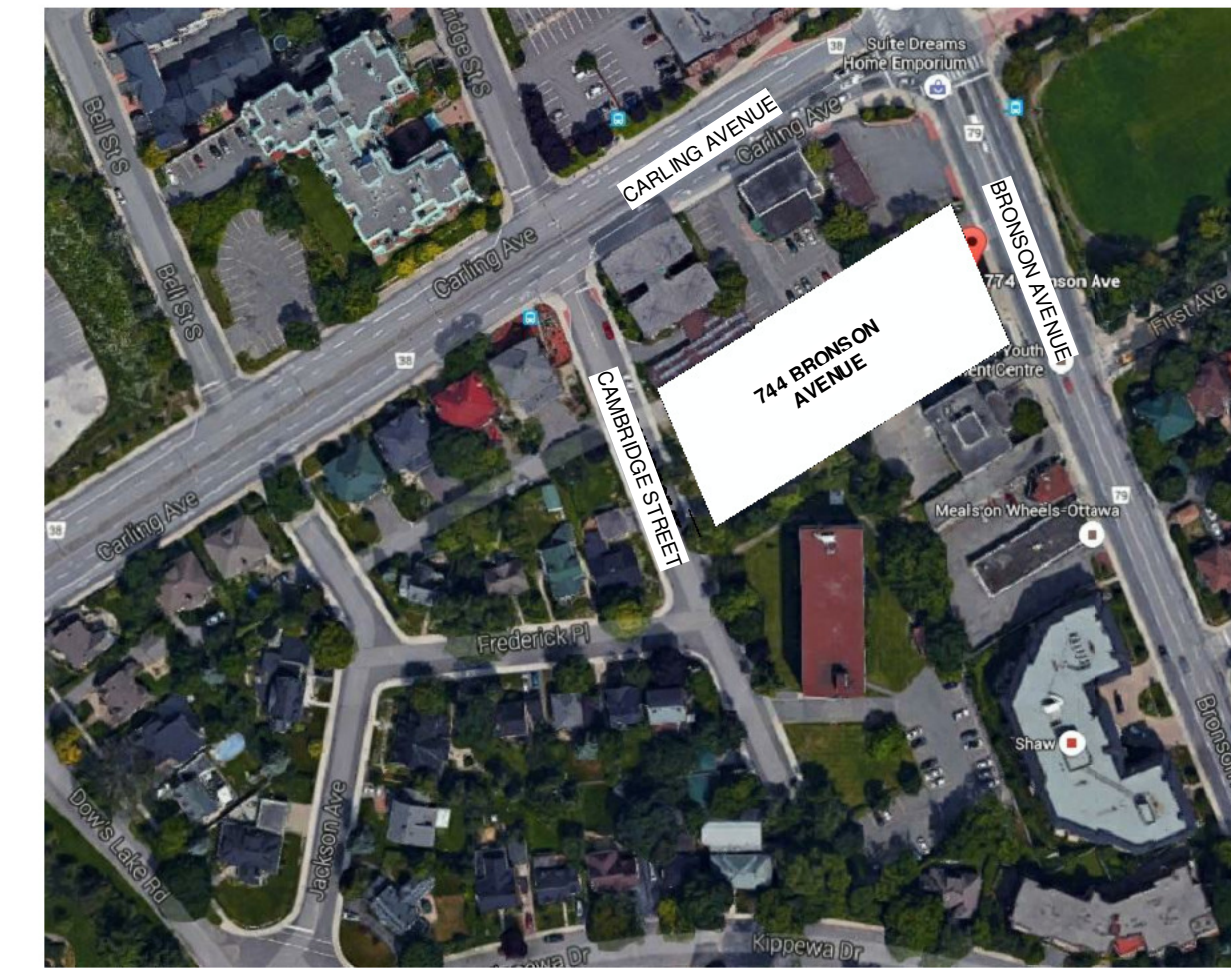


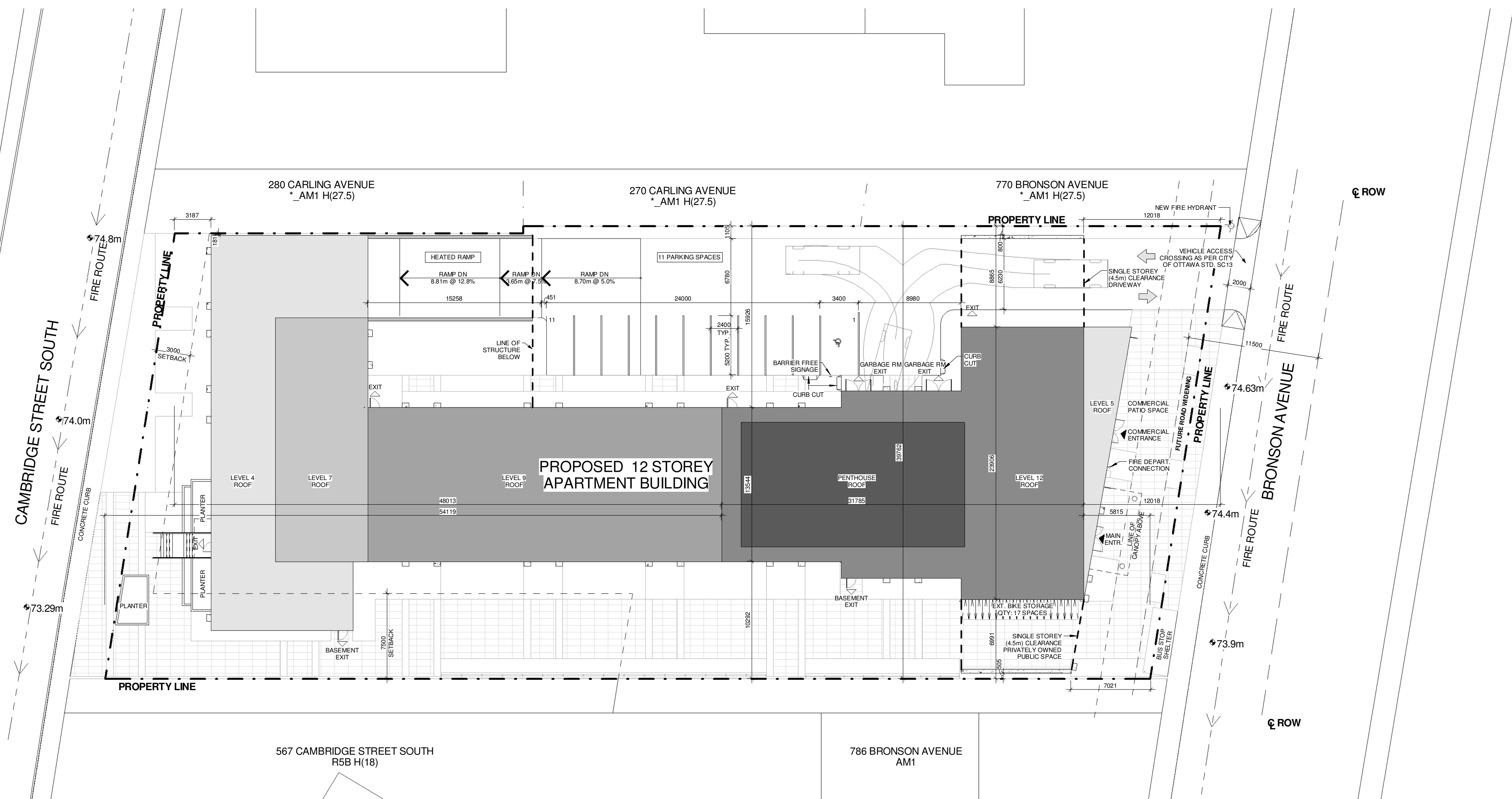
STANDARD ZONING MECHANISM - AMI		
PROVISION	REQUIREMENT	PROPOSED
MINIMUM LOT WIDTH	No Minimum	39.14 m
MINIMUM LOT AREA	No Minimum	3628 m ²
MINIMUM FRONT YARD SETBACK	No Minimum	5.50 m
MINIMUM INTERIOR SIDE YARD SETBACKS	No minimum unless abutting a residential zone (7.5 m)	4.24 m
MINIMUM REAR YARD SETBACK	3 m	3 m
MAXIMUM BUILDING HEIGHT*	Ranges from 11 to 25 m	38.90 m
MAXIMUM FLOOR SPACE INDEX*	4.5 (if 80% of parking is below grade), 2 (otherwise)	2.83
MINIMUM WIDTH OF LANDSCAPED AREA (abutting a residential zone)*	3 m	4.24 m
MINIMUM RESIDENT PARKING RATE	0.5 spaces per dwelling unit (first 12 units exempt) (80 spaces)	38 spaces
MINIMUM VISITOR PARKING RATE*	0.1 spaces per dwelling unit, first 12 units exempt (16 spaces)	
MINIMUM BICYCLE PARKING RATE	0.5 spaces per dwelling unit (86 spaces)	172 spaces
PARKING SPACE SIZE PROVISION	2.6 m (width) by 5.2 m (length)	2.6 m x 5.2 m and 2.4 m x 5.2 m
PARKING AISLE AND DRIVEWAY SIZE PROVISION	6.7 m minimum width for double traffic lane	6.7 m minimum
BICYCLE PARKING SPACE SIZE PROVISION	0.6 m by 1.8 m	0.6 m by 1.8 m (H) and 0.5 m by 1.5 m (V)
MINIMUM AMENITY AREA	6m ² per dwelling unit, 50% minimum communal amenity area (1,032m ²)	720.87m ² (interior) + 533.99 m ² (exterior) = 1,254.86 m ²

SITE DATA CHART		
DATA	REQUIREMENT	PROPOSED
ZONING	Arterial Main Street - AM1 Zone	
LOT AREA	3,628.09 m ²	
TOTAL DENSITY		172 units (308 beds)
GROSS FLOOR AREA (m ²)		10,254.80 m ²
NUMBER OF STOREYS		12
BUILDING HEIGHT (m)	maximum 41.5 m	41.5 m
COMMERCIAL / RETAIL AREA (m)		153.12 m ²
AMENITY AREA	minimum 6m ² / unit = 1032m ²	1,254.86 m ²
LANDSCAPE AREA (%)		1,088 m ² + 3,628 m ² = 29.9%
LANDSCAPE AREA (m ²)		1,088 m ²
PARKING	RESIDENTIAL (first 12 units exempt)	0.5 / unit = 80
	VISITOR (first 12 units exempt)	0.1 / unit = 16
	TOTAL	96
BICYCLE PARKING	BARRIER FREE SPACES	1 (Included in the 38 spaces)
	RESIDENTIAL	0.5 / unit = 86
	COMMERCIAL	2.5 / 100 m ² = 4
TOTAL		172



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1 SPA - KEY PLAN
1: 2000



SITE PLAN LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- FIRE ROUTE
- EASEMENT
- PRIMARY BUILDING ENTRANCE/ EXIT
- BUILDING EXIT ONLY
- PROPOSED ELEVATION
- EXISTING ELEVATION

No.	Date	Revision
2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA

srm ARCHITECTS INC.

Project No: 15076
 Issue Date: 2016-10-19
 Drawn by: EV
 Checked by: RH
 Plot Date / Time: 2016-10-19 3:25:53 PM

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774 BRONSON AVENUE,
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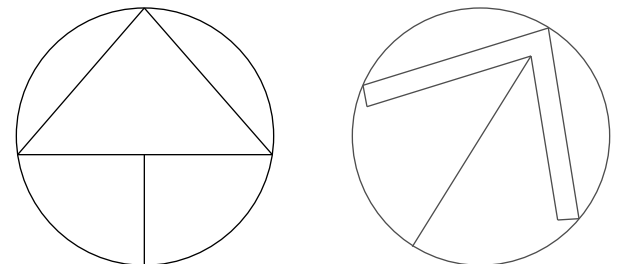
SITE PLAN

Ontario Association of Architects
 Edward Thomas Licence 5572

Drawing Scale: As indicated
 Status: As indicated
 Drawing No.:
 Revision No.:
A-1.1 - r2

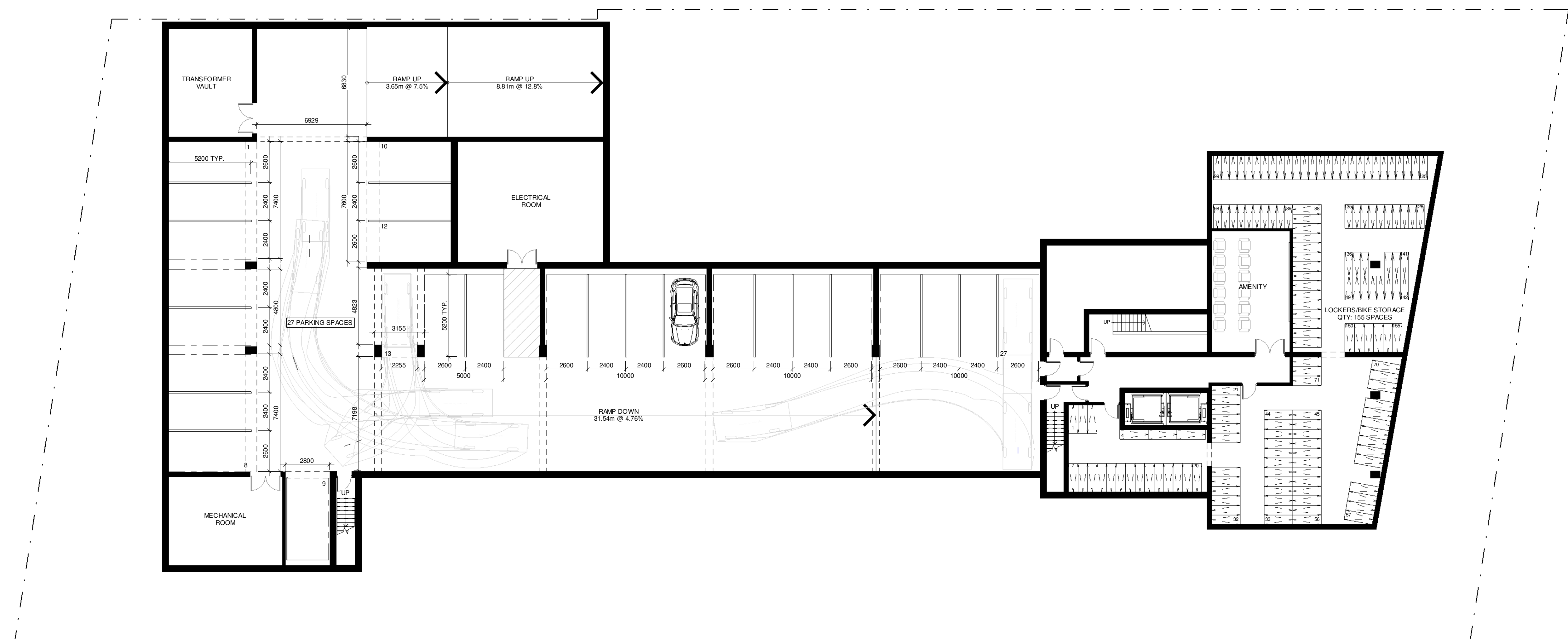
2 SPA - SITE PLAN
1: 2000

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2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

	Project No.	15076
	Issue Date	2016-10-19
	Drawn by	EV
	Checked by	RH
	Plot Date / Time	2016-10-19 3:25:54 PM

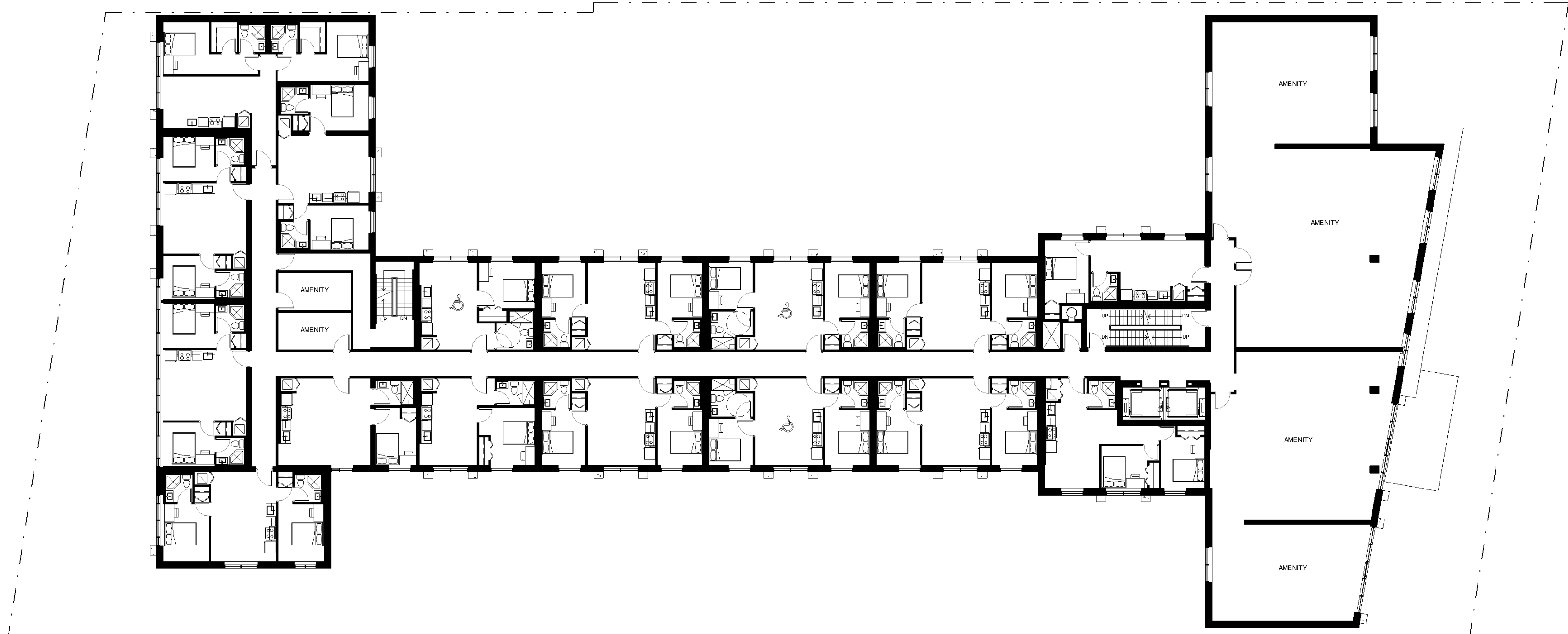
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BASEMENT FLOOR PLAN

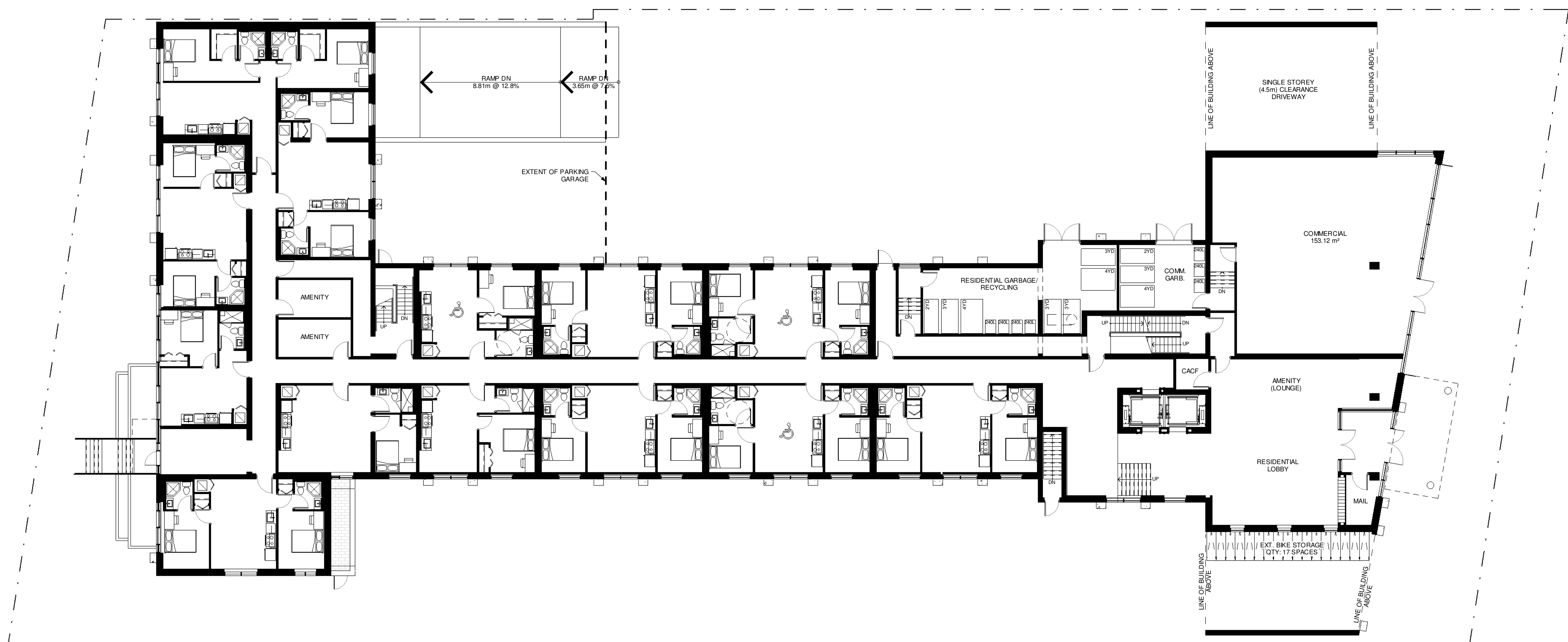
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	Status	SITE PLAN APPROVAL
	Drawing No.	Revision No.
	A-2.1 - r2	

1 BASEMENT
1 : 150

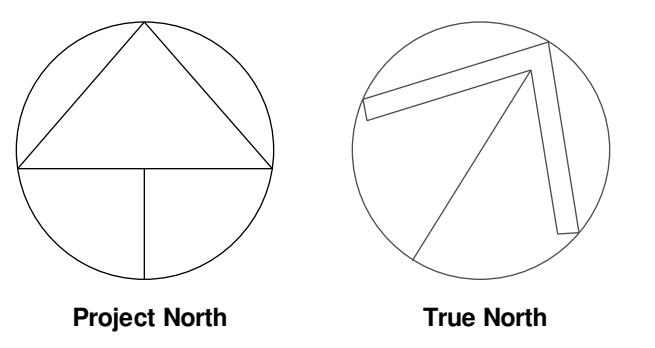
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2 LEVEL 2
1:150



1 LEVEL 1
1:150



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1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

Project No. 15076
 Issue Date 2016-10-19
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LEVEL 1 & 2 FLOOR PLAN

