

## 200 MAPLE CREEK COURT SITE PLAN CONTROL





Prepared for:



Norris Construction Management Inc.  
200 Maple Creek Court  
Carp, ON K0A 1L0  
[www.ncmservices.ca](http://www.ncmservices.ca)

Prepared by:

**FOTENN** Planning  
+ Design

Fotenn Planning + Design  
223 McLeod Street  
Ottawa, ON K2P 0Z8  
[fotenn.com](http://fotenn.com)

June 10, 2019



Fotenn Consultants Inc. (“Fotenn”), acting as agents for Norris Construction Management Inc., (“NCM Hydrovac”), is pleased to submit the enclosed Site Plan Application for the lands municipally known as 200 Maple Creek Court (“subject property”) in the Carp Road Corridor area of the City of Ottawa. The purpose of the application is to permit a 1,012.6 square metre warehouse building on the western portion of the property, with loading spaces located at the front and rear of the building.

The proposed development will have private servicing, with an existing onsite well and proposed new onsite wastewater treatment. Onsite underground concrete tanks provide adequate water storage for firefighting. An on-site fueling station is proposed southeast of the proposed parking lot.

The subject property is designated as “Rural Employment Area” on Schedule A- *Rural Policy Area* of the City of Ottawa Official Plan and is located within the Carp Road Corridor Rural Employment Area. The subject property is designated as “Light Industrial” in the Carp Road Corridor Community Design Plan (CDP) and is zoned “Rural General Industrial, Subzone 5 (RG5)” in the Comprehensive Zoning By-law (2008-250). The proposed warehouse use is a permitted use in the RG5 zone and the proposed development conforms with all of the applicable zoning provisions.

The proposed development is subject to Site Plan Control as per Policy 3 of Section 3.7.5- *Rural Employment Area* of the Official Plan.

## 1.1 Supporting Material

Please find enclosed the following plans and reports in support of the Site Plan Control application:

- / Three (3) copies of this Planning Rationale and Design Brief prepared by Fotenn, dated 10 June 2019;
- / Three (3) copies of a Topographic Survey prepared by Fairhall, Moffatt & Woodland Ltd., dated 11 January 2019;
- / Seven (7) copies of a Site Plan prepared by Laura Hands Design, dated 6 June 2019;
- / Seven (7) copies of Elevation Drawings prepared by Laura Hands Design, dated 6 June 2019;
- / Seven (7) copies of a Landscape Plan prepared by Fotenn, dated 6 June 2019;
- / Two (2) copies of a Vehicle Turning Movement Analysis prepared by IBI Group, dated 13 February 2019;
- / Three (3) copies of a Site Servicing and Stormwater Management Report prepared by McIntosh Perry, dated 28 May 2019;
- / Five (5) copies of a Site Servicing Plan prepared by McIntosh Perry, dated 28 May 2019;
- / Five (5) copies of a Site Grading, Drainage and Sediment & Erosion Control Plan prepared by McIntosh Perry, dated 28 May 2019;
- / Three (3) copies of a Hydrogeological Study prepared by McIntosh Perry, dated May 2019;
- / Three (3) copies of a Geotechnical Report prepared by McIntosh Perry, dated May 2019;
- / Three (3) copies of a Phase 1 – Environmental Site Assessment (ESA) prepared by Pinchin, dated 16 September 2014; and

- 
- / Three (3) copies of an Environmental Impact Statement prepared by Muncaster Environmental Consulting, dated 2 April 2019.

An electronic copy of all the above-noted plans will be provided via a FTP link sent to [seana.turkington@ottawa.ca](mailto:seana.turkington@ottawa.ca)

The subject property is legally known as Part of Lot 7, Concession 2 in the Geographic Township of Huntley and is municipally known as 200 Maple Creek Court. The property is trapezoidal in shape, with 31 metres of frontage along Maple Creek Court and a total area of approximately 17,700 square metres.



The subject property, which is relatively flat, currently contains a gravel driveway/parking area, outdoor storage, and trailers, which are located at the western end of the subject property. Settling ponds are located towards the eastern end of the subject property. Portable offices and three on-site portable canopy tents currently provide office and storage on-site. The subject property was previously undeveloped.

## 2.2 Surrounding Context

The following land uses are found in proximity to the subject property:

**North:** North and northeast of the subject property are wooded areas while further northeast are agricultural operations.

**East:** East of the subject property are wooded areas, beyond which are agricultural operations.

**South:** The property that abuts the southern edge of the subject property is currently vacant but a Site Plan Control application has been submitted in support of a phased warehouse development. A tributary of the Carp River and associated floodplain is located southwest of the subject property.