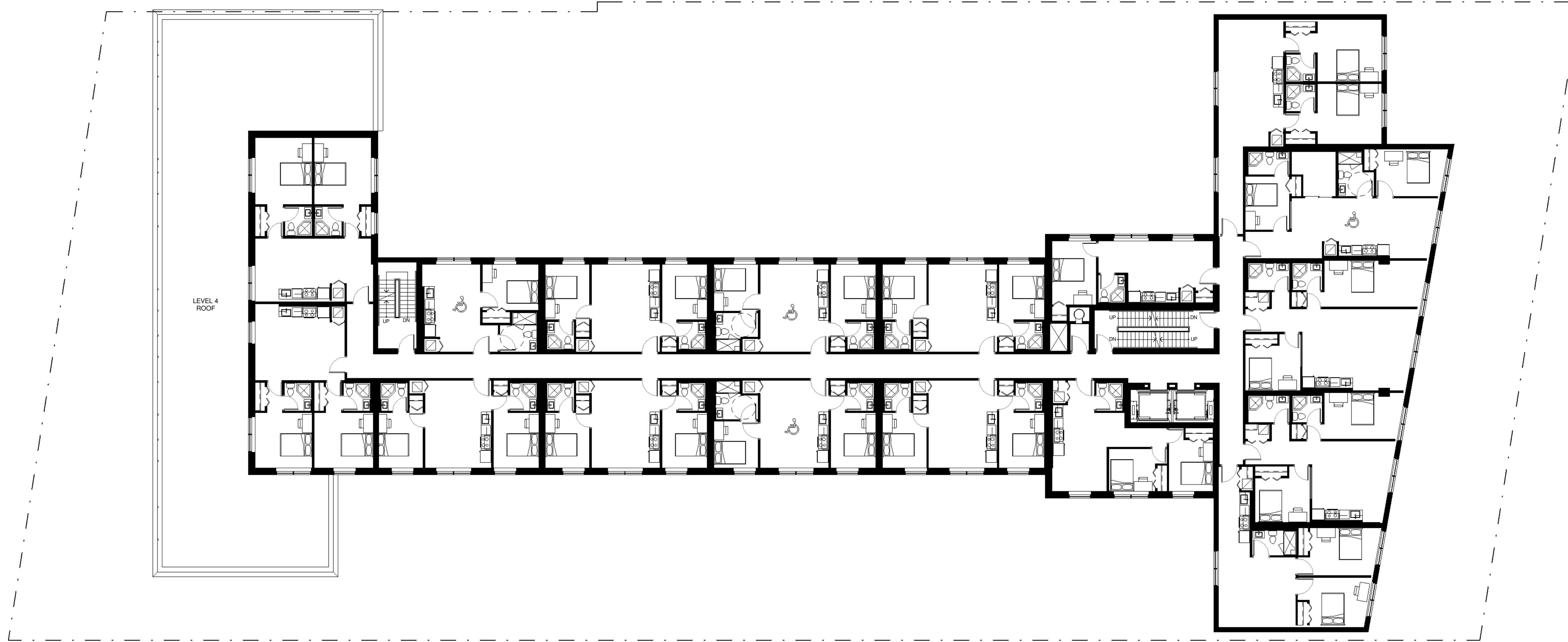
EDWARD THOMAS
LICENCE
5572

Drawing Scale 1:150
 Status
 Drawing No. Revision No.
SITE PLAN APPROVAL

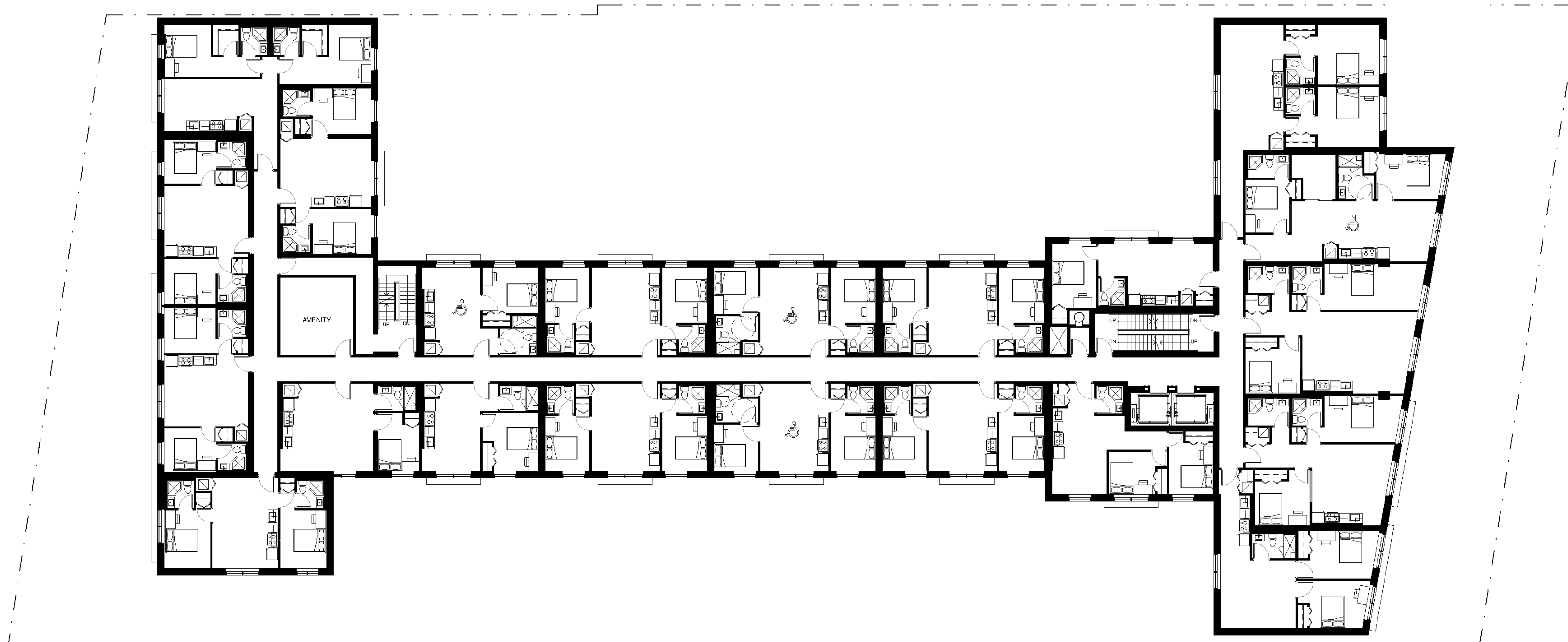
A-2.2 - r2

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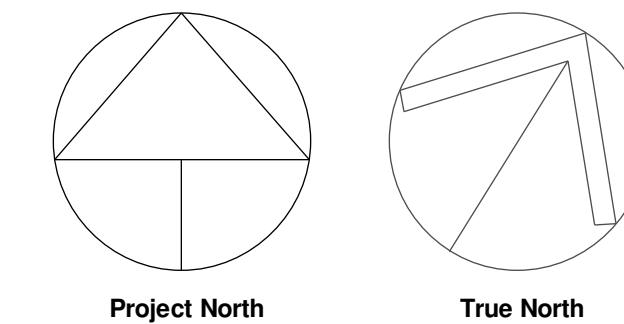
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2 LEVEL 5
1:150



1 LEVEL 3-4 TYPICAL
1:150



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No.	Date	Revision

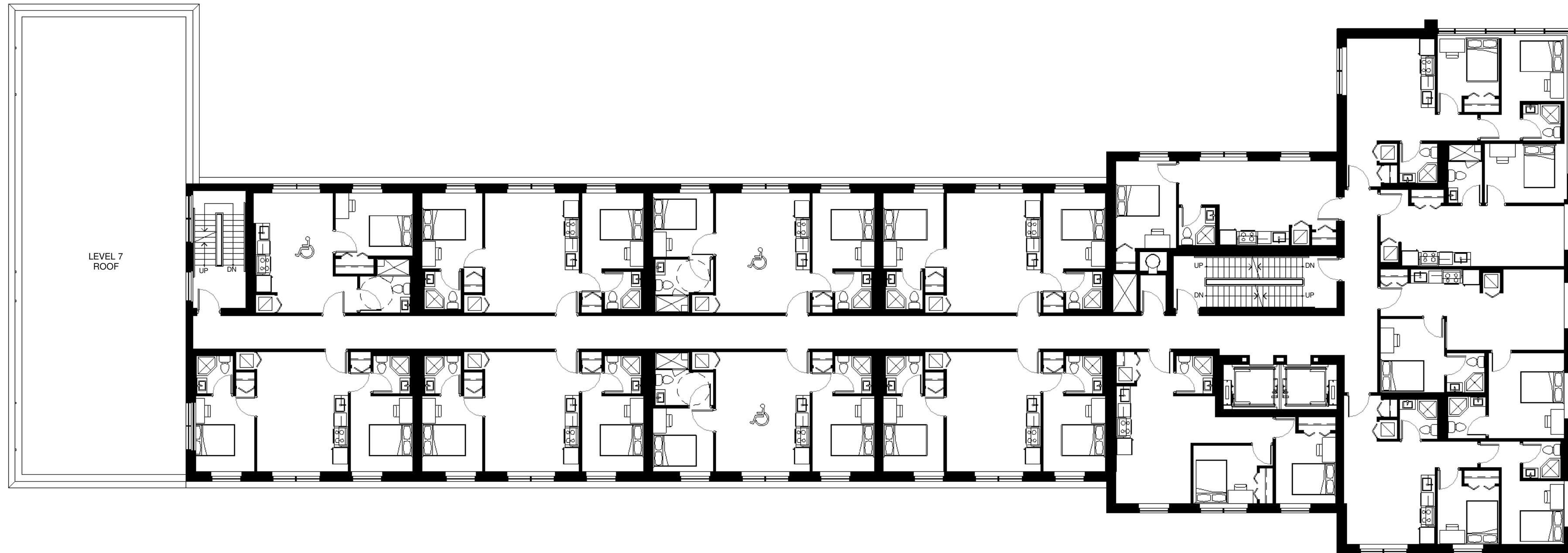
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	Issue Date	2016-10-19
	Drawn by	EV
	Checked by	RH
	Plot Date / Time	2016-10-19 3:26:00 PM

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774 BRONSON AVENUE,
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LEVEL 3-4 & 5 FLOOR PLAN

	Drawing Scale	1:150
	Status	SITE PLAN APPROVAL
	Drawing No.	Revision No.
	EDWARD THOMAS LICENCE 5572	

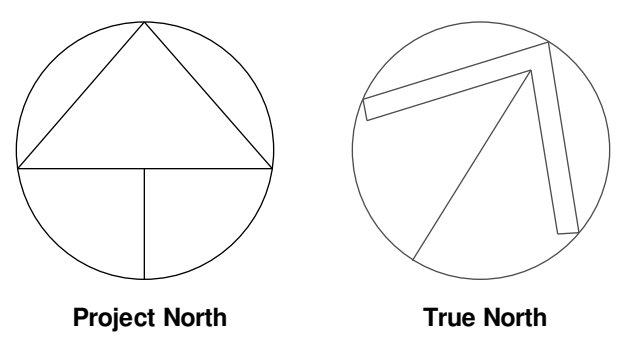
A-2.3 - r2



2 LEVEL 8-9 TYPICAL
1:150



1 LEVEL 6-7 TYPICAL
1:150



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No.	Date	Revision

	Project No.	15076
	Issue Date	2016-10-19
	Drawn by	EV
	Checked by	RH
	Plot Date / Time	2016-10-19 3:26:02 PM

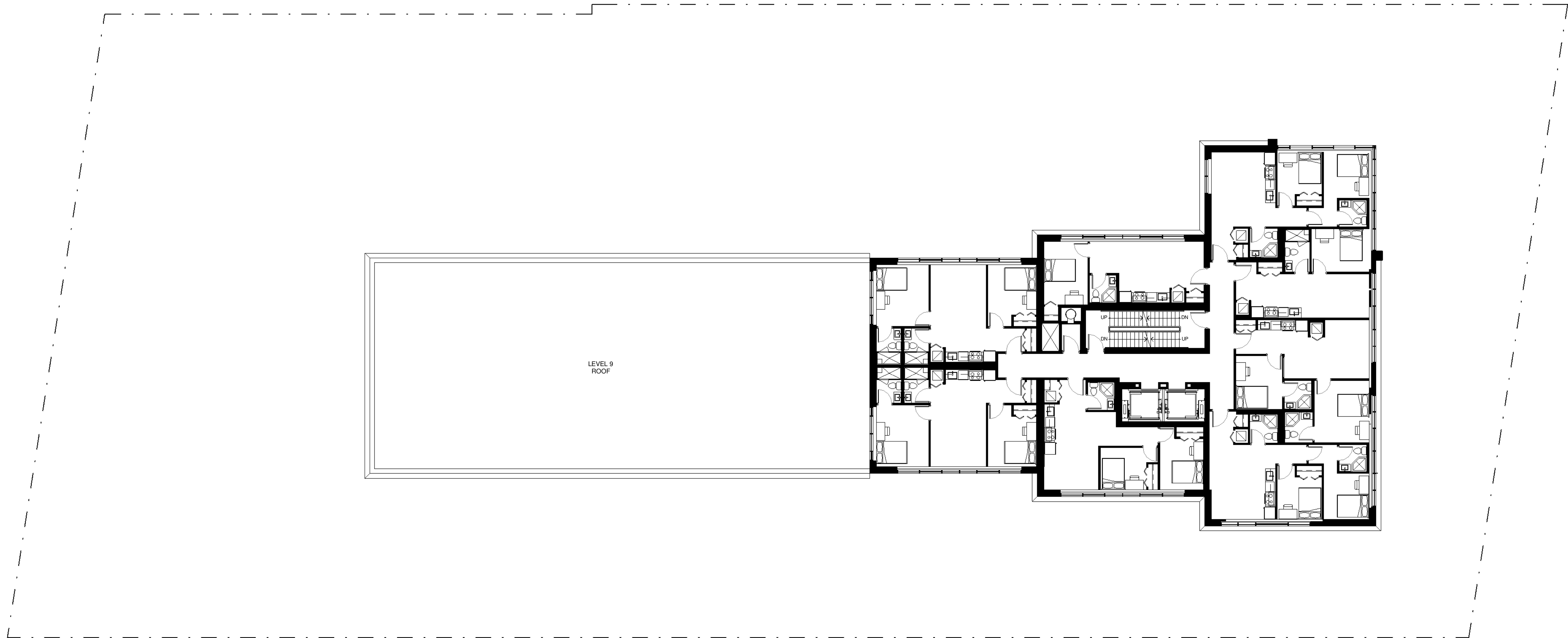
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LEVEL 6-7 & 8-9 FLOOR
PLAN

Drawing Scale: 1:150
 Status: **SITE PLAN APPROVAL**
 Drawing No.: **A-2.4** / Revision No.: **- r2**

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1 LEVEL 10-12 TYPICAL
1 : 150

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No.	Date	Revision

Project No. 15076
 Issue Date 2016-10-19
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LEVEL 10-12 FLOOR PLAN

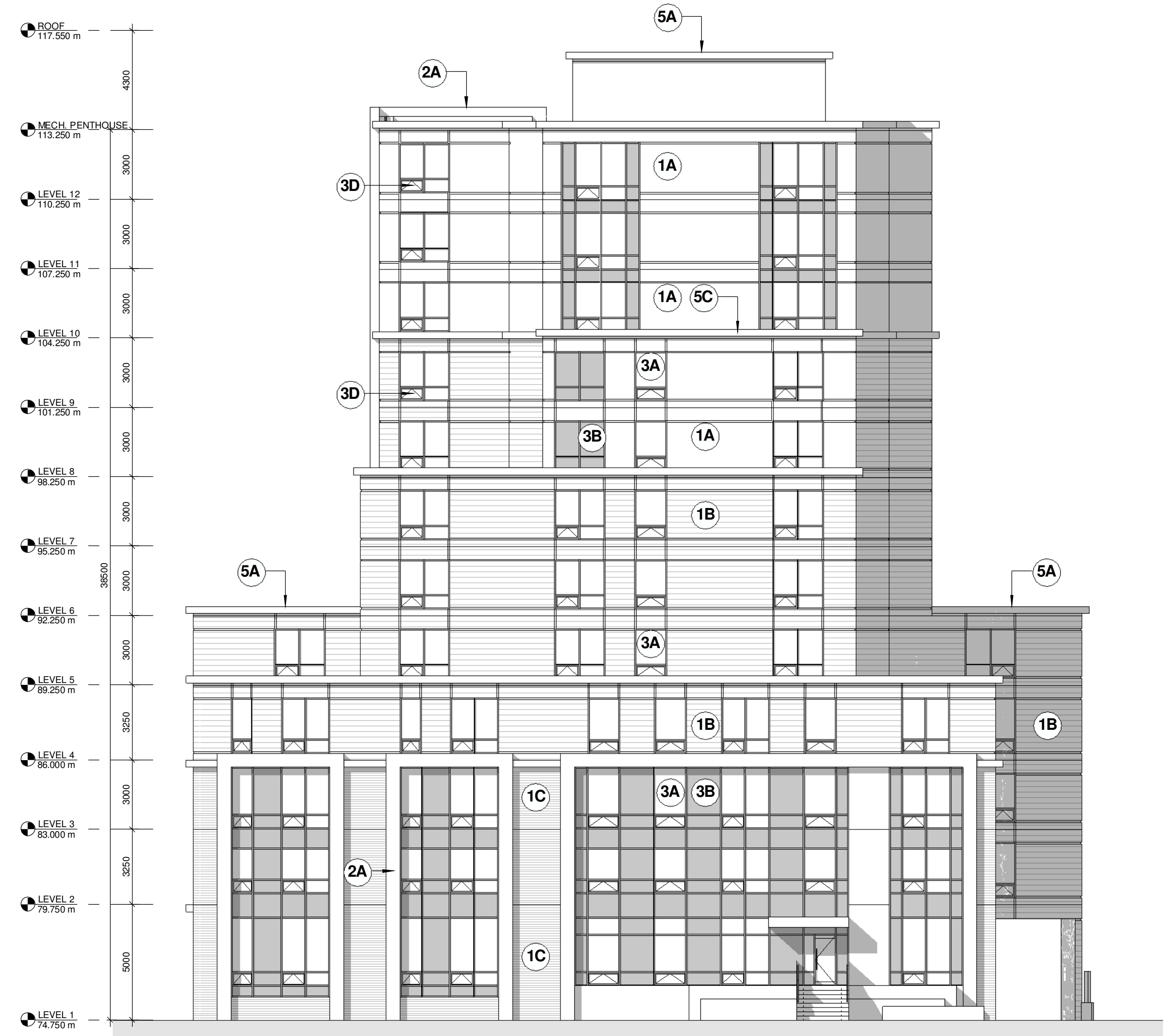
EDWARD THOMAS
LICENCE
5572

Drawing Scale 1 : 150
 Status
 Drawing No. Revision No.
A-2.5 - r2

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2 SPA - BRONSON AVENUE ELEVATION
1:150




1 SPA - CAMBRIDGE STREET ELEVATION
1:150

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EXTERIOR FINISH LEGEND

- 1A PRECAST CONCRETE PANEL**
COLOUR: WHITE
- 1B PRECAST CONCRETE PANEL**
COLOUR: WHITE BRICK
- 1C PRECAST CONCRETE PANEL**
COLOUR: BROWN (WOOD)
- 2A PRECAST CONCRETE FRAME**
COLOUR: CHARCOAL
- 3A PREFINISHED WINDOWWALL**
GLASS TYPE: VISION PANEL
- 3B PREFINISHED WINDOWWALL**
GLASS TYPE: SPANDREL PANEL (LIGHT GREY)
- 3C PREFINISHED WINDOWWALL**
GLASS TYPE: SPANDREL PANEL (DARK GREY)
- 3D PREFINISHED WINDOWWALL: OPERABLE AWNING**
GLASS TYPE: VISION PANEL
- 4A PREFINISHED STOREFRONT SYSTEM**
GLASS TYPE: VISION PANEL
- 4B PREFINISHED STOREFRONT SYSTEM**
GLASS TYPE: GLASS SPANDREL PANEL
- 5A PRECAST CONCRETE BAND**
COLOUR: GREY
- 5B PRECAST CONCRETE BAND**
COLOUR: CHARCOAL
- 5C PRECAST CONCRETE BAND**
COLOUR: WHITE

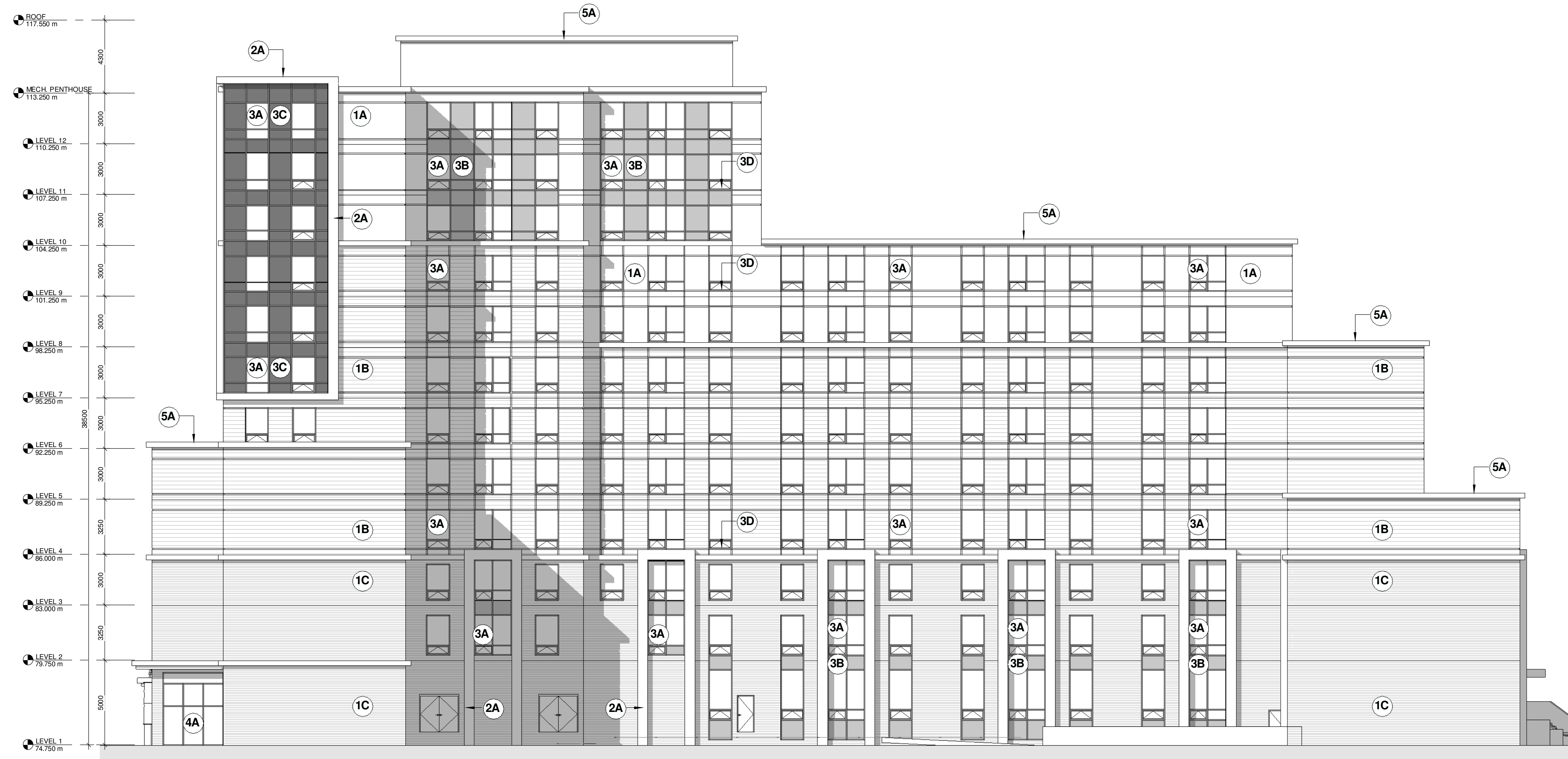
2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
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No.	Date	Revision


 Project No. 15076
 Issue Date 2016-10-19
 Drawn by EV
 Checked by RH
 Plot Date / Time 2016-10-19 3:26:13 PM

TEXTBOOK SUITES
774 BRONSON AVENUE,
OTTAWA
STREET ELEVATIONS

Drawing Scale 1:150
 Status
 Drawing No. Revision No.