**West:** Existing light industrial uses are located on the west side of the Maple Creek Court cul-de-sac.

The wooded area located north and northeast of the subject property is identified in Schedule L3- *Natural Heritage System Overlay (West)* of the Official Plan as a “Natural Heritage System” and is considered by the City of Ottawa to be “Significant Woodlands”. These woodlands, as well as the subject property itself, were evaluated for potential Species at Risk Habitat. No Species at Risk Habitat, with the exception of Butternut Trees located off of the subject property, were identified on the site or in proximity to the subject property.

The subject property fronts onto Maple Creek Court, as shown in Figure 7. Maple Creek Court is a local road that connects, via Tansley Drive and Reis Road, to Carp Road, an existing two-lane rural arterial road with paved shoulders. Carp Road connects directly to the Trans Canada Highway (Hwy 417) and to Stittsville to the south.

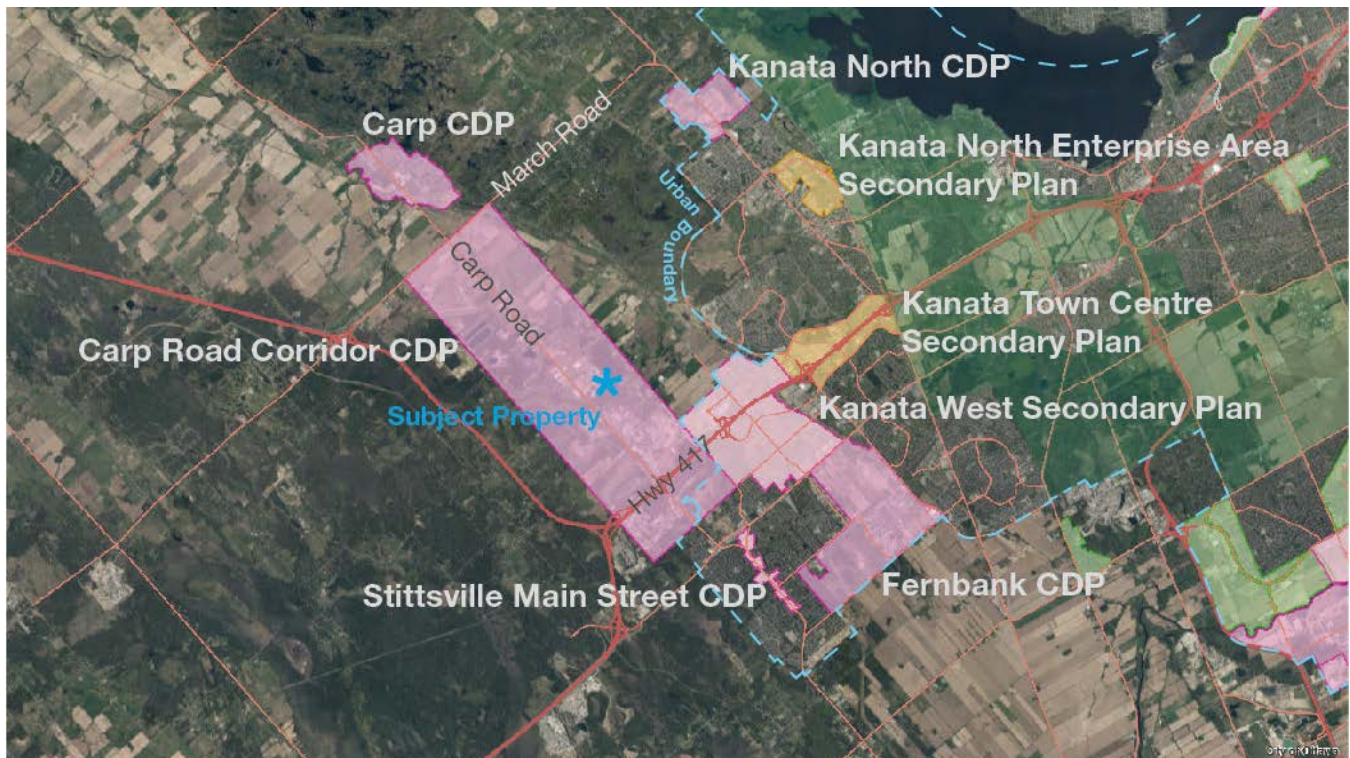


Figure 2: Subject Property in the Context of Nearby Communities and Secondary Planning Areas





Figure 3: Aerial Imagery of Subject Property Showing Surrounding Land Uses



Figure 4: Mixed Forest to East of Subject Property



Figure 5: Abutting Property to South (Warehouse Development Proposed)



Figure 6: Neighbouring Uses Fronting on Maple Creek Court, West of Subject Property (Subject Property Seen at Right)





Figure 7: Frontage of Subject Property



Figure 8: Subject Property



### 3.0 PROPOSED DEVELOPMENT

8

NCM Hydrovac is proposing to construct a 1,012.6 square metre warehouse located on the western portion of the subject property, closest to Maple Creek Court. The building would be used to store hydrovac trucks in a climate-controlled environment when they are not in use. The building would also provide a reception, boardroom/staff area, and washroom for the existing business.

Pedestrian access into the building would be accommodated via man doors located on the east and west sides of the southern edge of the building, which lead to a surface parking area (10 spaces) to the rear and accessible parking space to the front respectively.

Refuse would be stored in the northeast corner of the building and would be removed from the building for pick-up via an overhead door that opens onto a gravel pathway that leads to the rear parking lot area.

Associated with the proposed development are an on-site fueling station for the hydrovac trucks and onsite water (well), wastewater (septic system) and stormwater management facilities (underground storm sewer system), as well as underground concrete tanks for fire fighting.

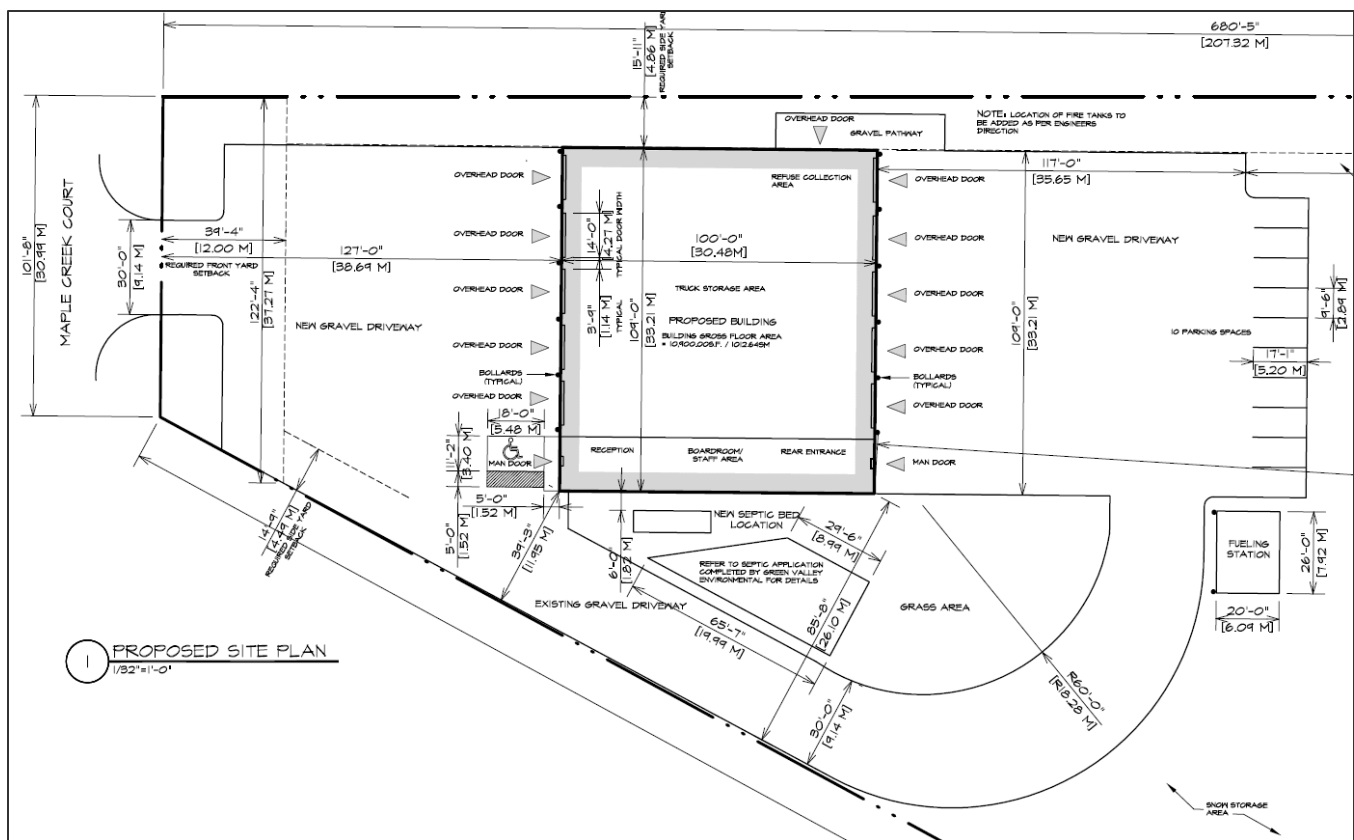


Figure 9: Extract from Site Plan Showing Proposed Development

Access to the proposed development would be via an existing gravel driveway which intersects with Maple Creek Court. The turning movements of the hydrovac trucks has shaped the site layout. Five (5) loading spaces with overhead doors are proposed at the front of the building and five (5) loading spaces with overhead doors are proposed at the rear of the building. The loading spaces proposed at the front of the building will service the "Peterbuilt 567" hydrovac truck while the loading spaces at the rear of the building will accommodate the "Western Star 4700" Combo trucks.

As illustrated on the enclosed Landscape Plan, the areas located to the east and west of the building would be grassed and one new tree (a Serviceberry, which is a native species) is proposed to be planted in the northwest corner of the subject property, abutting Maple Creek Court. The Landscape Plan also illustrates the retention of a portion of the hedgerow located along the northern property line (east of the proposed development) and a bur oak tree located on the southern lot line, towards the western end of the subject property.

The proposal meets all the applicable zoning requirements.