 EDWARD THOMAS
 LICENCE 5572
A-3.1 - r2

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EXTERIOR FINISH LEGEND

- 1A PRECAST CONCRETE PANEL**
COLOUR: WHITE
- 1B PRECAST CONCRETE PANEL**
COLOUR: WHITE BRICK
- 1C PRECAST CONCRETE PANEL**
COLOUR: BROWN (WOOD)
- 2A PRECAST CONCRETE FRAME**
COLOUR: CHARCOAL
- 3A PREFINISHED WINDOWWALL**
GLASS TYPE: VISION PANEL
- 3B PREFINISHED WINDOWWALL**
GLASS TYPE: SPANDREL PANEL (LIGHT GREY)
- 3C PREFINISHED WINDOWWALL**
GLASS TYPE: SPANDREL PANEL (DARK GREY)
- 3D PREFINISHED WINDOWWALL: OPERABLE AWNING**
GLASS TYPE: VISION PANEL
- 4A PREFINISHED STOREFRONT SYSTEM**
GLASS TYPE: VISION PANEL
- 4B PREFINISHED STOREFRONT SYSTEM**
GLASS TYPE: GLASS SPANDREL PANEL
- 5A PRECAST CONCRETE BAND**
COLOUR: GREY
- 5B PRECAST CONCRETE BAND**
COLOUR: CHARCOAL
- 5C PRECAST CONCRETE BAND**
COLOUR: WHITE

2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

Project No.	15076
Issue Date	2016-10-19
Drawn by	EV
Checked by	RH
Plot Date / Time	2016-10-19 3:26:19 PM

**TEXTBOOK SUITES
774 BRONSON AVENUE,
OTTAWA**

NORTH ELEVATION

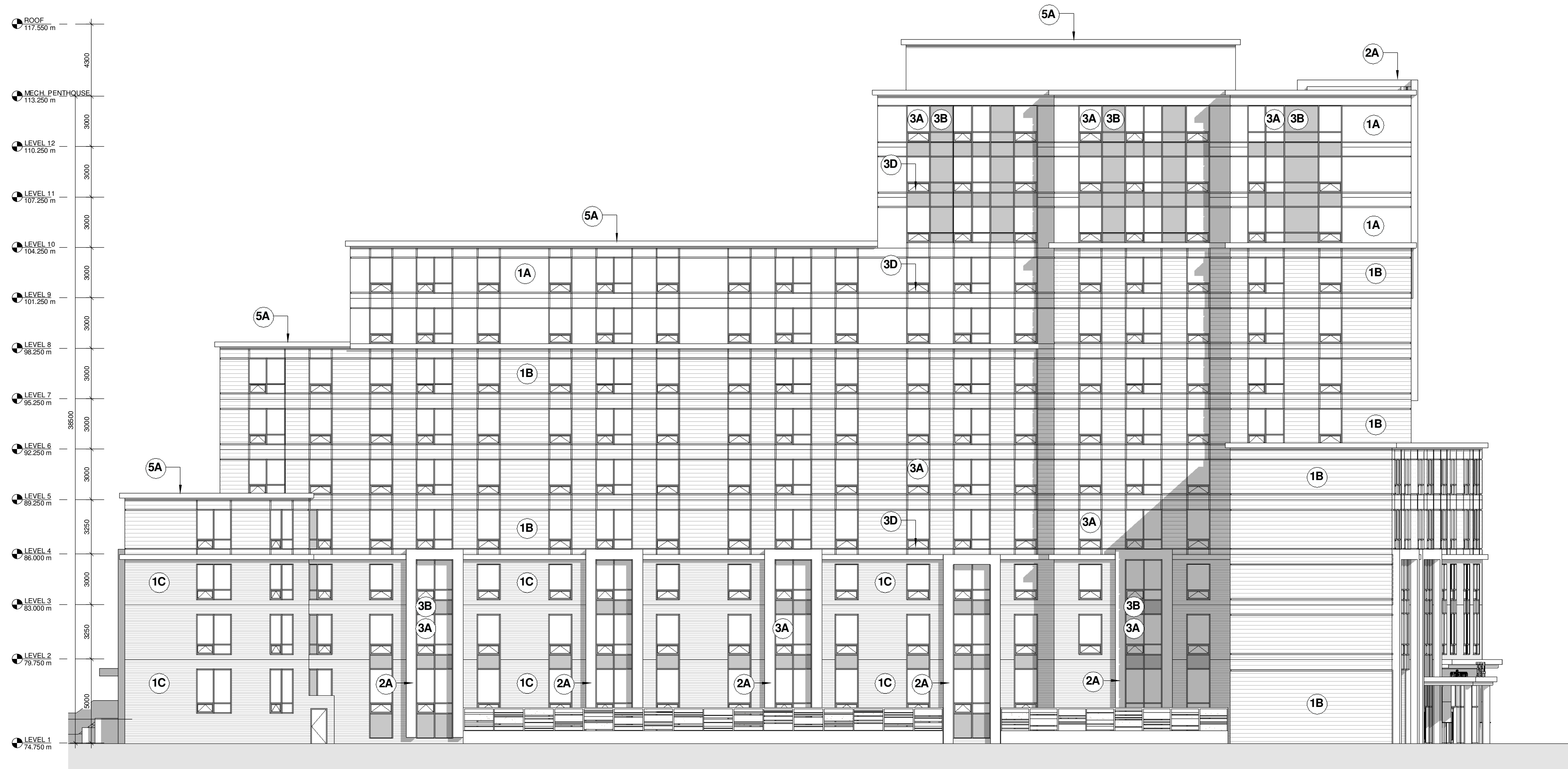
EDWARD THOMAS
LICENCE
5572

Drawing Scale	1 : 150
Status	SITE PLAN APPROVAL
Drawing No.	Revision No.

1 SPA - NORTH ELEVATION
1 : 150

A-3.2 - r2

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COLOUR: GREY
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COLOUR: CHARCOAL
- 5C PRECAST CONCRETE BAND**
COLOUR: WHITE

2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision


 Project No. 15076
 Issue Date 2016-10-19
 Drawn by EV
 Checked by RH
 Plot Date / Time 2016-10-19 3:26:25 PM

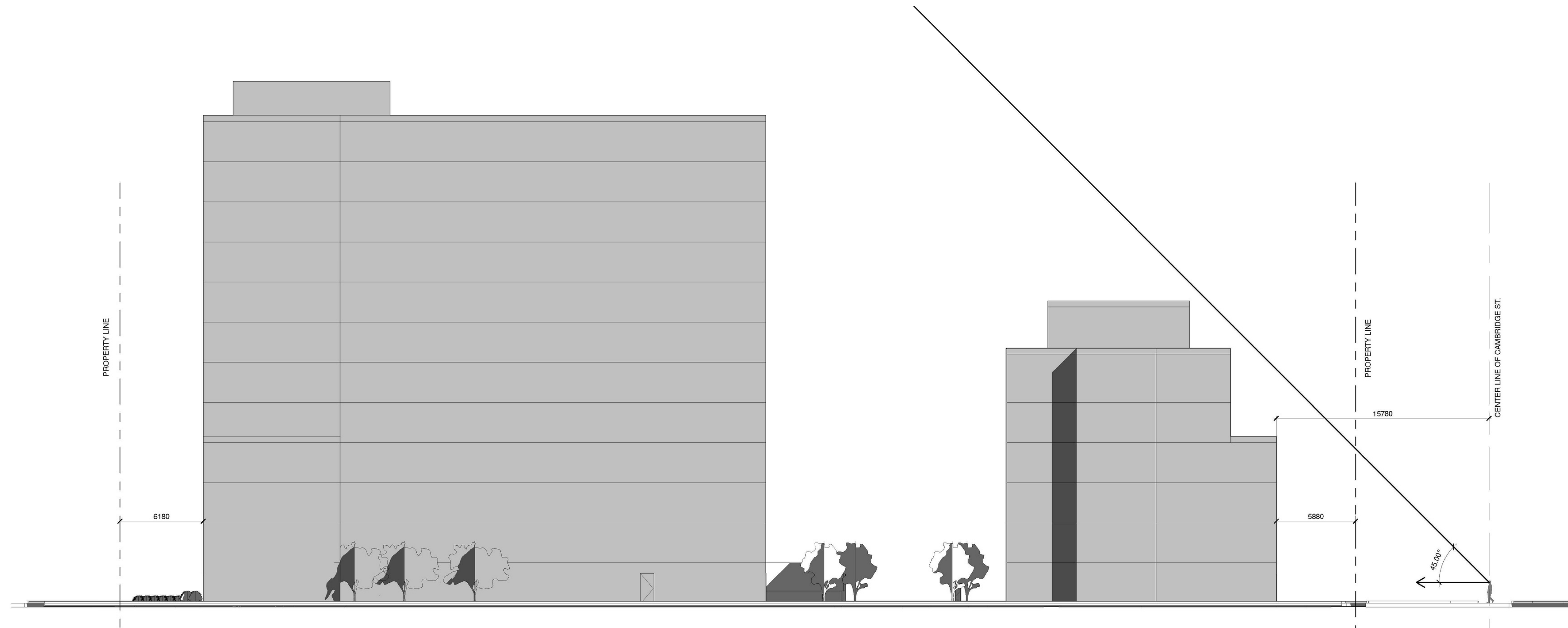
TEXTBOOK SUITES
774 BRONSON AVENUE,
OTTAWA

SOUTH ELEVATION

Drawing Scale 1 : 150
 Status
 Drawing No. 1
 Revision No. 1

 EDWARD THOMAS
 LICENCE 5572
A-3.3 - r2

1 SPA - SOUTH ELEVATION
1:150

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PREVIOUS SCHEME



NEW SCHEME


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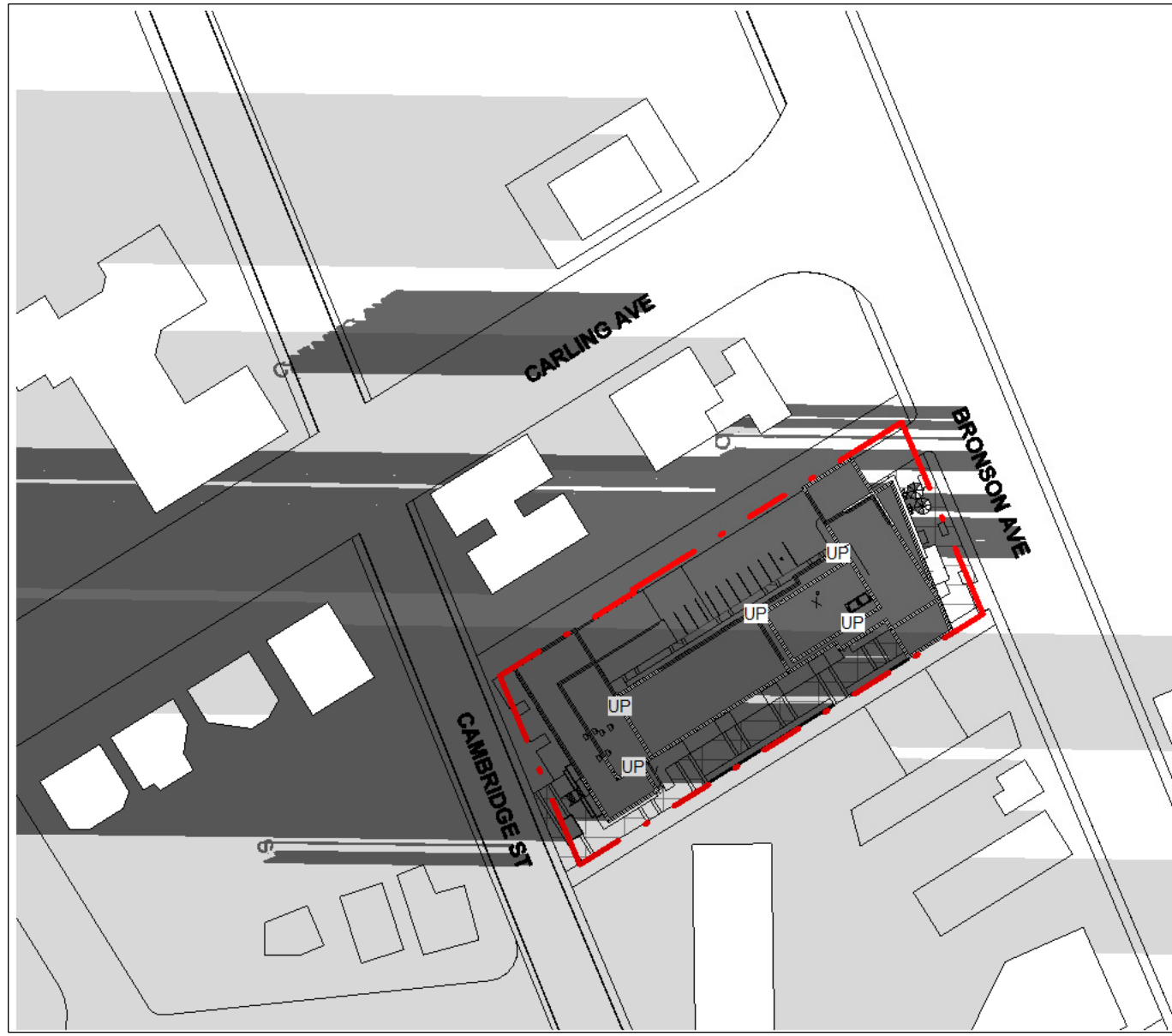
No.	Date	Revision
1	2016-10-19	SPA & ZBA SUBMISSION NO. 2


 Project No. 15076
 Issue Date 2016-10-19
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 Plot Date / Time 2016-10-19 3:26:33 PM

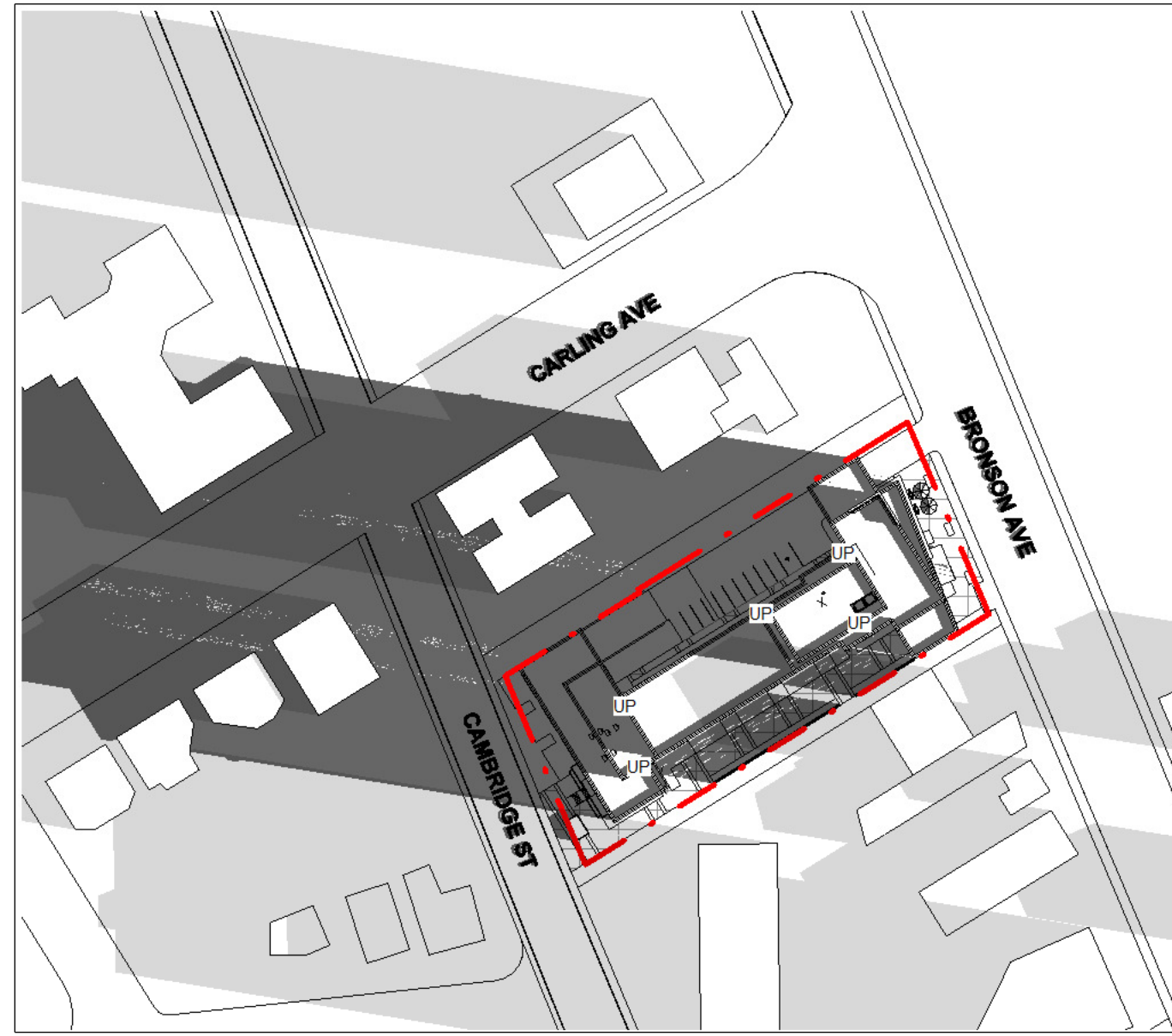
TEXTBOOK SUITES
774 BRONSON AVENUE,
OTTAWA

SIGHTLINE COMPARISON

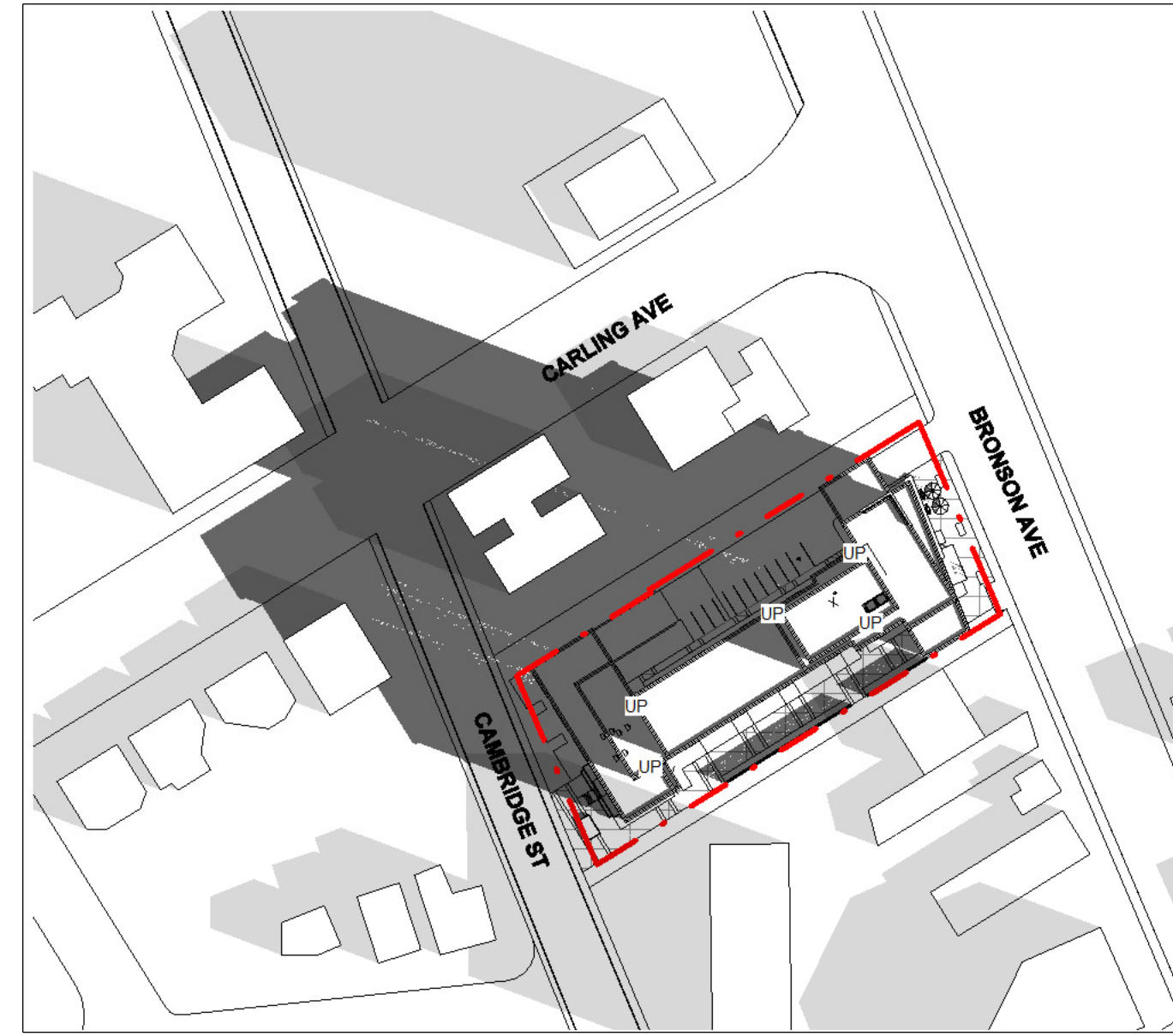
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 Status
 Drawing No. Revision No.

 EDWARD THOMAS
 LICENCE
 5572
A-3.4 - r1



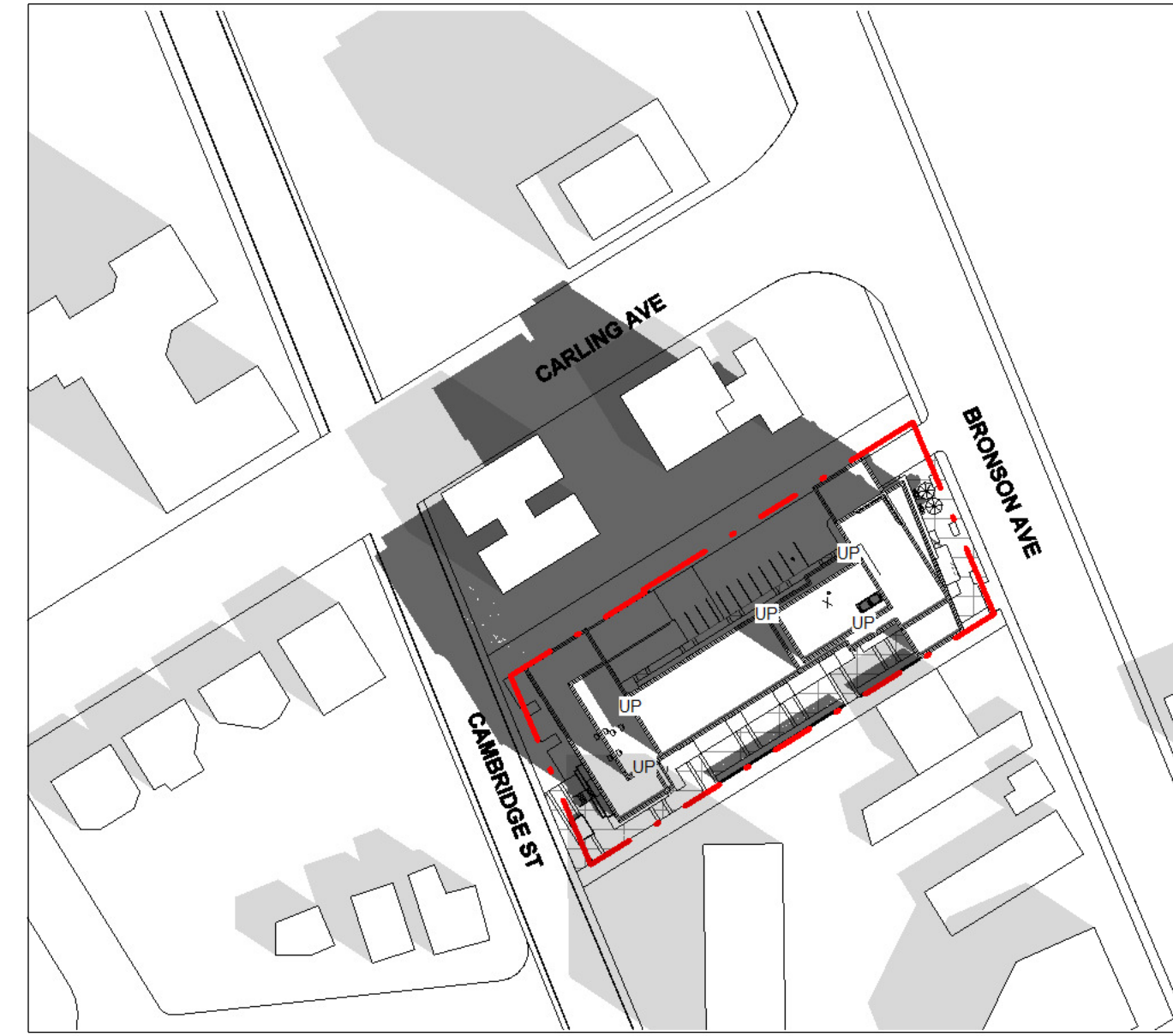
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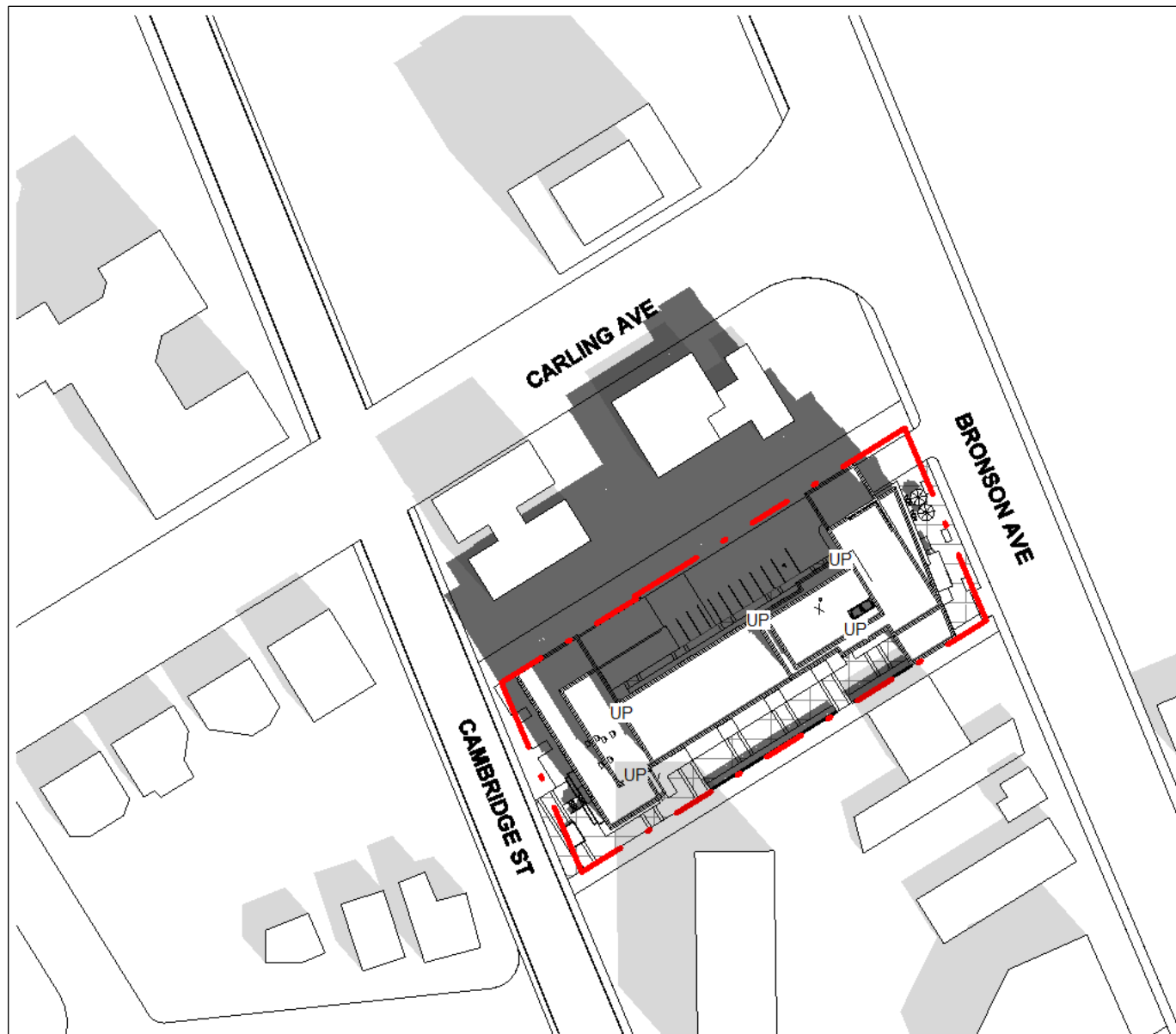
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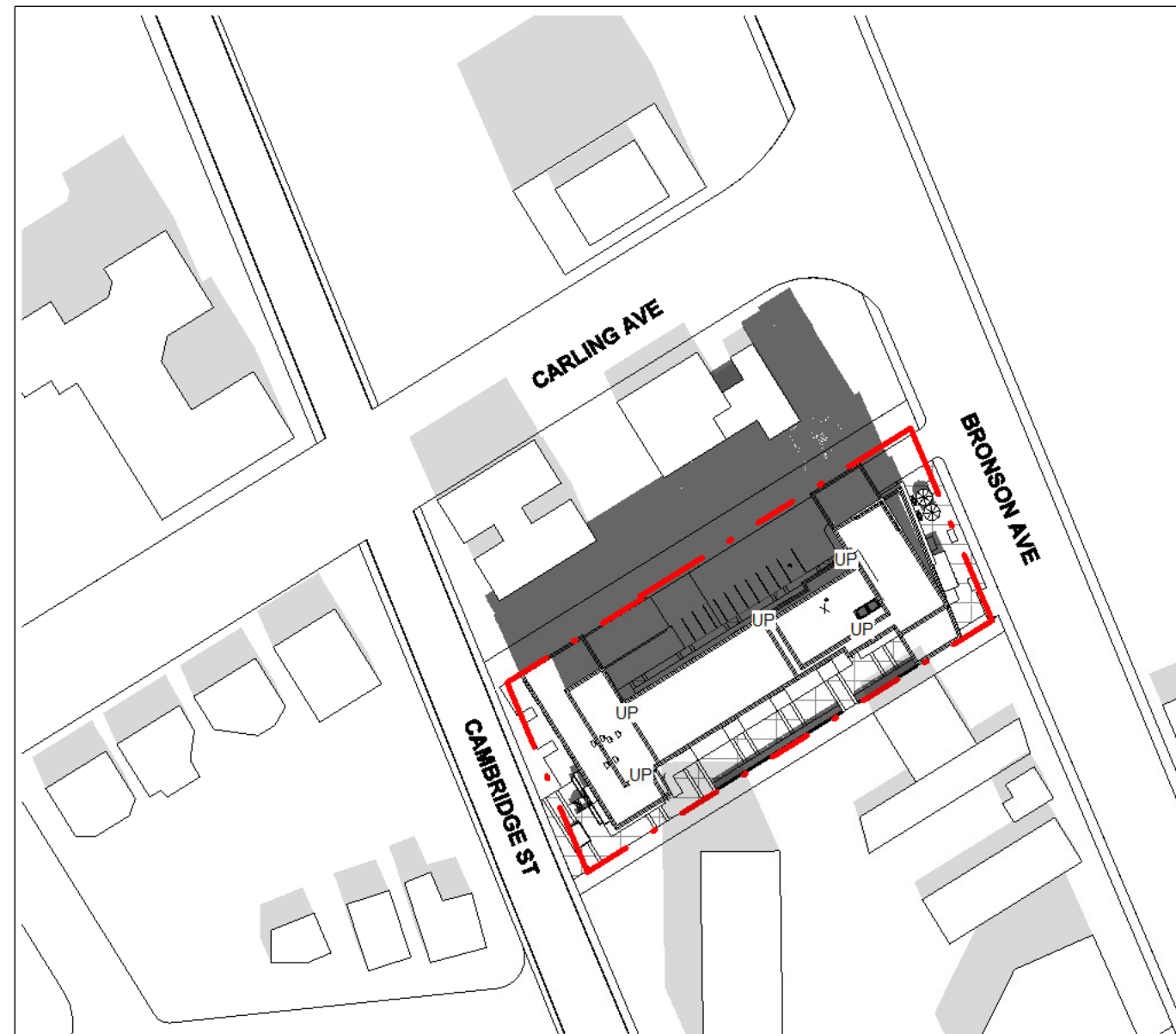
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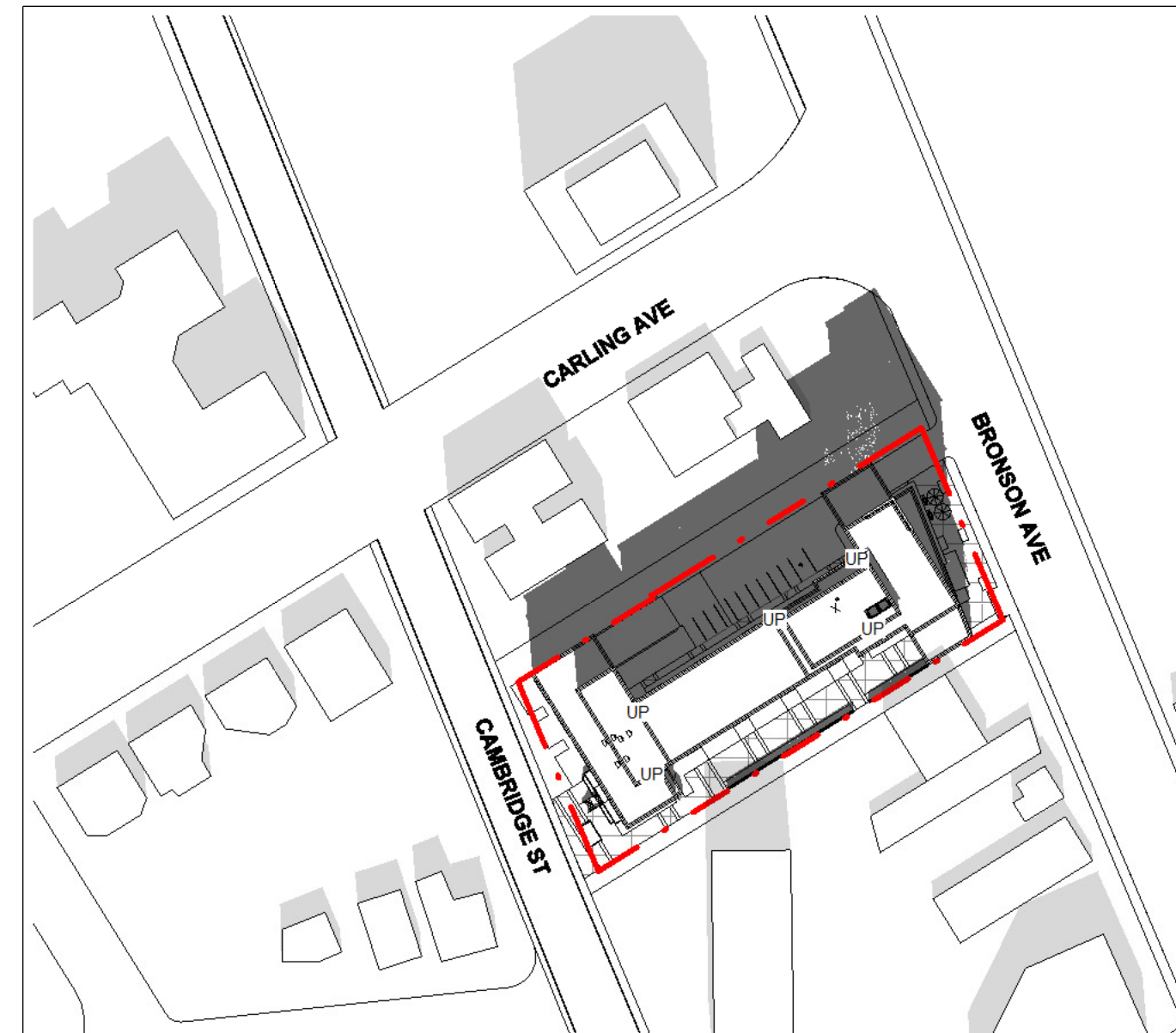
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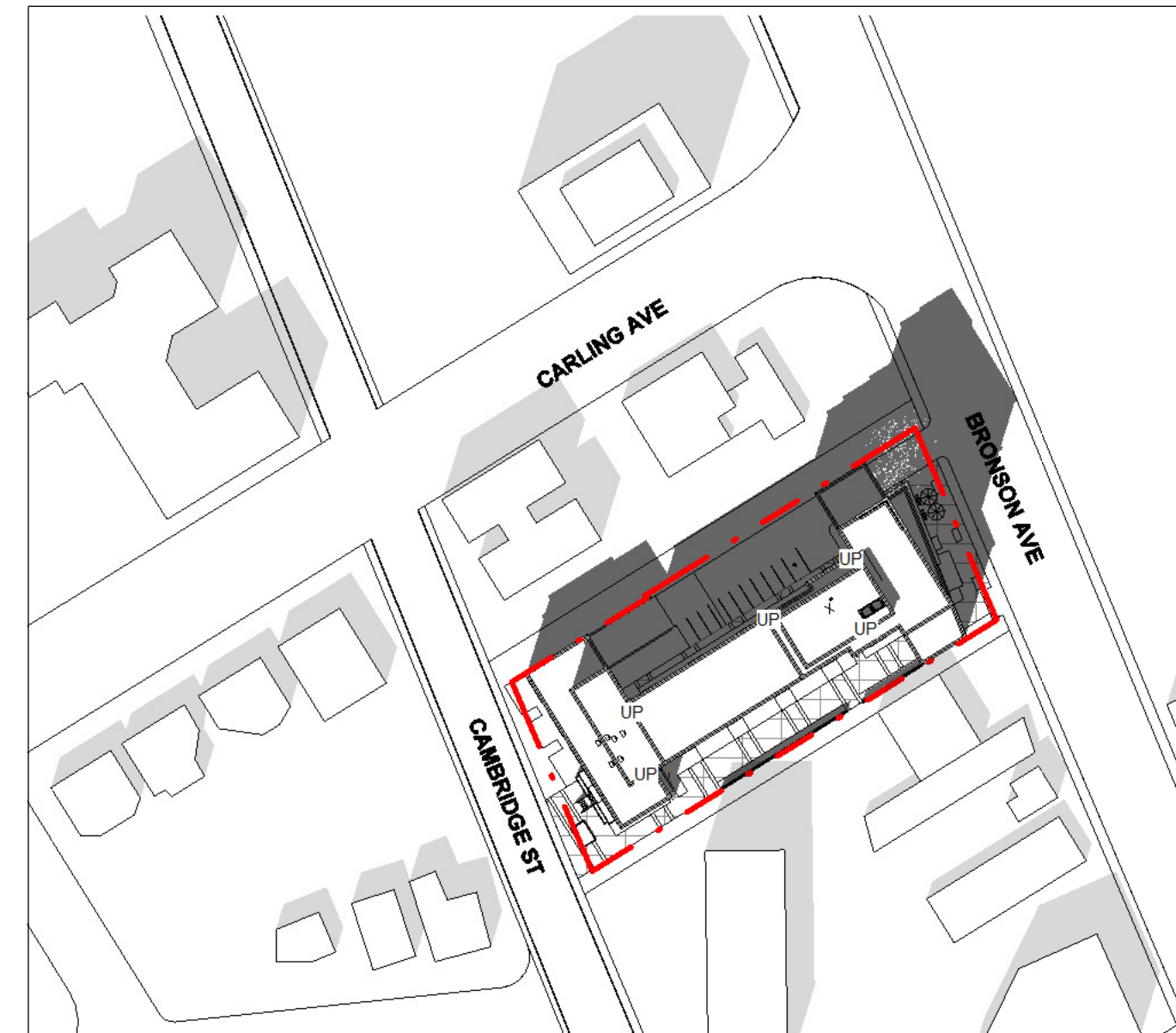
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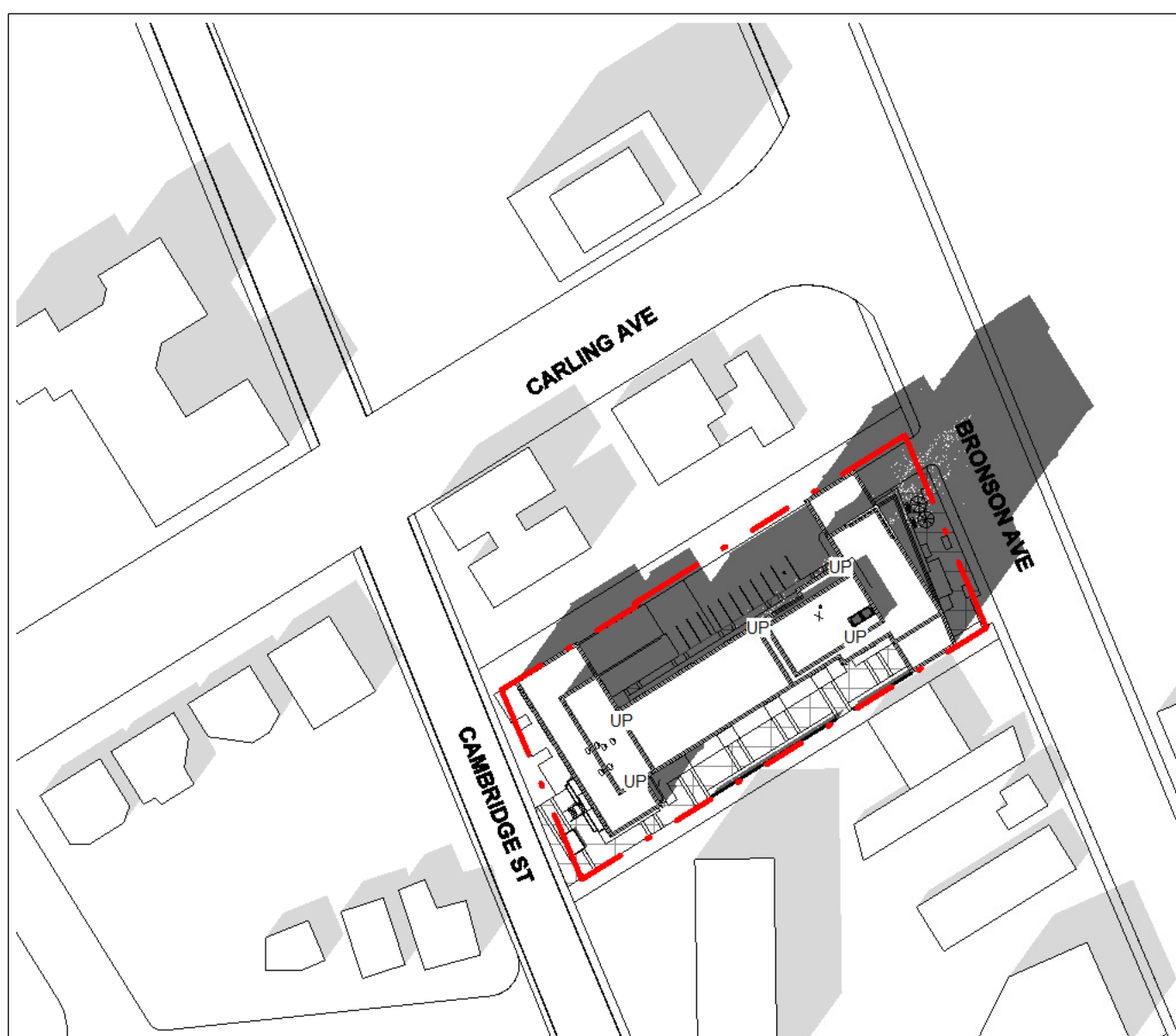
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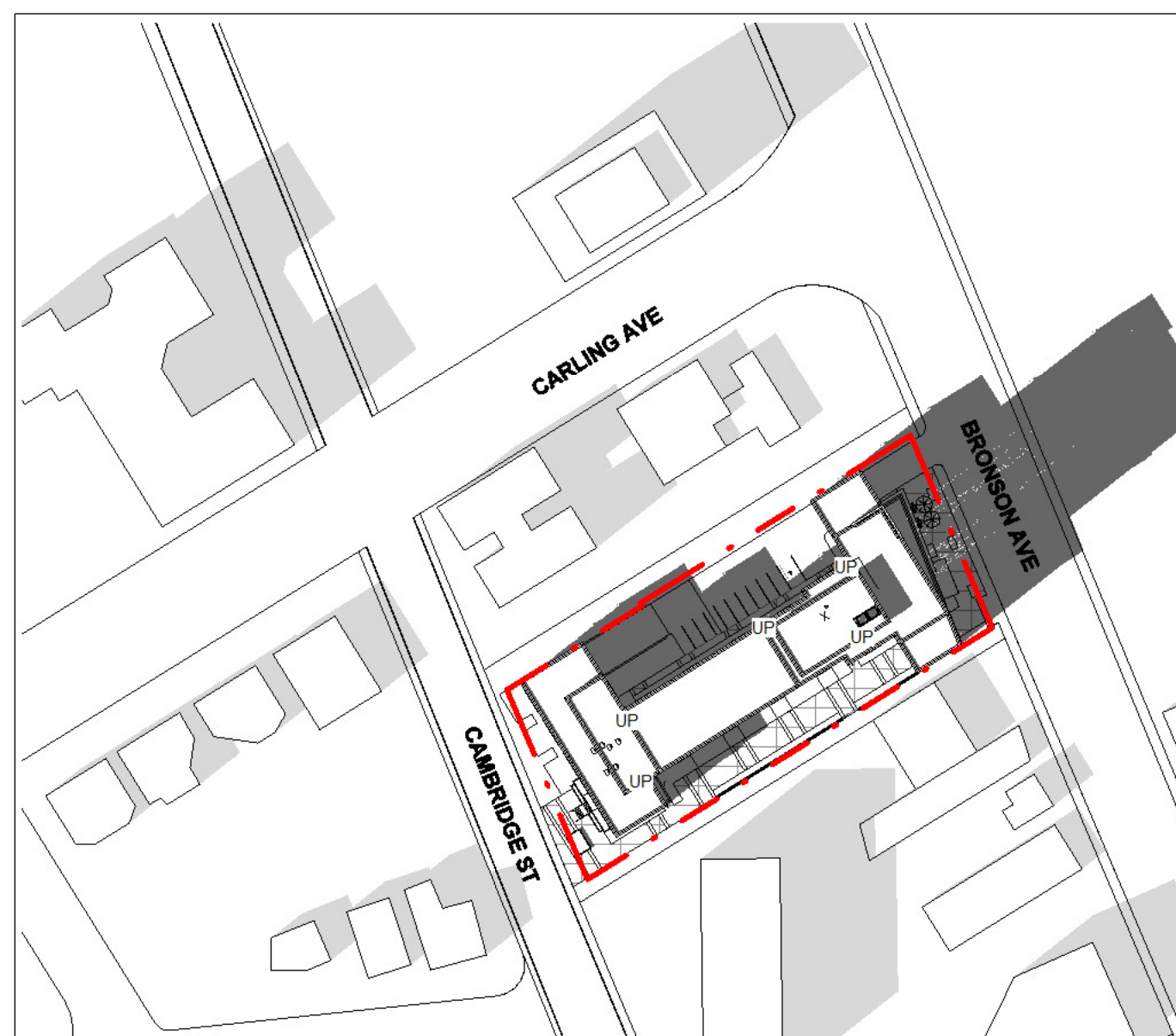
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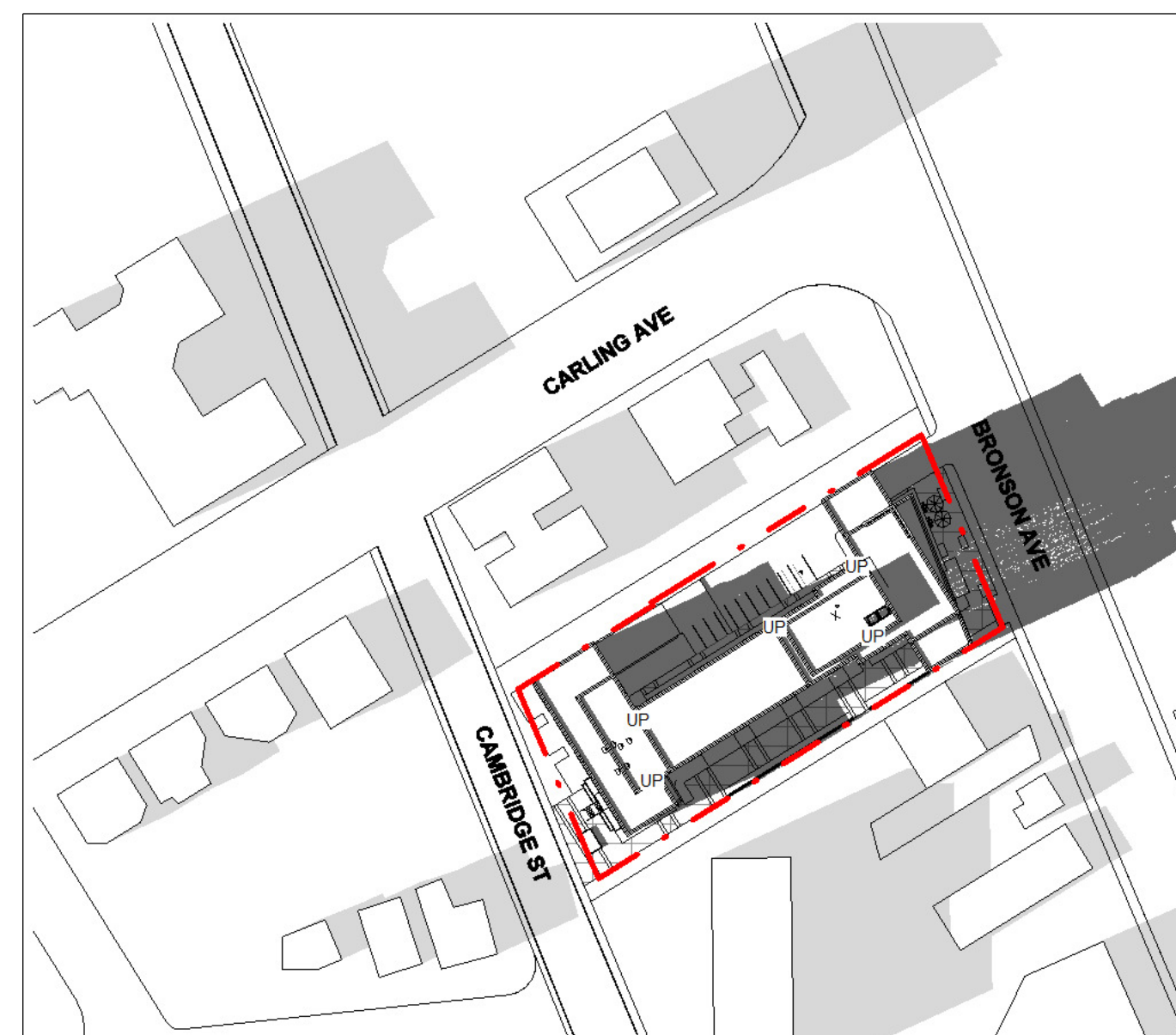
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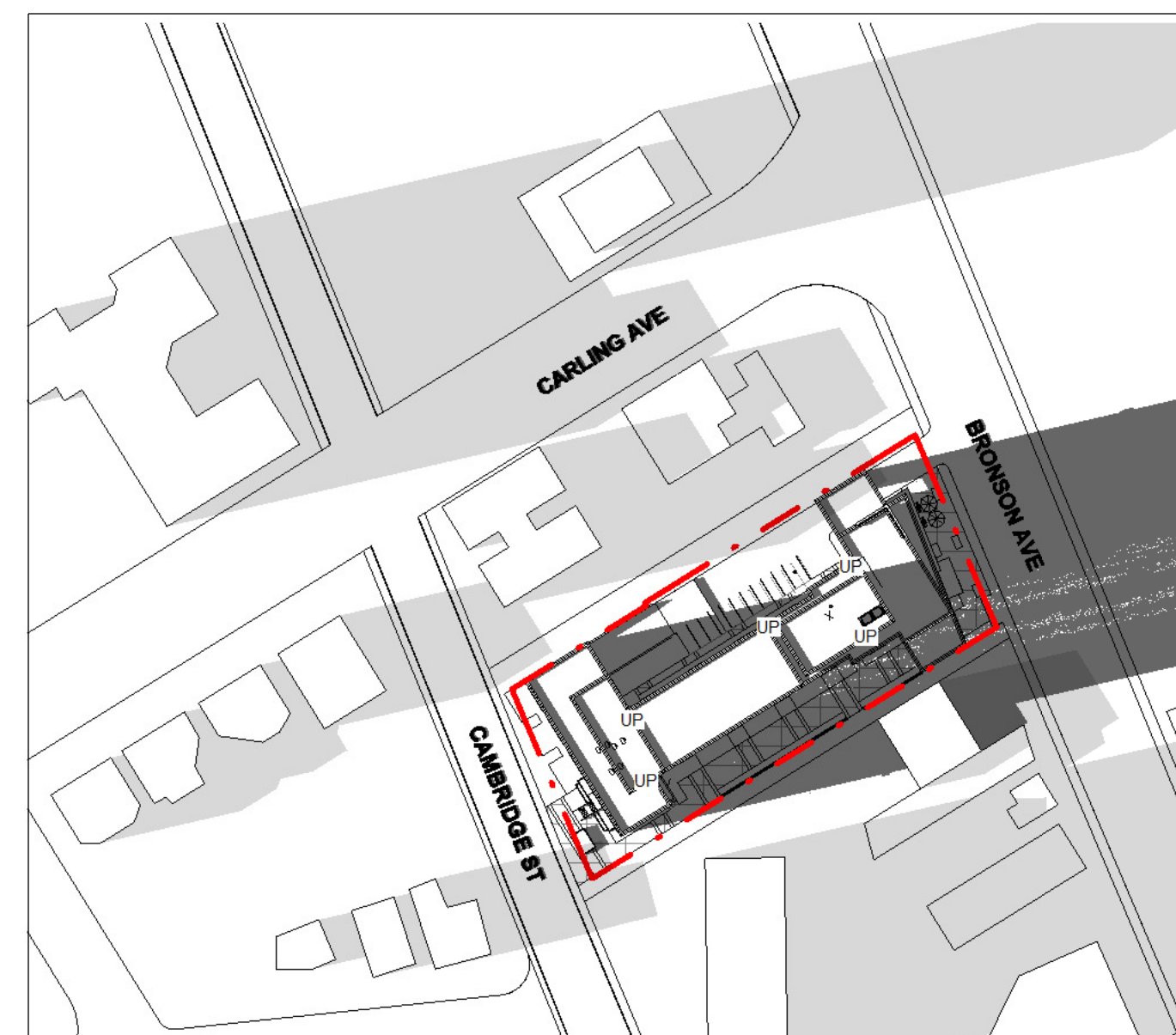
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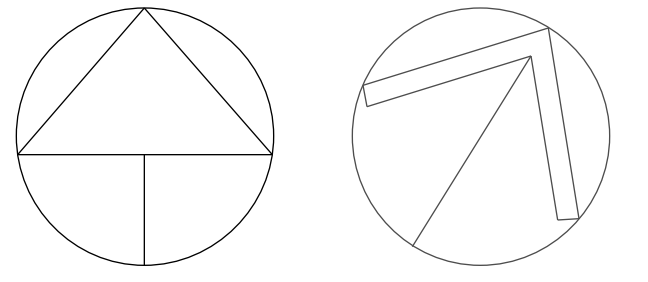
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1: 1250