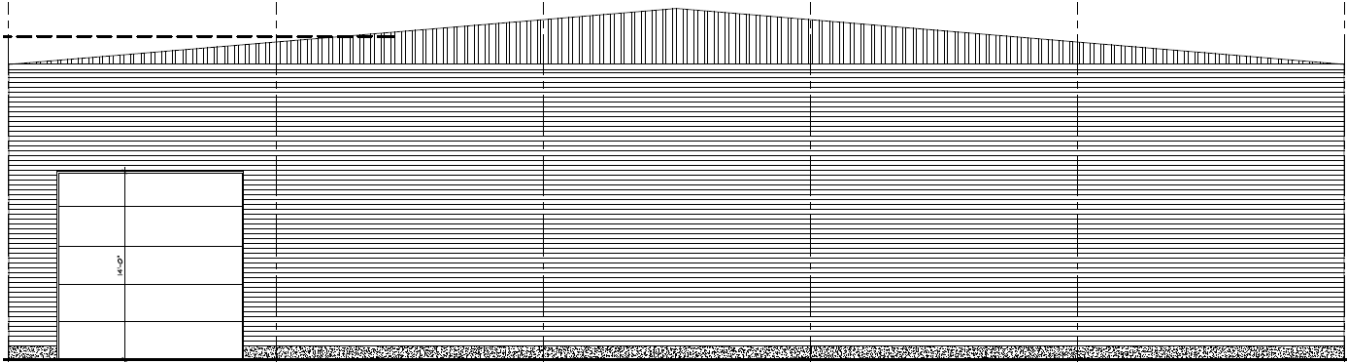


Figure 10: Proposed Side (North) Elevation

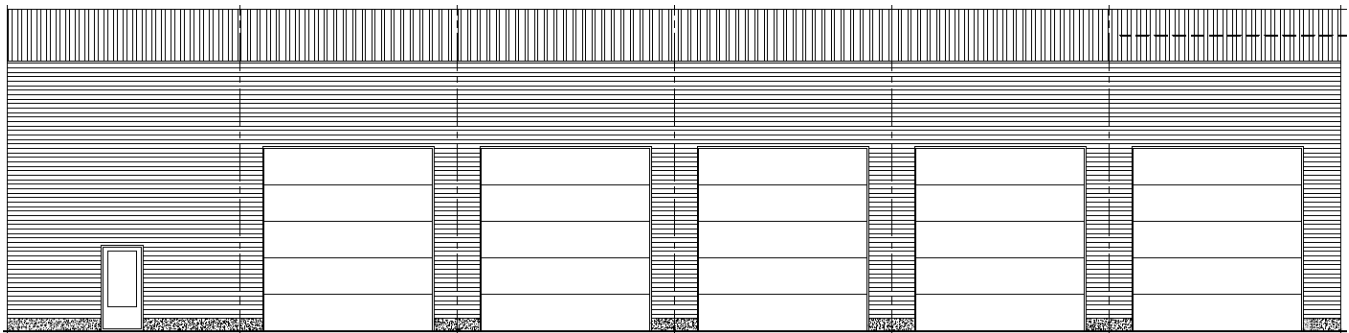


Figure 11. Proposed Rear Elevation

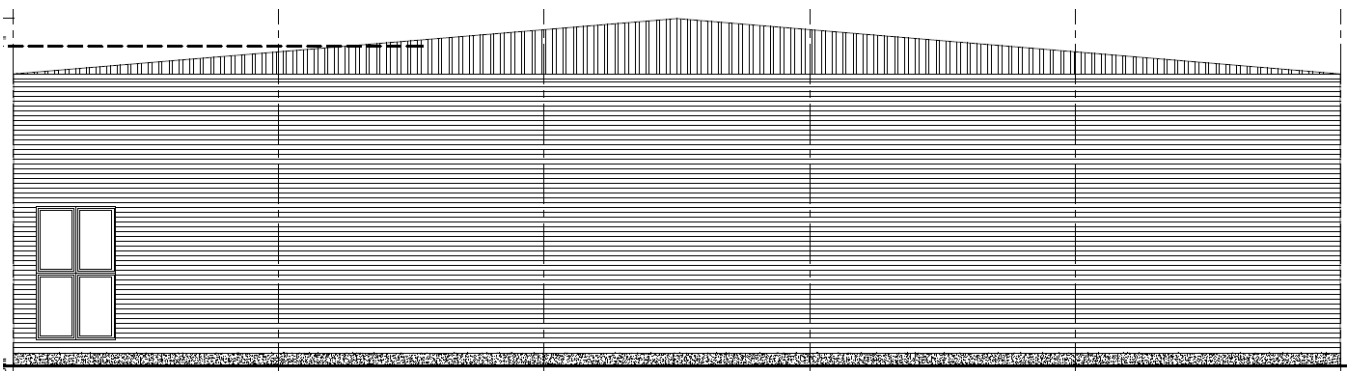


Figure 12: Proposed Side (South) Elevation



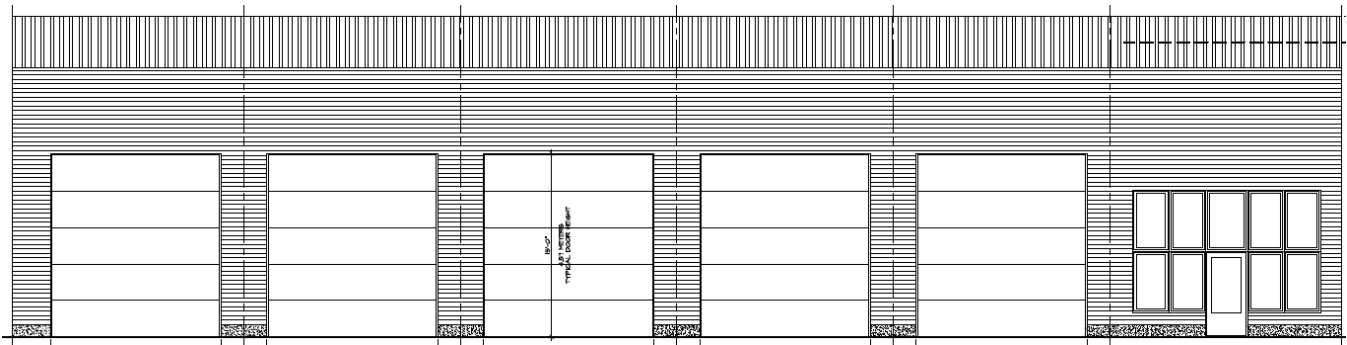


Figure 13: Proposed Front Elevation

## POLICY AND REGULATORY FRAMEWORK

---

### 4.1 Provincial Policy Statement

The Provincial Policy Statement (PPS) was issued under Section 3 of the Planning Act in April 2014. It provides direction on matters of provincial interest related to land use planning and development. The Act requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act.

The PPS recognizes the importance of supporting rural economic health through diversification of the economic base and employment. In addition to supporting this objective of the PPS, the proposal meets the following applicable policies:

- / Opportunity to locate new and expanding land uses that require separation from other land uses;
- / Directing non-agricultural development to areas where it will minimize constraints on those uses; and,
- / Supports long-term economic prosperity through the redevelopment of underutilized land.

**The Site Plan application is consistent with the policies of the PPS as it allows an existing business located in a designated Rural Employment Area to meet its current needs, which will support its prosperity.**

### 4.2 City of Ottawa Official Plan

#### 4.2.1 Managing Growth

Section 2.2- *Managing Growth* of the Official Plan projects that total rural employment will reach 35,000 jobs by 2031 – an increase of 10,000 jobs from 2006. The Official Plan contains policies to manage this growth, including the objective to support and value the distinct economies of rural communities. In particular, rural employment areas are specifically reserved for land uses that require strategic locations and uses which are not appropriate in villages; maintenance of rural employment areas is critical to diversify the region’s economy. It should be noted that development in the Rural Area is to be primarily on the basis of private individual services.