11 March/September 21 - 11 - 0500pm
1: 1250



12 March/September 21 - 12 - 0600pm
1: 1250



- Project North True North
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No.	Date	Revision

Project No.	15076
Issue Date	2016-10-19
Drawn by	CRZ
Checked by	RH
Plot Date / Time	2016-10-19 3:27:12 PM

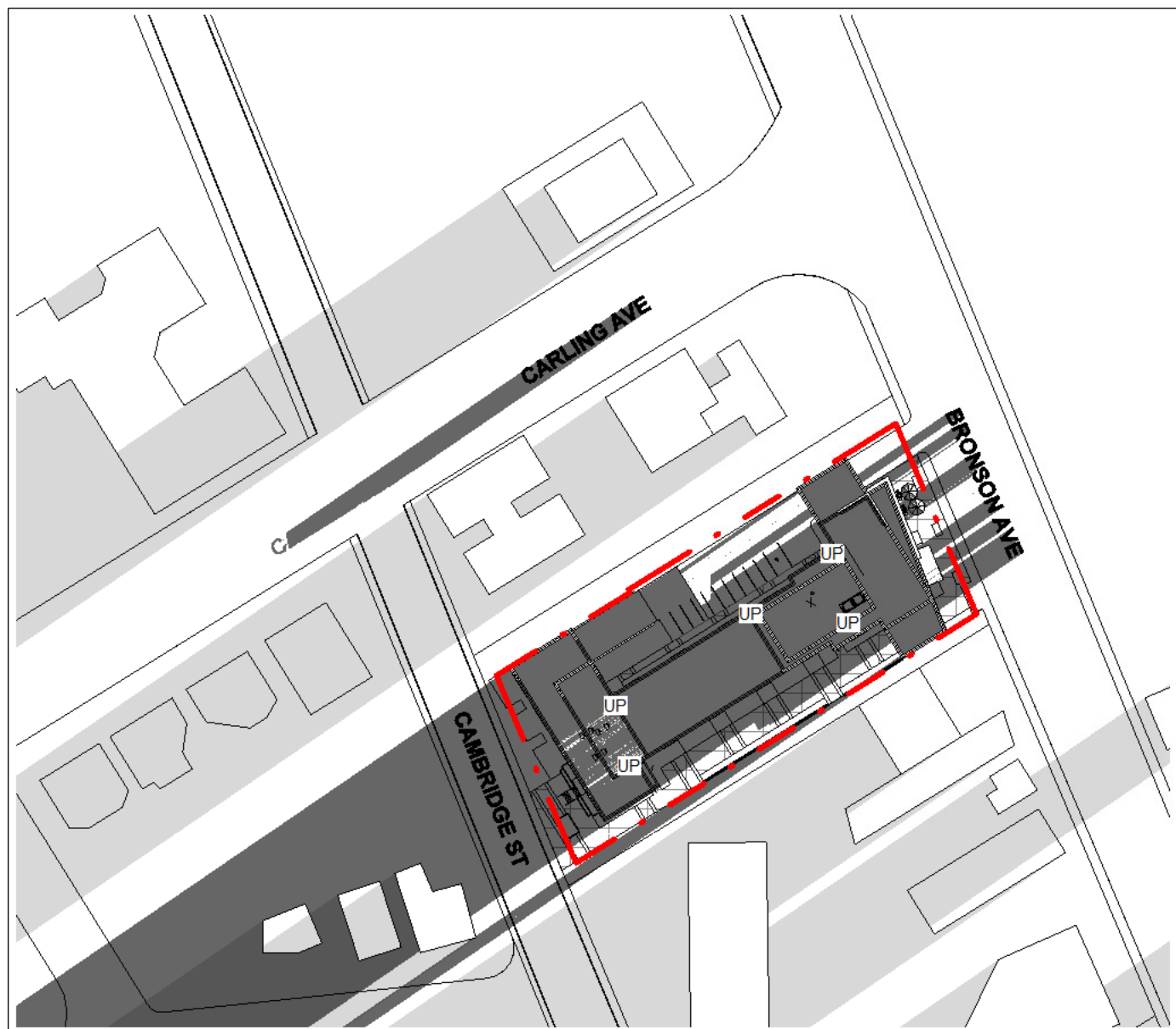
TEXTBOOK SUITES
774 BRONSON AVENUE,
OTTAWA

MARCH/SEPTEMBER
SHADOW STUDY

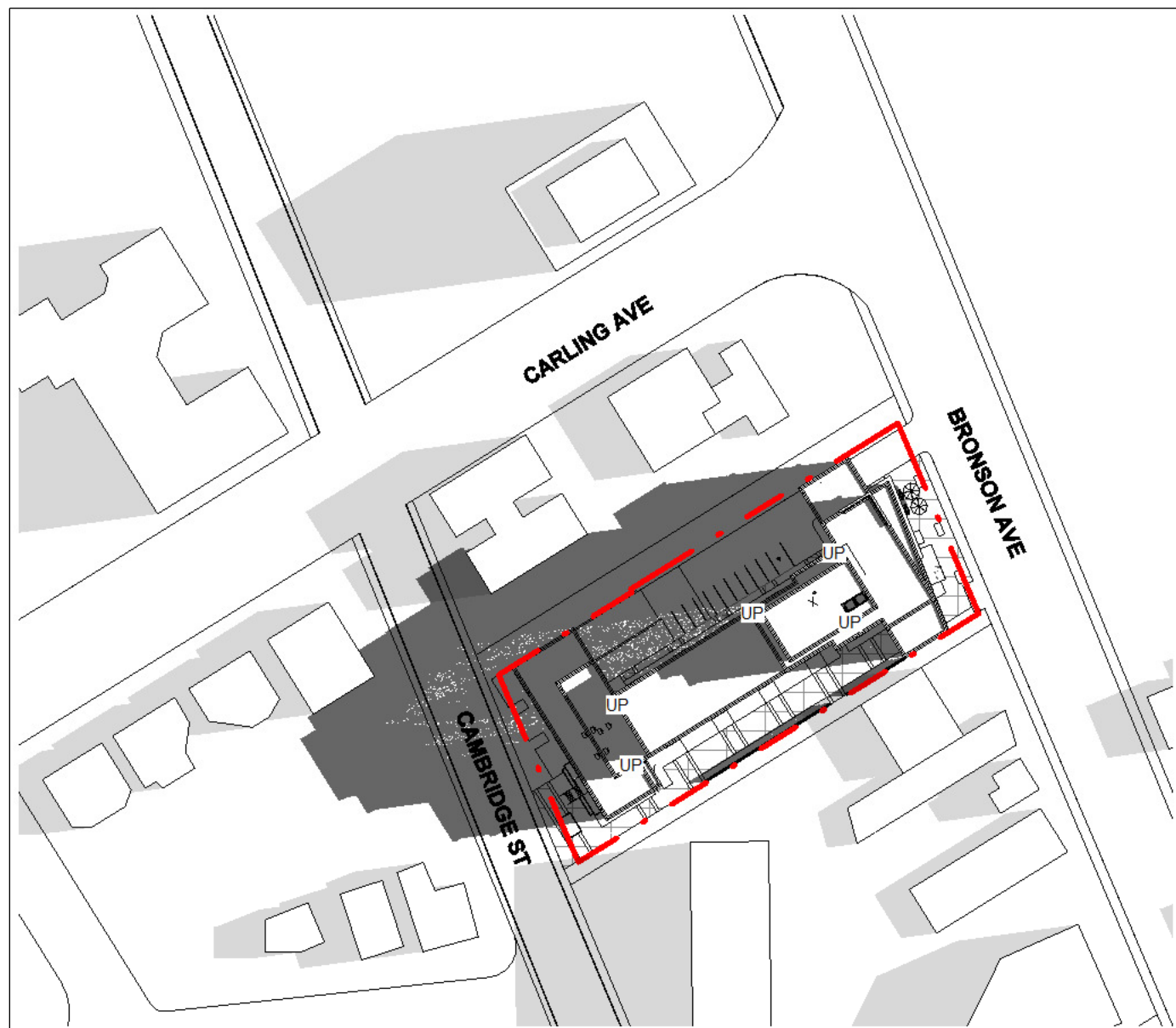
Ontario Association of Architects
Edward Thomas Licence 5572

Drawing Scale: 1: 1250
Status: SITE PLAN APPROVAL
Drawing No.: A-11.1 - r2
Revision No.:

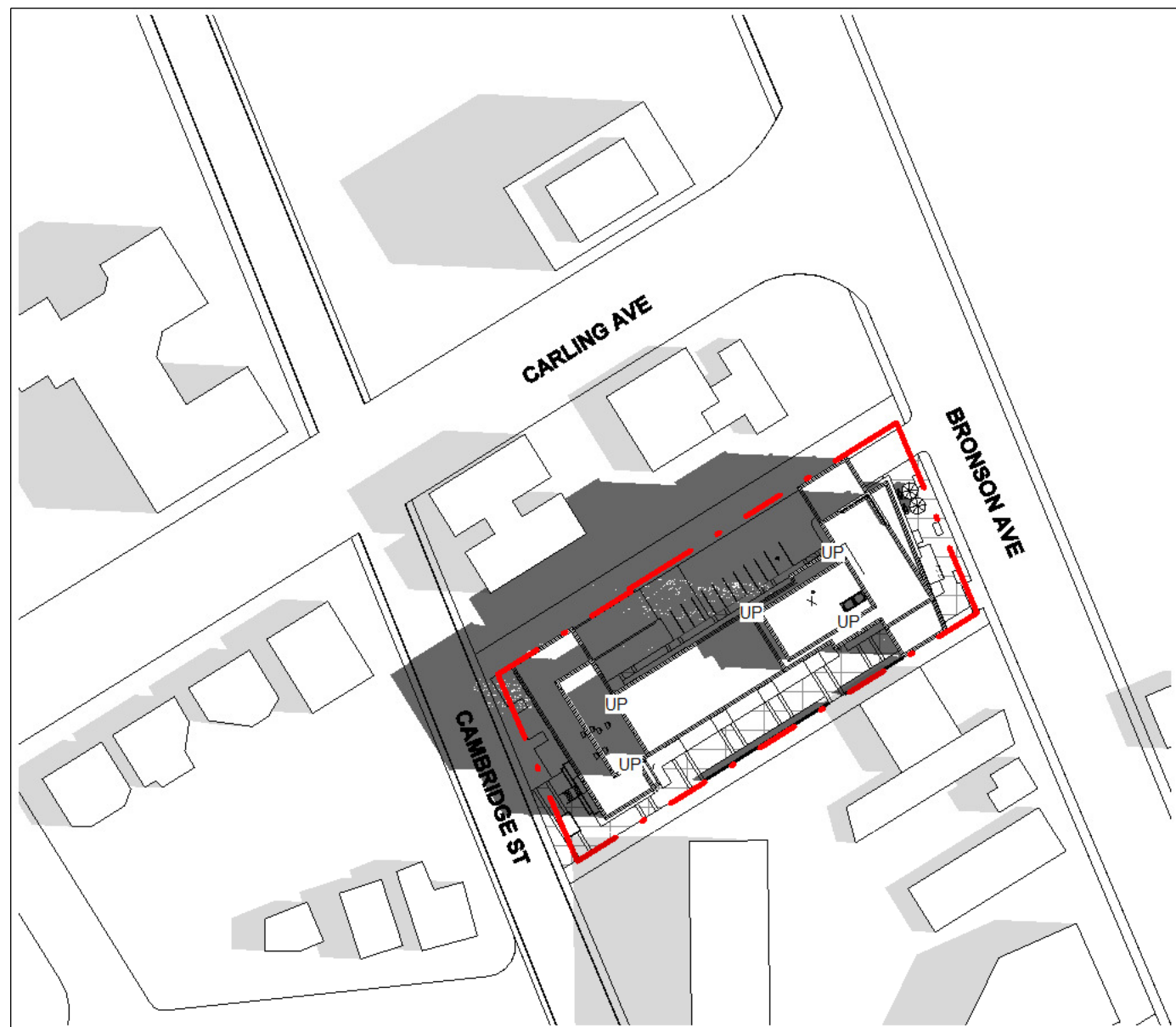
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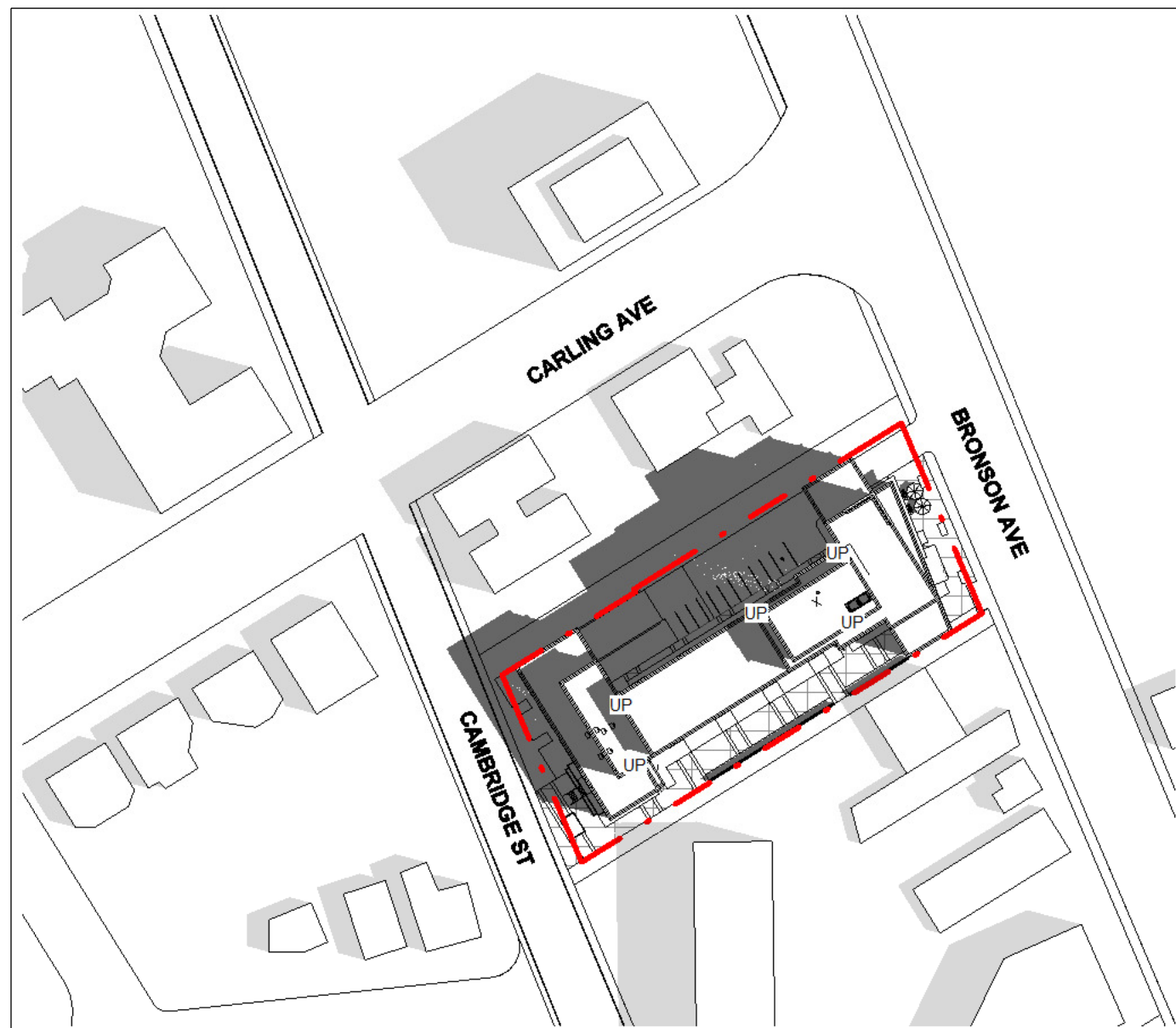
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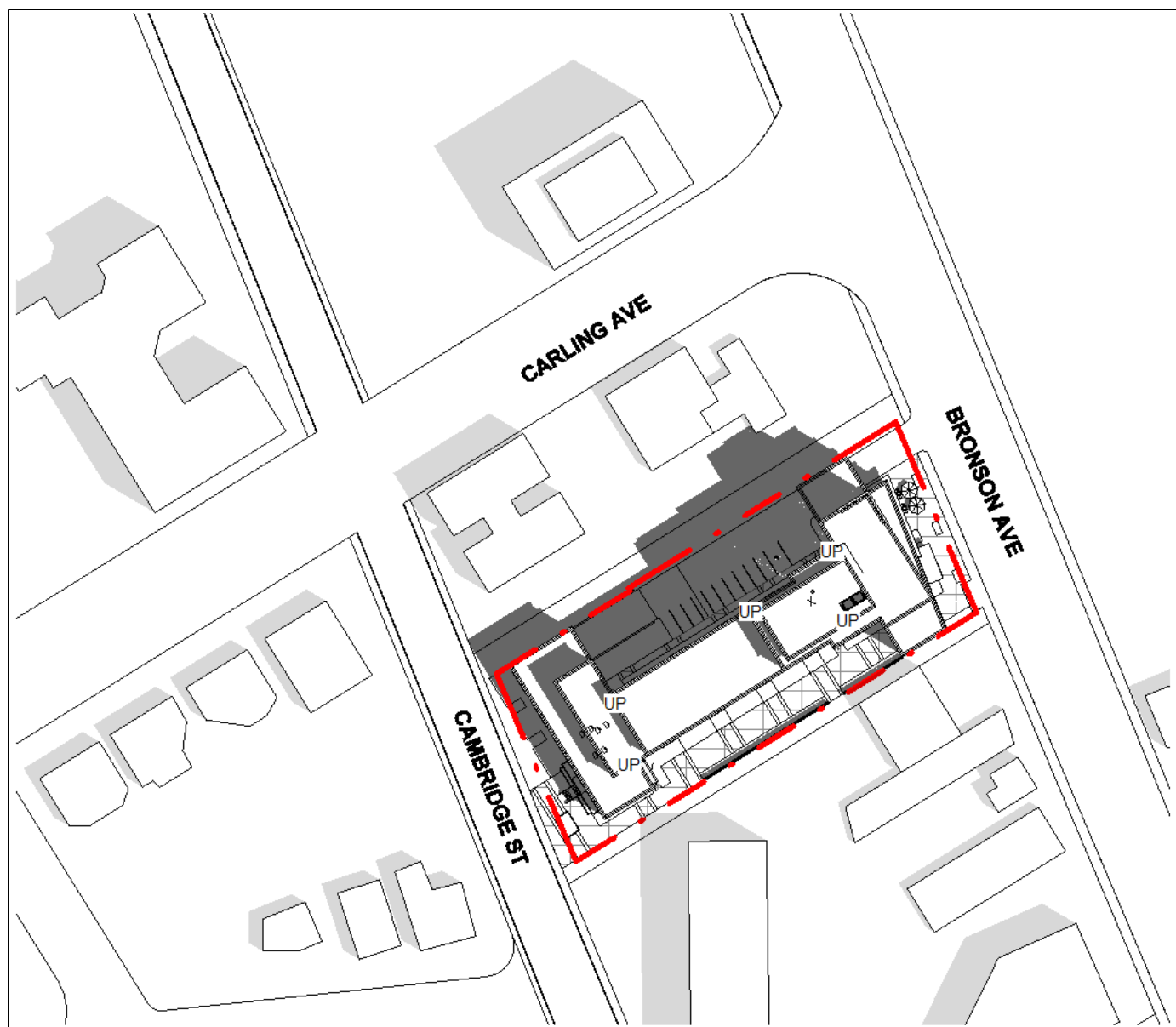
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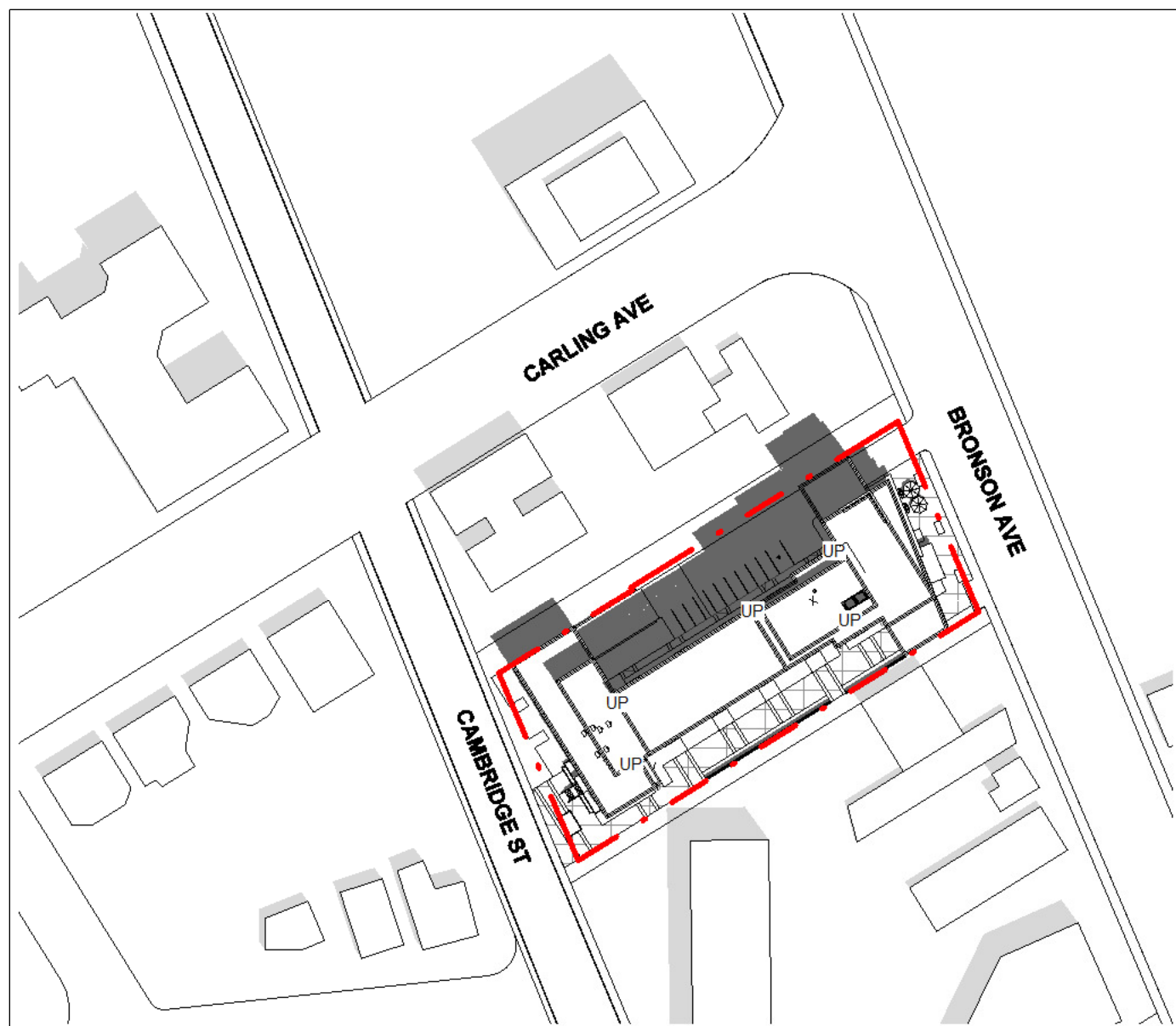
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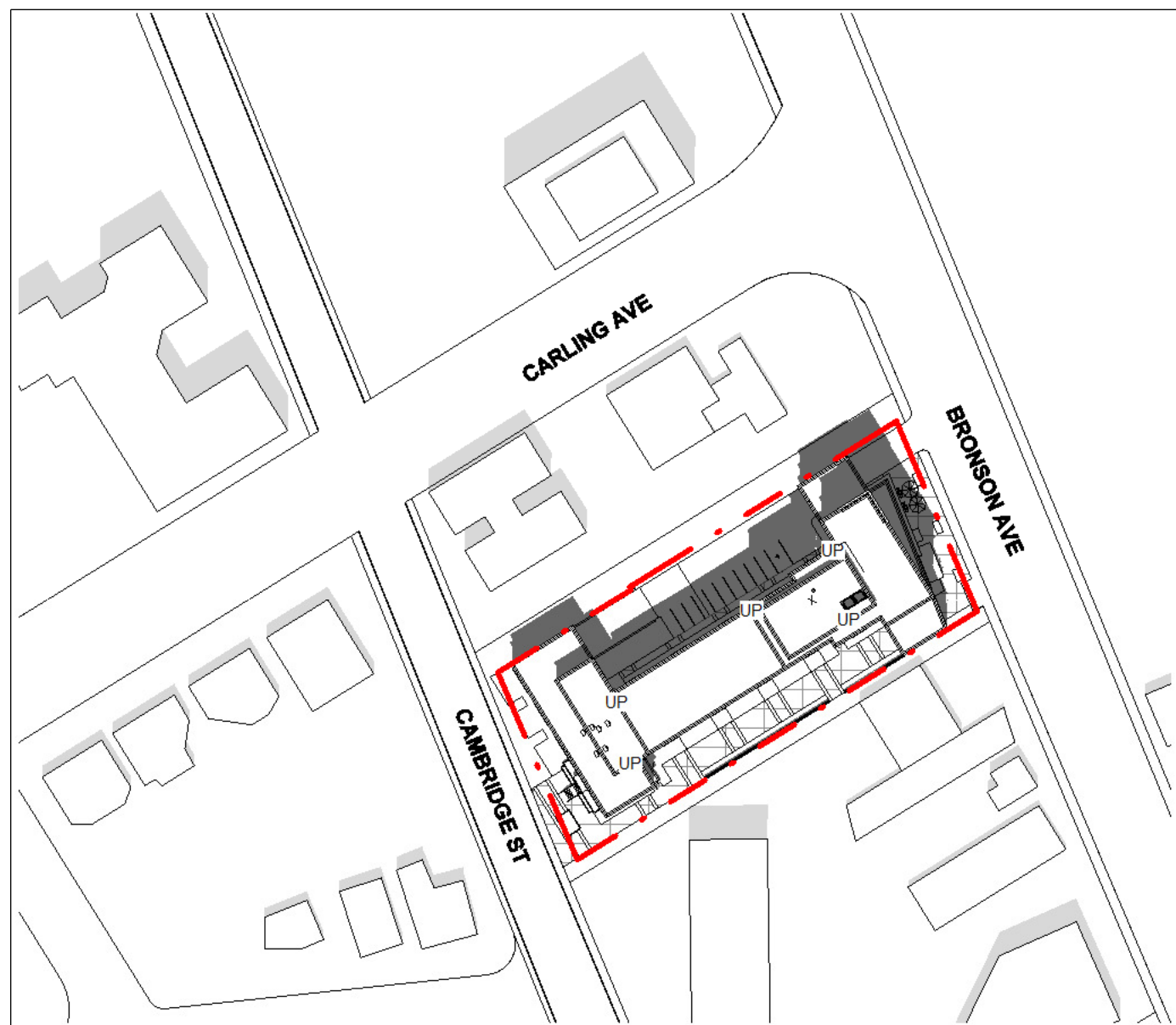
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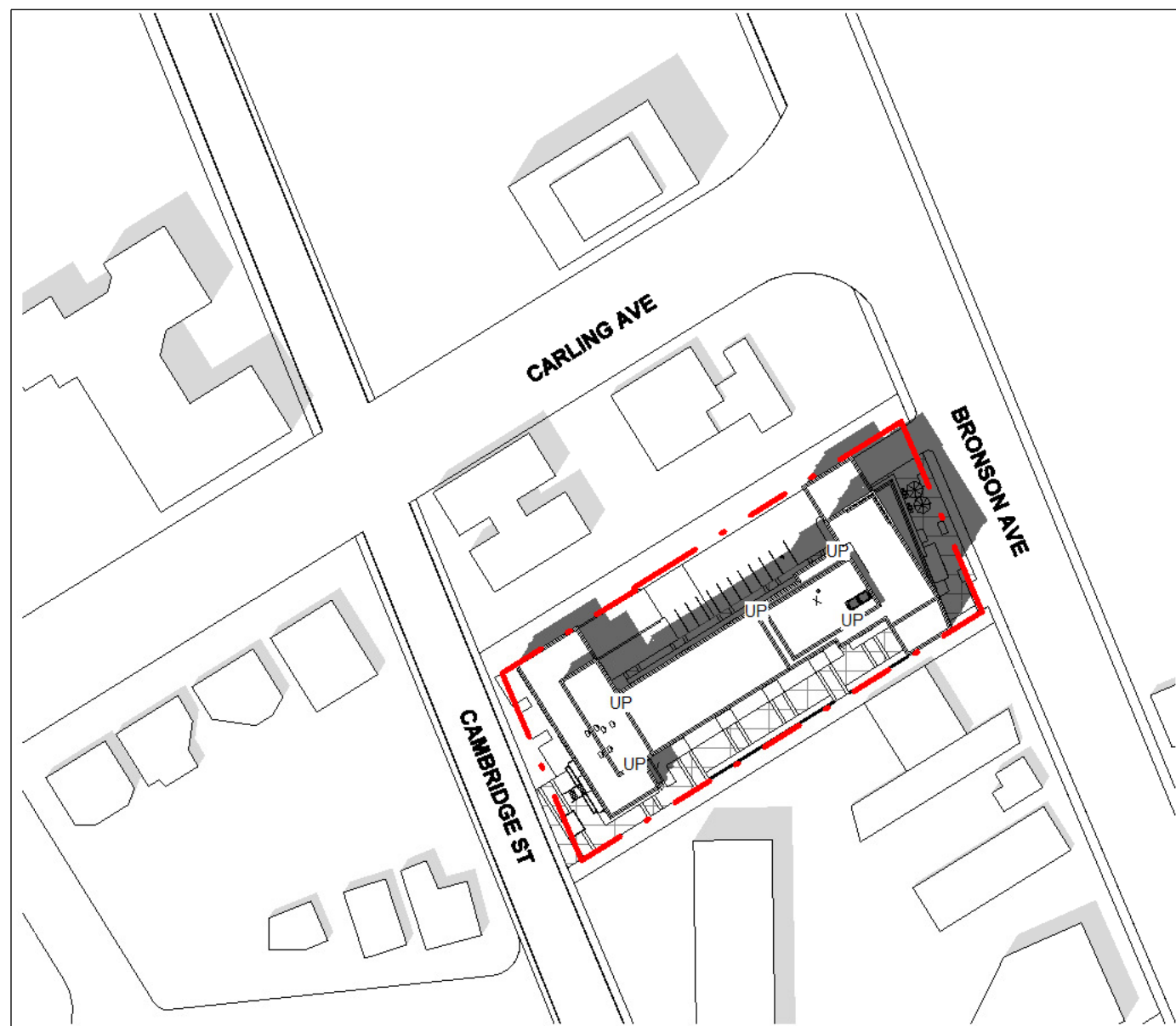
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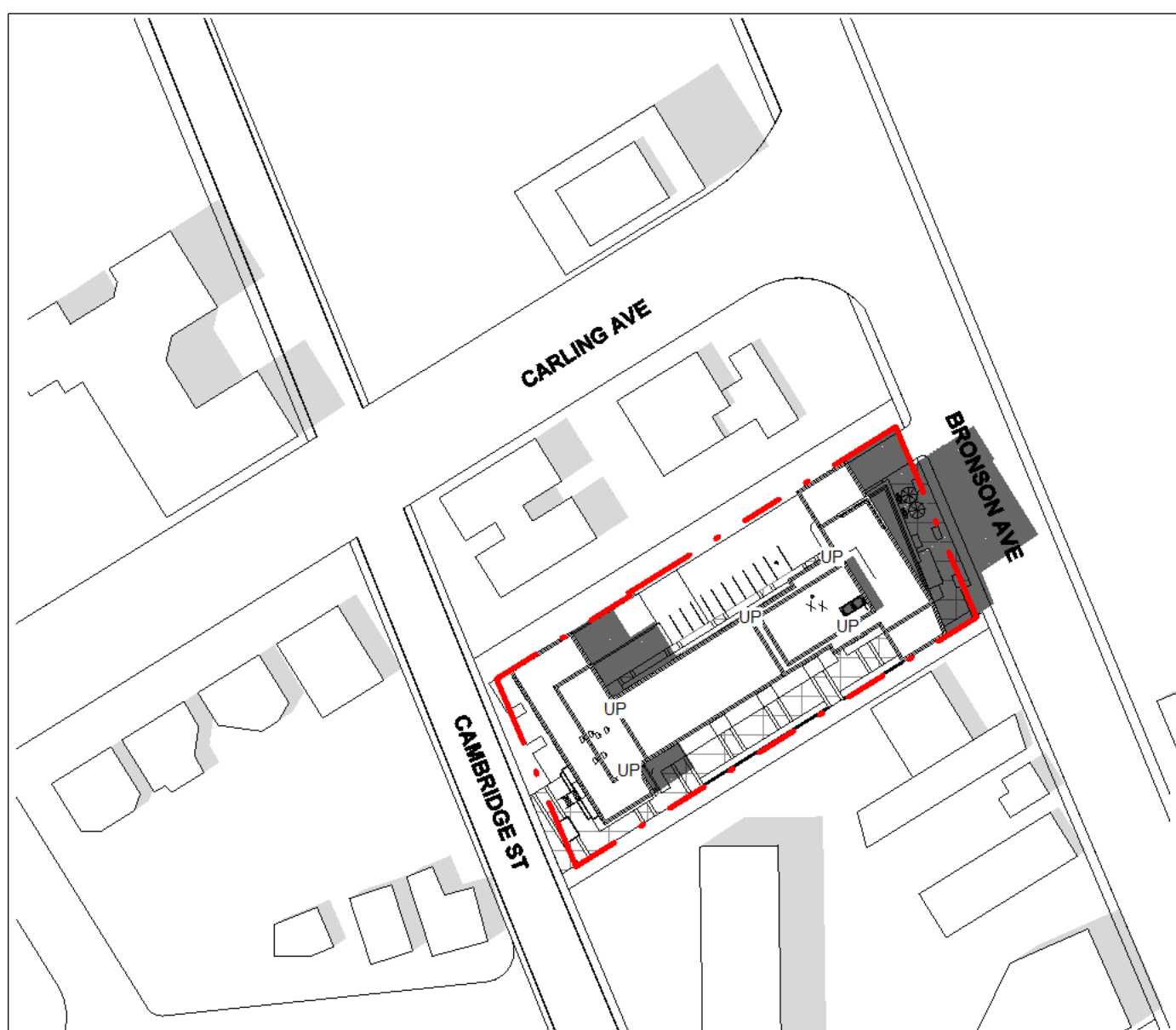
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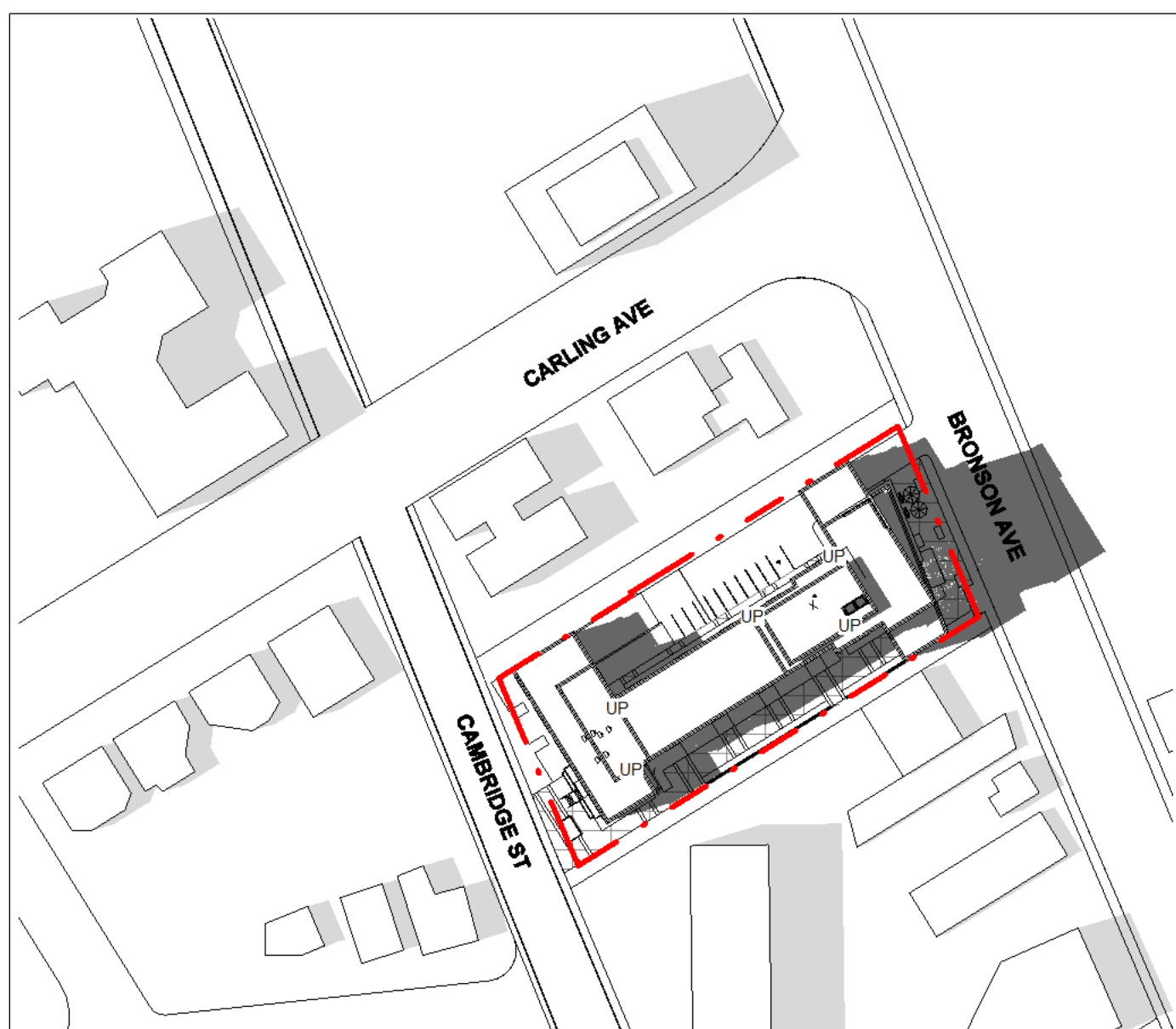
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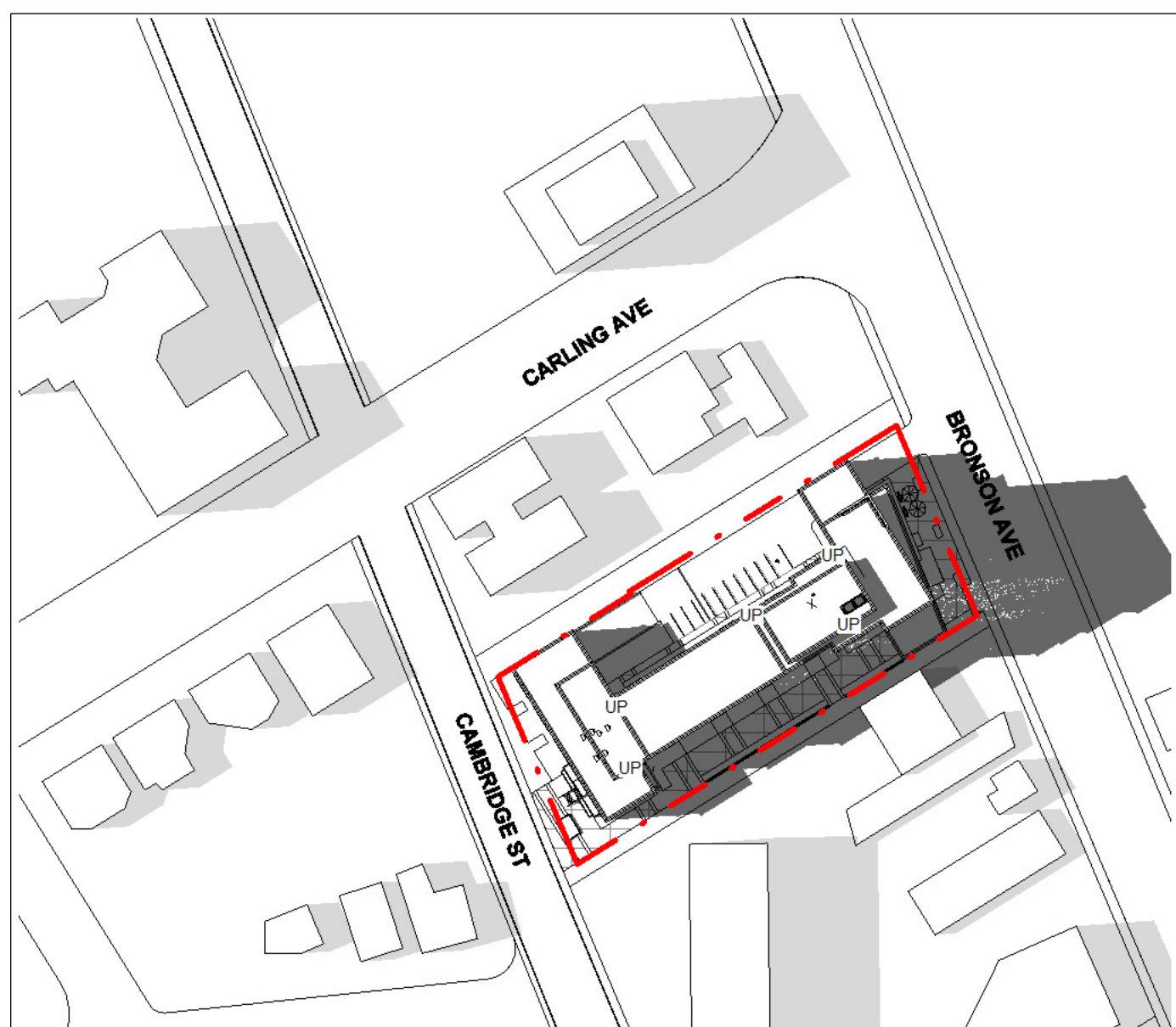
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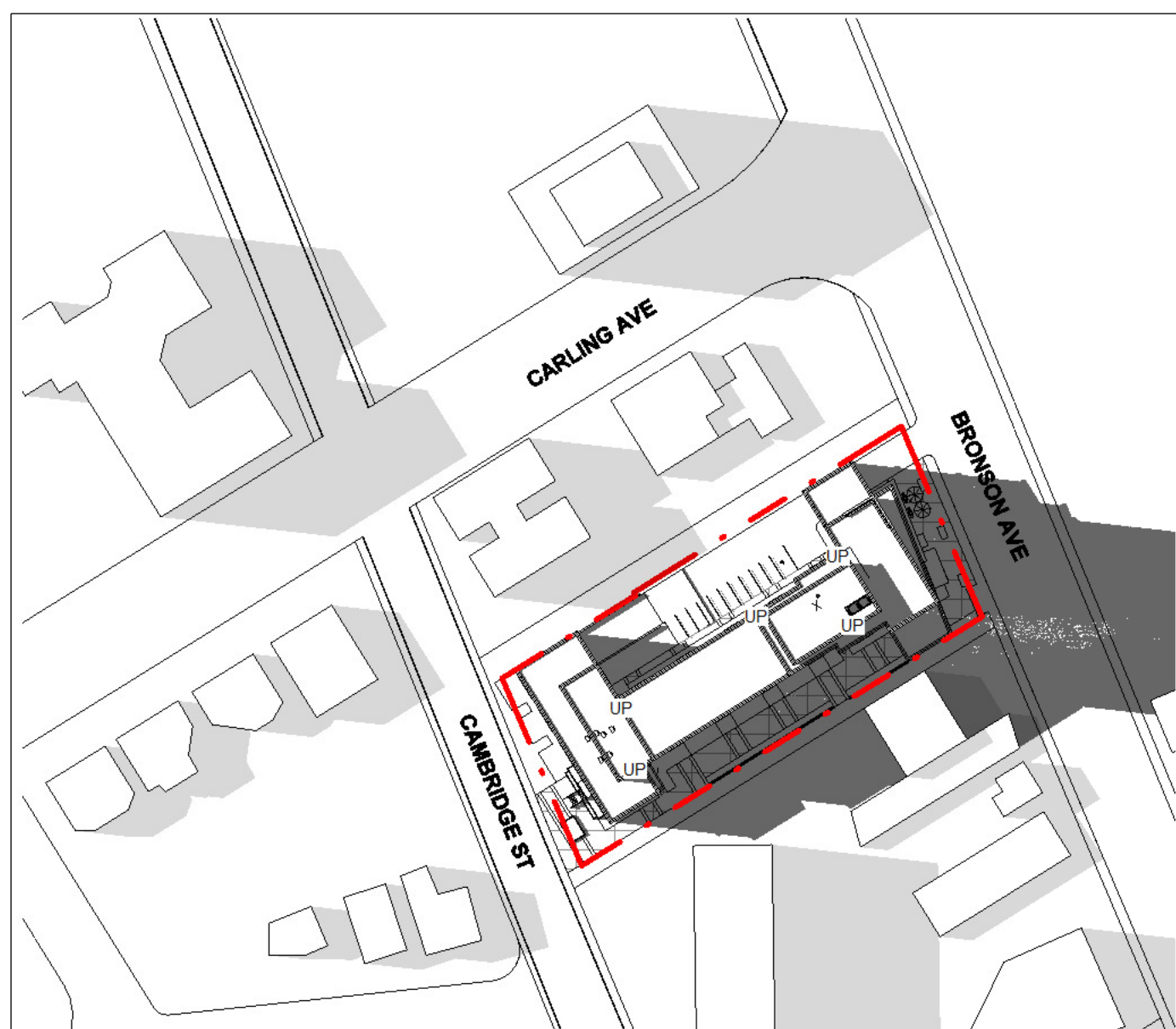
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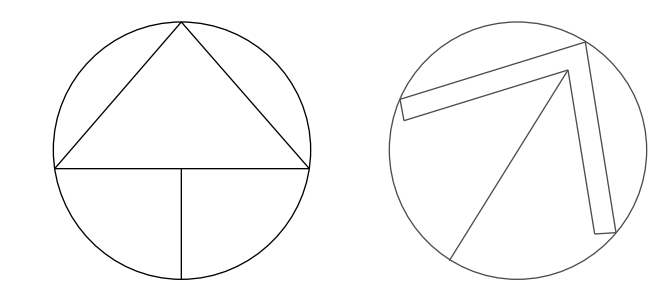
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11 June 21 - 11 - 0500pm
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12 June 21 - 12 - 0600pm
1:1250



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No.	Date	Revision

srm
ARCHITECTS INC.

Project No: 15076
Issue Date: 2016-10-19
Drawn by: CRZ
Checked by: RH
Plot Date / Time: 2016-10-19 3:27:51 PM

**TEXTBOOK SUITES
774 BRONSON AVENUE,
OTTAWA**

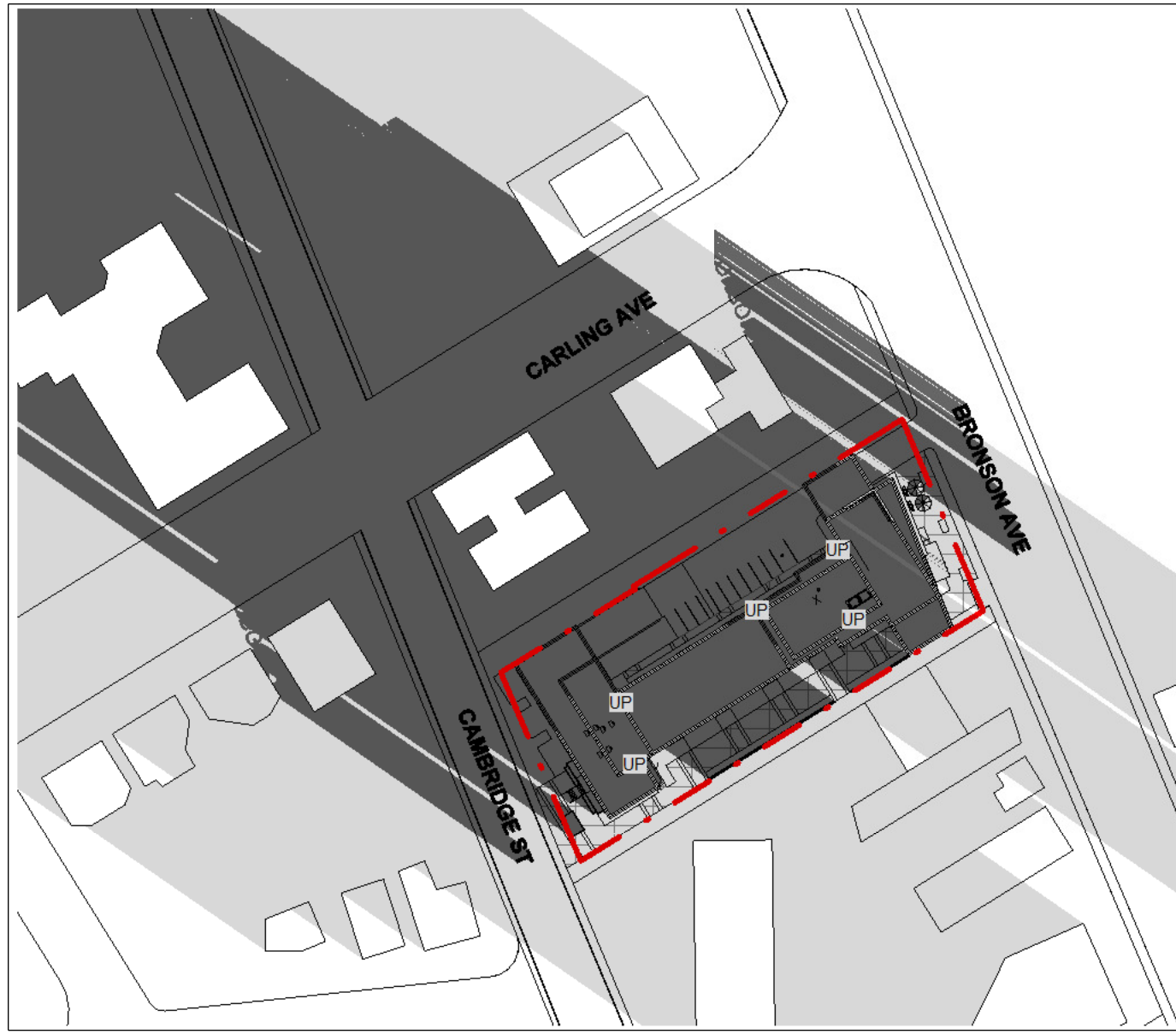
JUNE SHADOW STUDY

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD THOMAS
LICENCE 5572

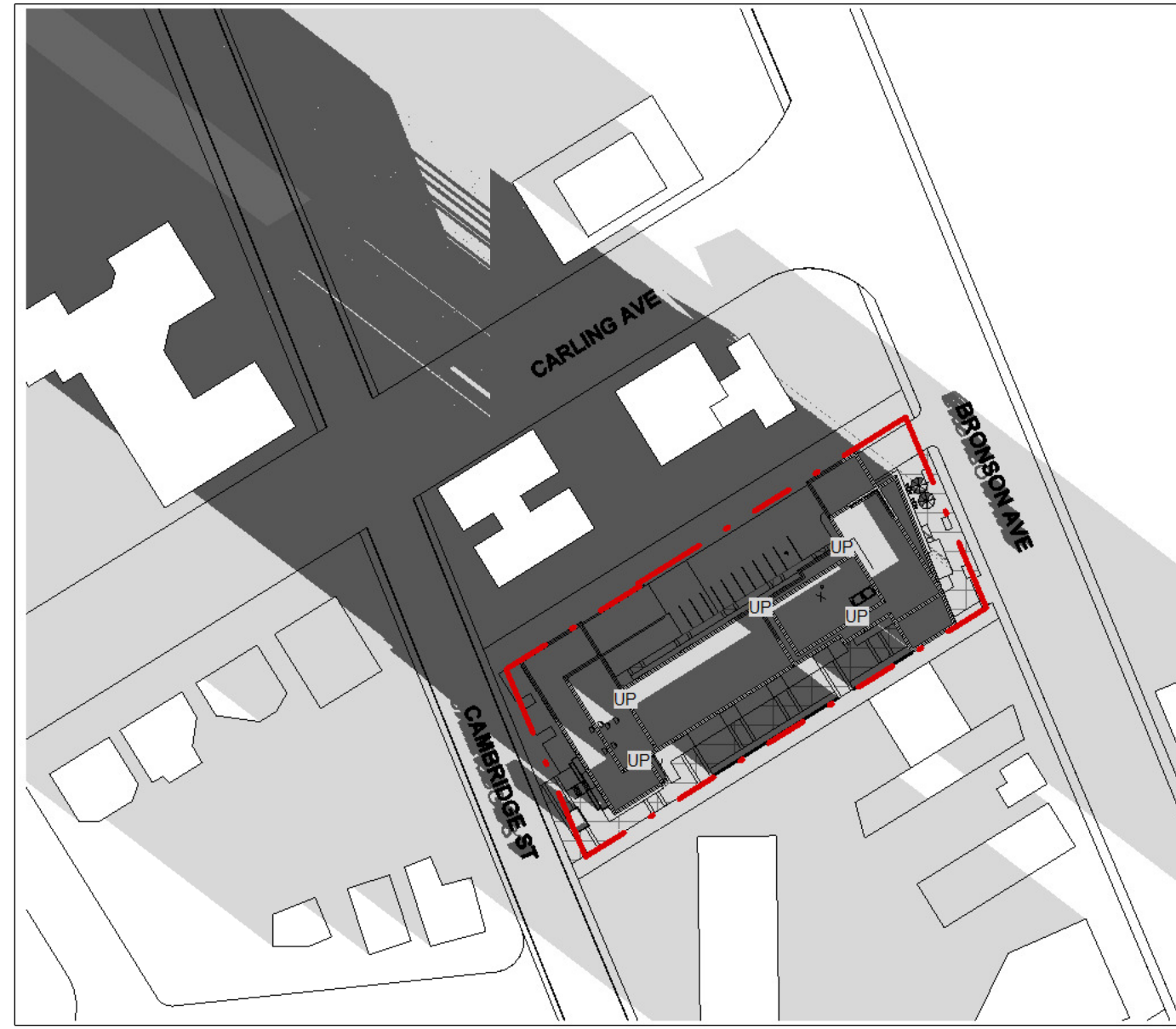
Drawing Scale: 1:1250
Status: SITE PLAN APPROVAL
Drawing No.: A-11.2 - r2
Revision No.:

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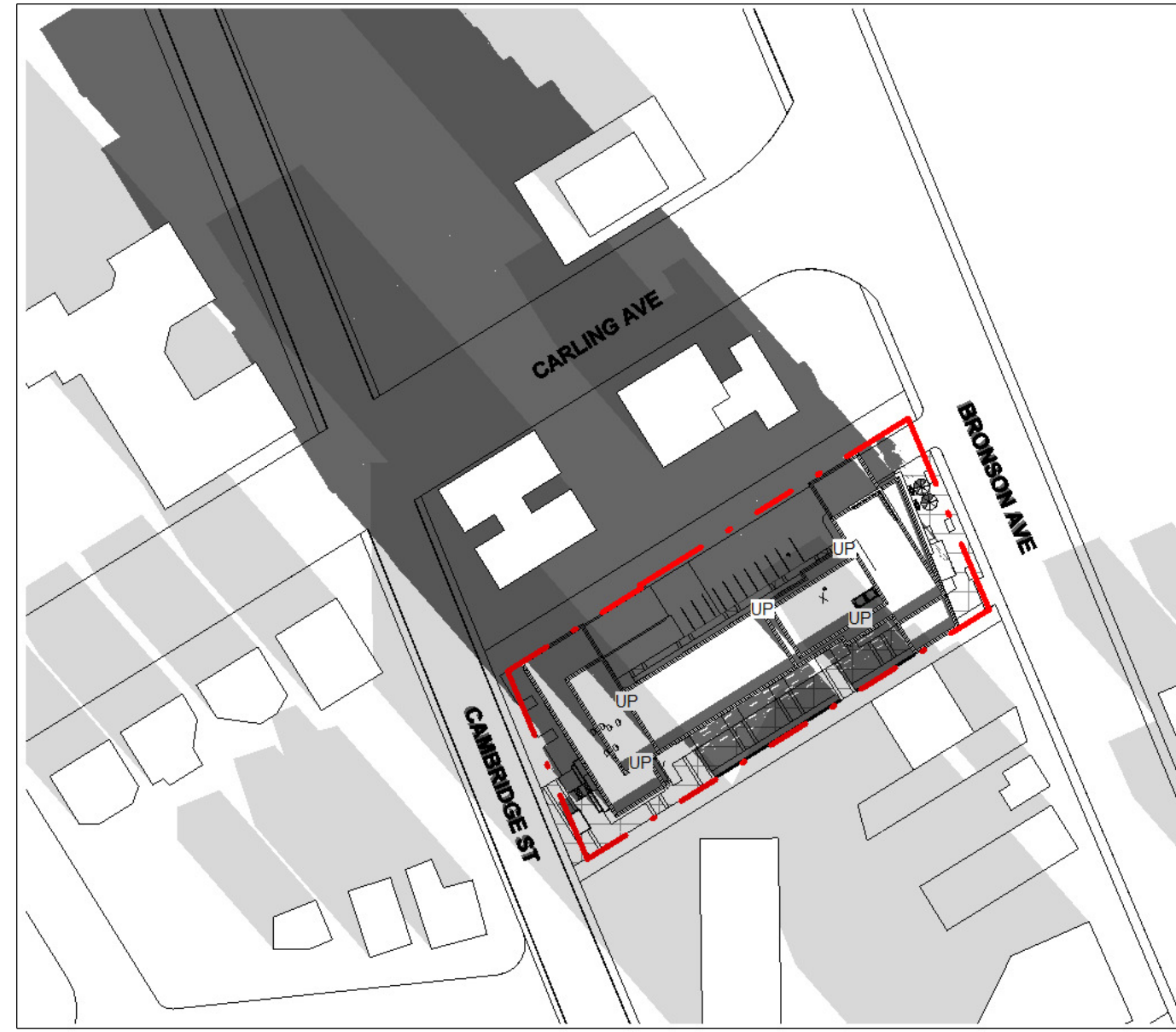
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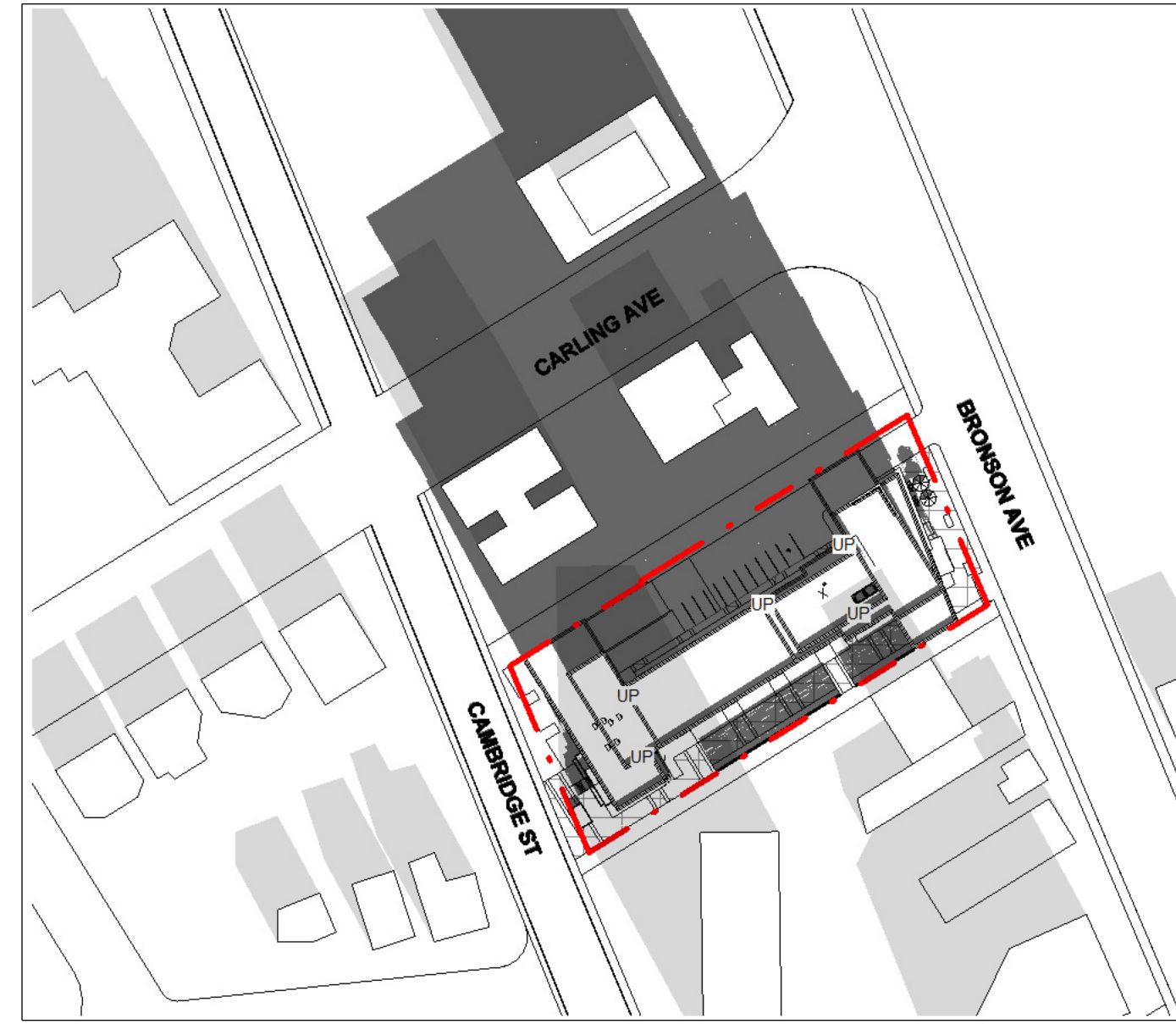
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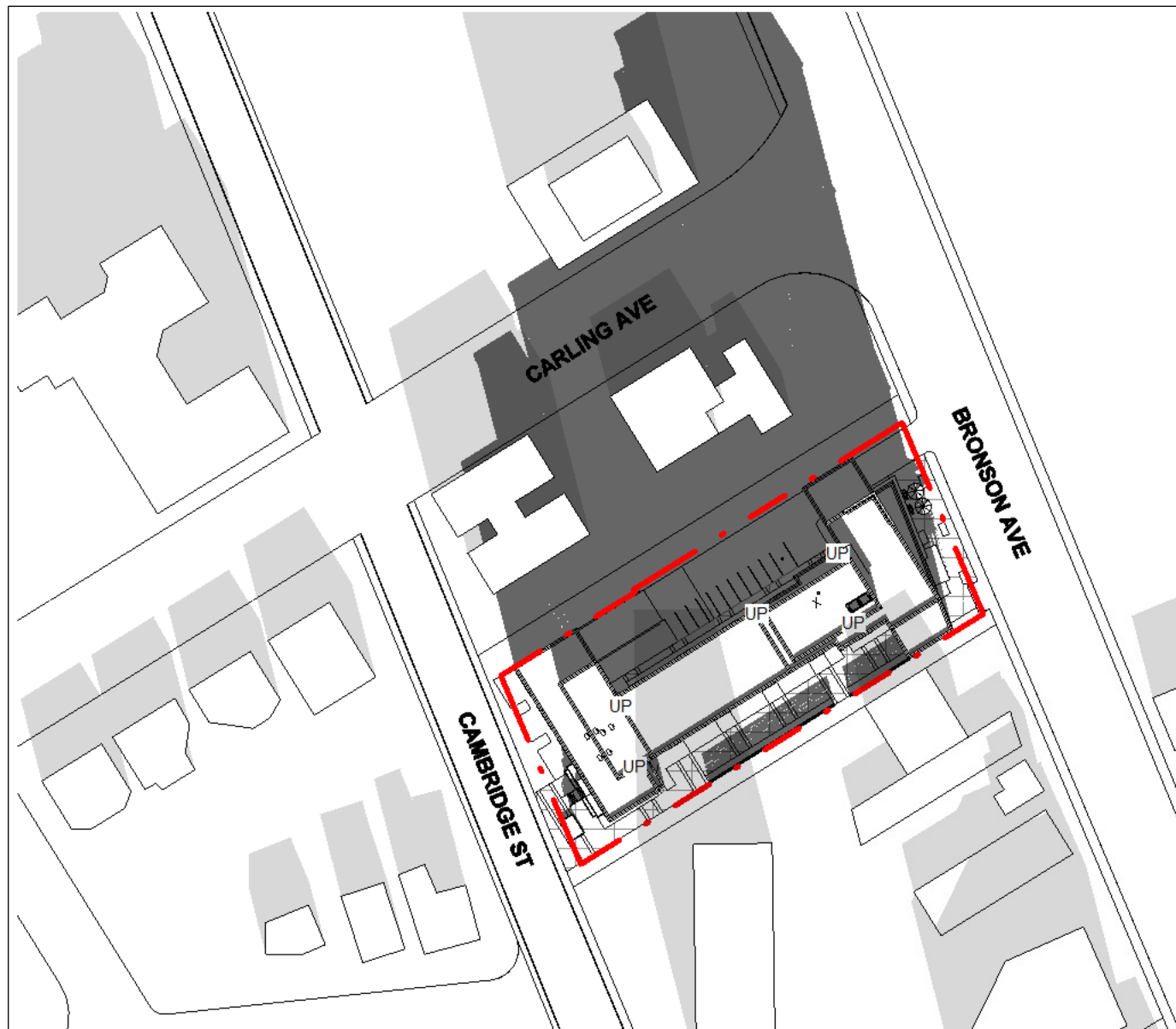
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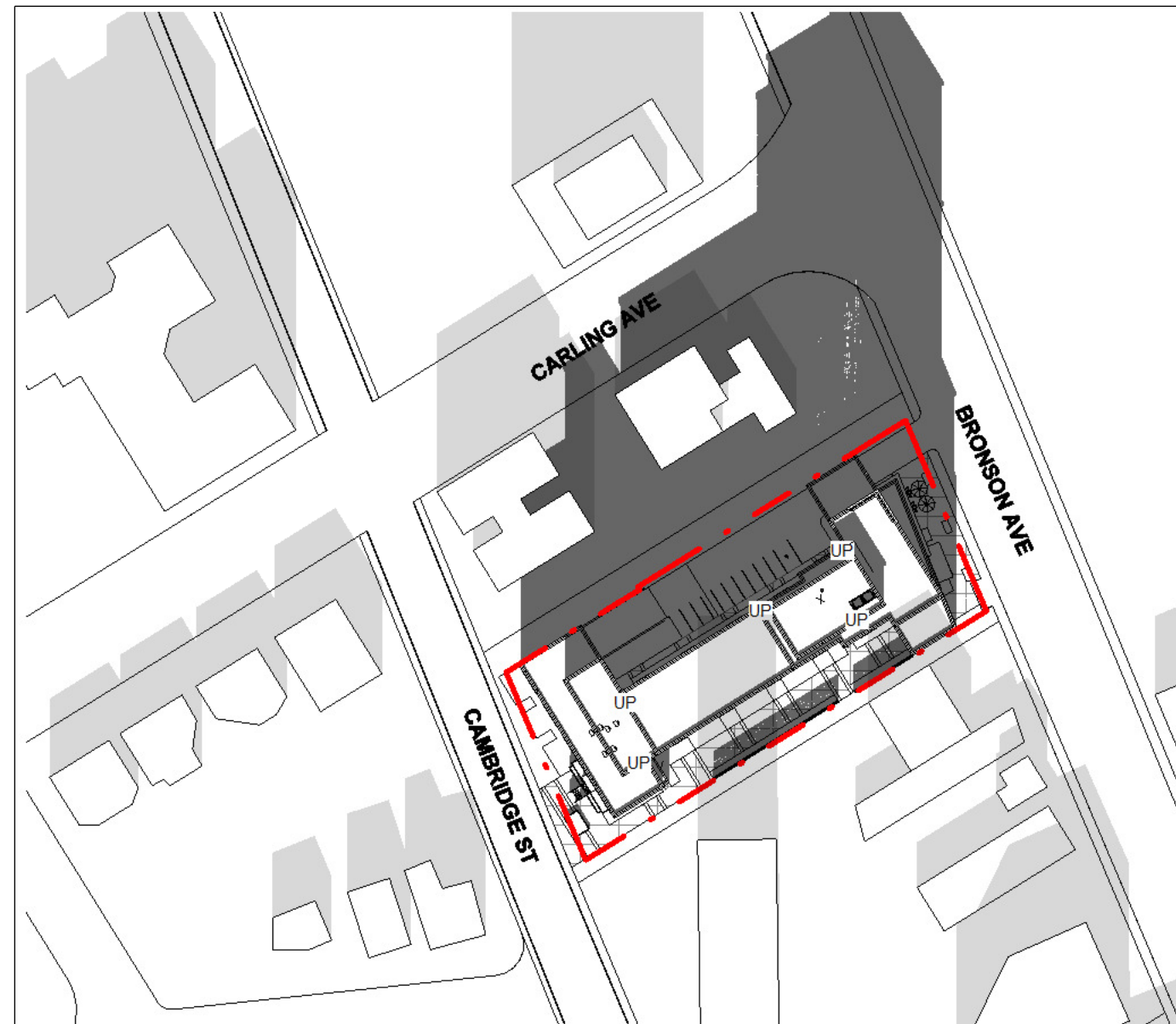
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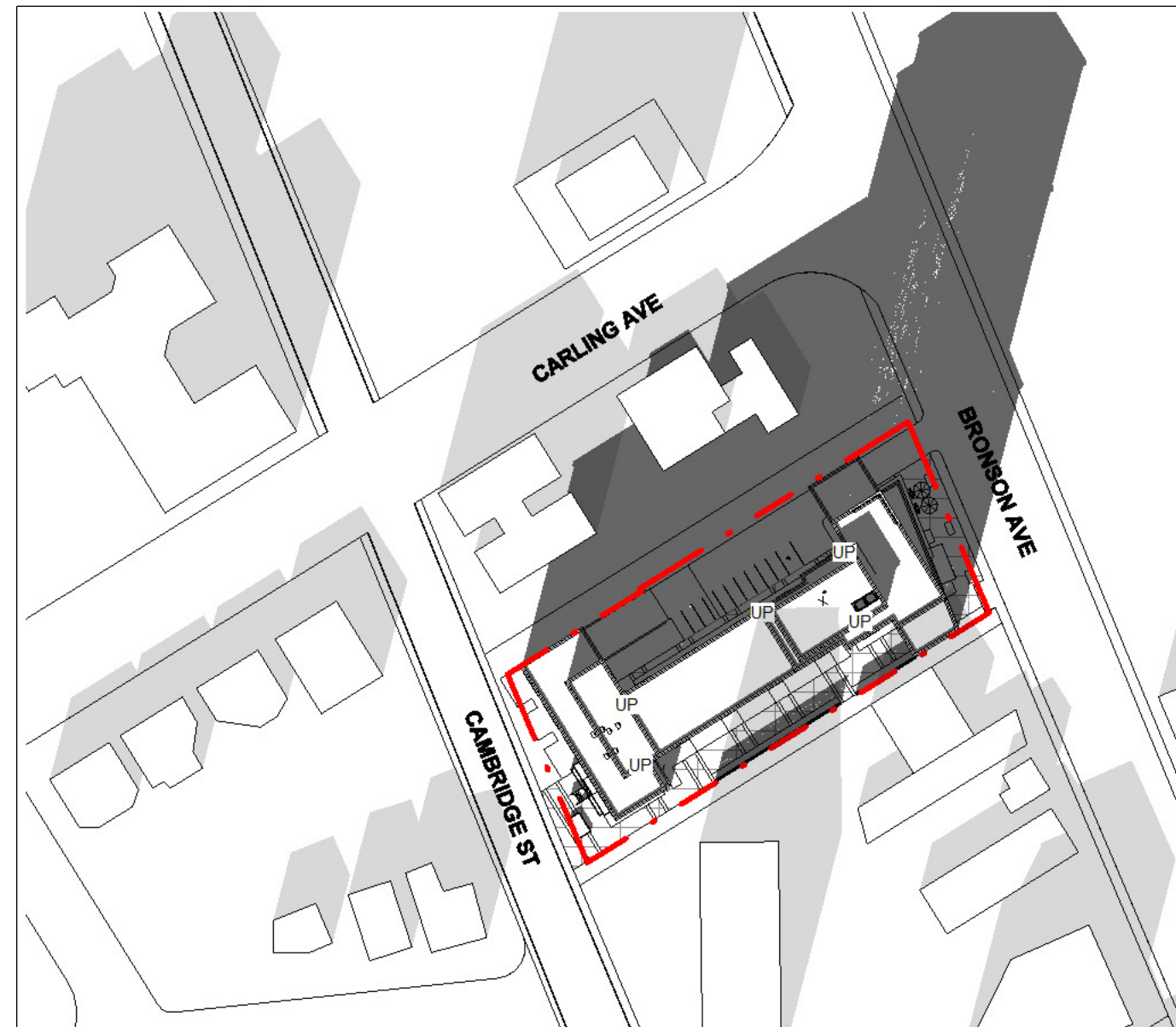
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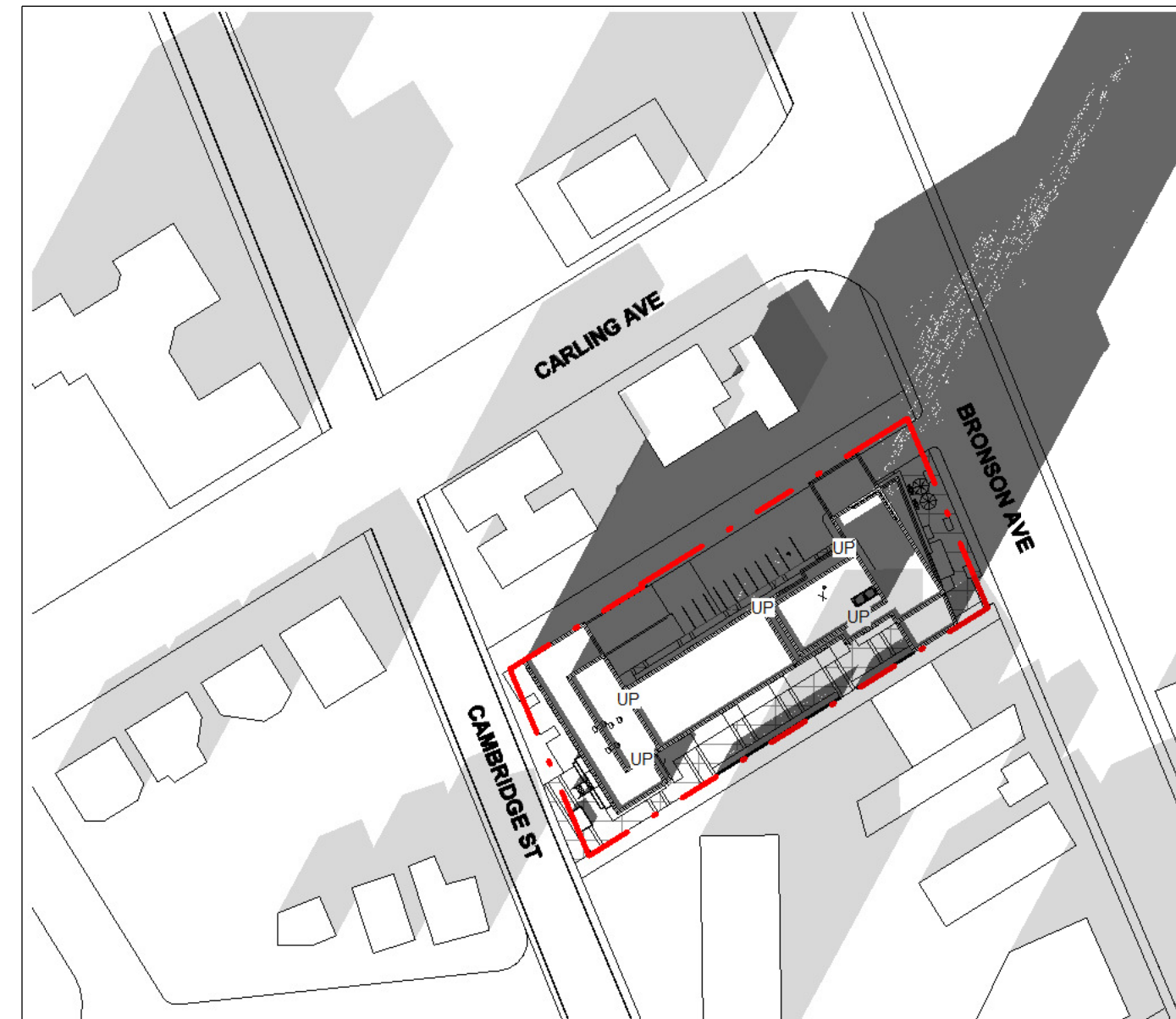
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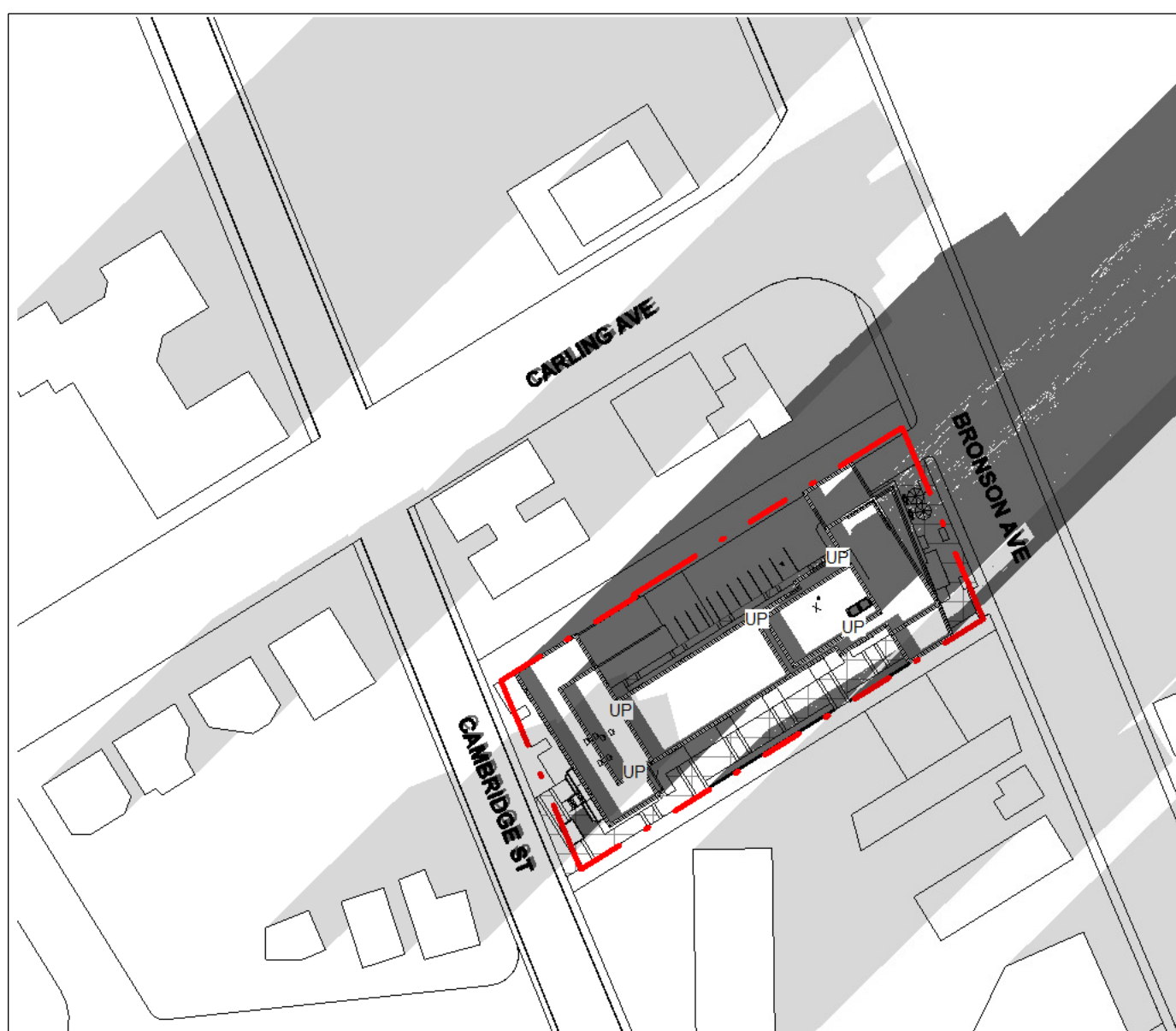
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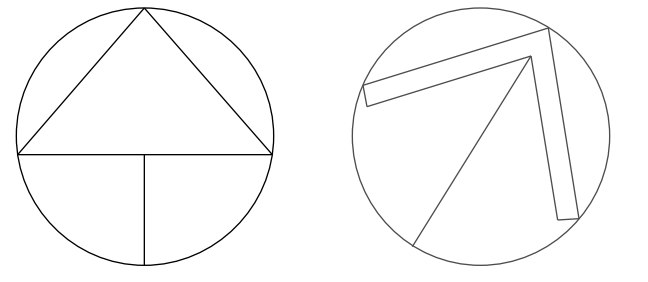
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9 December 21 - 09 - 0422pm
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- Project North True North
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2	2016-10-19	SPA & ZBA SUBMISSION NO. 2
1	2015-11-12	ISSUED FOR SPA & ZBA
No.	Date	Revision

	Project No.	15076
	Issue Date	2016-10-19
	Drawn by	CRZ
	Checked by	RH
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