**As an industrial development located in a Rural Employment Area, the proposed development supports the growth management objectives of the Official Plan to promote diversified rural employment.**

#### 4.2.2 Land Use Designation

As shown in Figure 14, the subject property is designated “Rural Employment Area” on Schedule A- *Rural Policy Plan* of the Official Plan. As specified in Section 3.7.5 – *Rural Employment Area* of the Official Plan, five percent of the City’s employment growth is to be accommodated within the Rural Area. The majority of non-farm employment is encouraged to locate in village and in Rural Employment Areas.

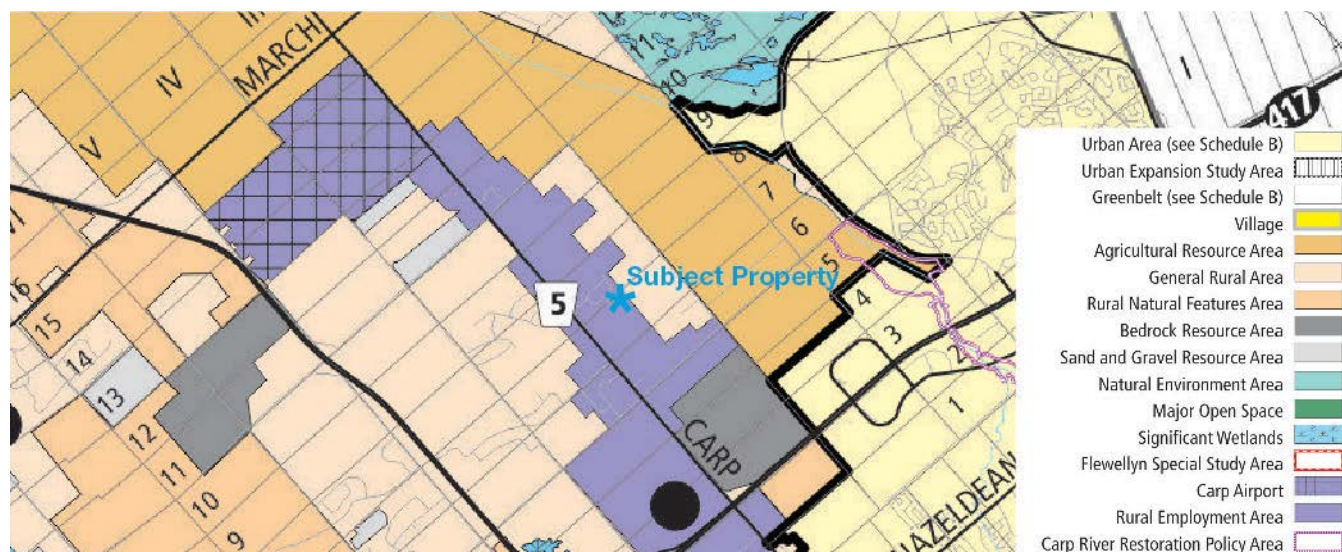


Figure 14: Extract from Schedule A - Rural Policy Plan

The Carp Road Rural Employment Area consists of an established industrial cluster in proximity to a 400-series highway interchange (Highway 417). Permitted uses in the Rural Employment Area include **light industrial uses** and **warehouse operations**, especially in proximity to Arterial Roads and highways. Section 3.7.5.1 of the Official Plan requires that new development applications within the Carp Road Corridor conform to the policies in the associated Community Design Plan.

**Given its location, the proposed warehouse use conforms to the policies for Rural Employment Areas.**

#### 4.2.3 Community Design and Compatibility

New development in the City of Ottawa is subject to Urban Design and Compatibility Criteria set out in Sections 2.5.1 and 4.11 of the Official Plan. Development applications are to be evaluated against these criteria to ensure that approved development meets a high quality of urban design and is compatible with the existing and planned character of the context in which they are located. “Compatible development” means development that, although it is not necessarily the same as or similar to existing buildings in the vicinity, nonetheless enhances an established community and coexists with existing development without causing undue adverse impact on surrounding properties.

It must be noted that some of the above compatibility criteria are primarily oriented towards urban development and development within villages. Compatibility in Rural Employment Areas can be different in character from compatibility in other areas of the city. Therefore, greater weight has been placed on the design and compatibility criteria set out in the Carp Road Corridor Community Design Plan, reviewed in Section 4.4 of this Planning Rationale.

The following table outlines objectives set out in Section 2.5.1- *Urban Design and Compatibility* of the Official Plan.



<b>Design Objective</b>	<b>Proposed Development</b>
<b>To enhance sense of community by creating and maintaining places with their own distinct identity. To define quality public and private spaces through development</b>	The proposed development and land use are appropriate for the context and contribute to the viability of the Carp Road Corridor Rural Employment Area.
<b>To create places that are safe, accessible and are easy to get to, and move through.</b>	The proposed gravel driveway, parking lot and loading spaces meet the requirements of the Zoning By-law and provide sufficient space for safe movement of all sizes of vehicles.
<b>To ensure that new development respects the character of existing areas.</b>	The development is compatible with surrounding existing and planned industrial, warehousing and transportation uses.
<b>To consider adaptability and diversity by creating places that can adapt and evolve easily over time and that are characterized by variety and choice.</b>	The proposed development occupies only the front portion of the lot, allowing room for evolving uses and future intensification.
<b>To understand and respect natural processes and features in development design</b>	<p>The proposed stormwater management approach has been designed to minimize impacts on the nearby Huntley Creek.</p> <p>The proposed warehouse will not impact the adjacent Significant Woodlands.</p>
<b>To maximize energy-efficiency and promote sustainable design to reduce the resource consumption, energy use, and carbon footprint of the built environment.</b>	—

The following table sets out criteria defined in Section 4.11- *Urban Design and Compatibility* of the Official Plan.

<b>Criteria</b>	<b>Proposed Development</b>
<b>Traffic</b>	A Transportation Impact Assessment is not required for this Site Plan Control application.
<b>Vehicular Access</b>	The proposed Site Plan meets all the requirements in the Zoning By-law and Private Approach By-law. Adequate internal circulation, particularly for trucks, has been incorporated into the design per the vehicle turning memo prepared by IBI Group.
<b>Parking Requirements</b>	The proposed development meets the Zoning By-law's parking requirements for a warehouse located in Area D- Rural Area.
<b>Outdoor Amenity Areas</b>	There are no existing outdoor amenity areas located in proximity to the proposed development, therefore there would be no impacts.
<b>Loading Areas, Service Areas and Outdoor Storage</b>	Ten loading spaces and an outdoor fueling station are proposed.

Criteria	Proposed Development
Lighting	There are no adjacent sensitive uses that would be impacted by site lighting.
Noise and Air Quality	As the subject property is located in a Rural Industrial Zone and Rural Employment Area designation, there are minimal concerns about noise and air quality impacts on adjacent uses.
Sunlight	Given that the proposed building is only 7.97 metres in height, sunlight and shadowing impacts are not anticipated.
Microclimate	Microclimate impacts are not anticipated.
Supporting Neighbourhood Services	The proposed building will support the continued operation of NCM Hydro. Employees will continue support existing accessory commercial uses in the broader Carp area.

**The proposed development meets the design and compatibility principles set out in the Official Plan.**

#### **4.2.4 Section 4.4.2 – Private Water and Wastewater Servicing**

Section 4.4.2- *Private Water and Wastewater Servicing* of the Official Plan addresses private onsite water and wastewater servicing. Where development is proposed on private services, the City requires, as a condition of Site Plan Control, sufficient technical assessments to determine that water and wastewater services can be safely provided without impairing groundwater resources.

Through OPA 150, the City implemented a policy permitting small water and wastewater works for industrial uses and permitting such works to be constructed for commercial uses without requiring a Municipal Responsibility Agreement.

**The appropriate studies were undertaken by McIntosh Perry in order to confirm that adequate onsite services can be provided without impacting hydrological resources, as summarized below. Due to the fact that the subject property is located in the Rural Area and is industrial in use, the provision of services through onsite works is appropriate under the policies of Section 4.4.2 of the Official Plan.**

#### **4.2.5 Section 4.7 – Environmental Protection**

Section 4.7- *Environmental Protection* of the Official Plan sets out how development applications will be reviewed and evaluated against the City of Ottawa's environmental objectives and criteria.

As specified by the Carp Road Community Design Plan, the proposed development is subject to a Groundwater Impact Study to ensure that the proposed development will not significantly impair the quality or quantity of groundwater recharge.

The subject property is also in proximity to a Natural Heritage System overlay as shown in Schedule L3 of the Official Plan. The site's proximity to a Significant Woodland as defined in Section 2.4.2 of the Official Plan triggers the requirement for an Environmental Impact Statement.

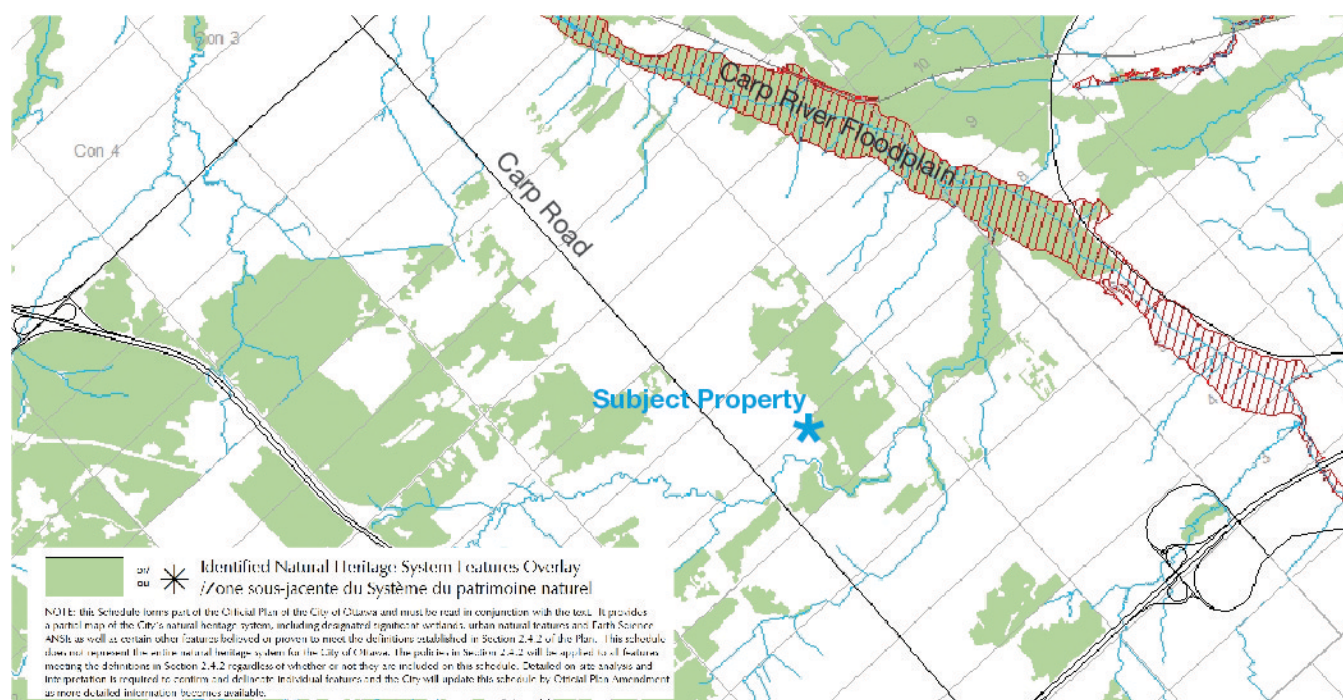


Figure 15: Extract from Schedule L3 - Natural Heritage System West - Showing Natural Heritage Features in Proximity to the Subject Property

The Hydrogeological Study prepared by McIntosh Perry identified a sustainable pumping rate for the proposed water servicing system that exceeds the expected daily demand for the proposed use as identified by the Ottawa Septic System Office.

The Environmental Impact Statement prepared by Muncaster Environmental Planning identified no significant natural heritage features on the subject property. Part of an existing hedgerow along the northern edge of the subject property will be retained and no work is proposed to occur on the east portion of the subject property, in proximity to the significant woodlands located on abutting lands.

### 4.3 City of Ottawa OPA 150

In 2013, the City of Ottawa undertook a review of its Official Plan, which resulted in numerous changes to policies and land use designations. Ottawa Council adopted Official Plan Amendment (OPA) 150 to implement the changes in December 2013, which was subsequently approved by the Ministry of Municipal Affairs and Housing (MMAH) and then appealed by several parties. Settlement of several appeals in 2018 has brought into force the majority of the policies which apply to the proposed development.

### 4.4 Carp Road Corridor Community Design Plan

The Carp Road Corridor Community Design Plan (CDP) was adopted by Council in June 2004 and guides long term growth and development in the Carp Road Corridor. The Carp Road Corridor is a significant Rural Employment Area which employs over 2,500 people.



#### 4.4.1 Land Uses

As shown in Figure 16, the subject property is designated “Light Industrial” on Schedule 1 of the Carp Road Corridor CDP. The subject property is located in one of the five pre-existing industrial business parks, which saw relatively low levels of development prior to passage of the CDP, and which are identified as target areas for new light industrial development.

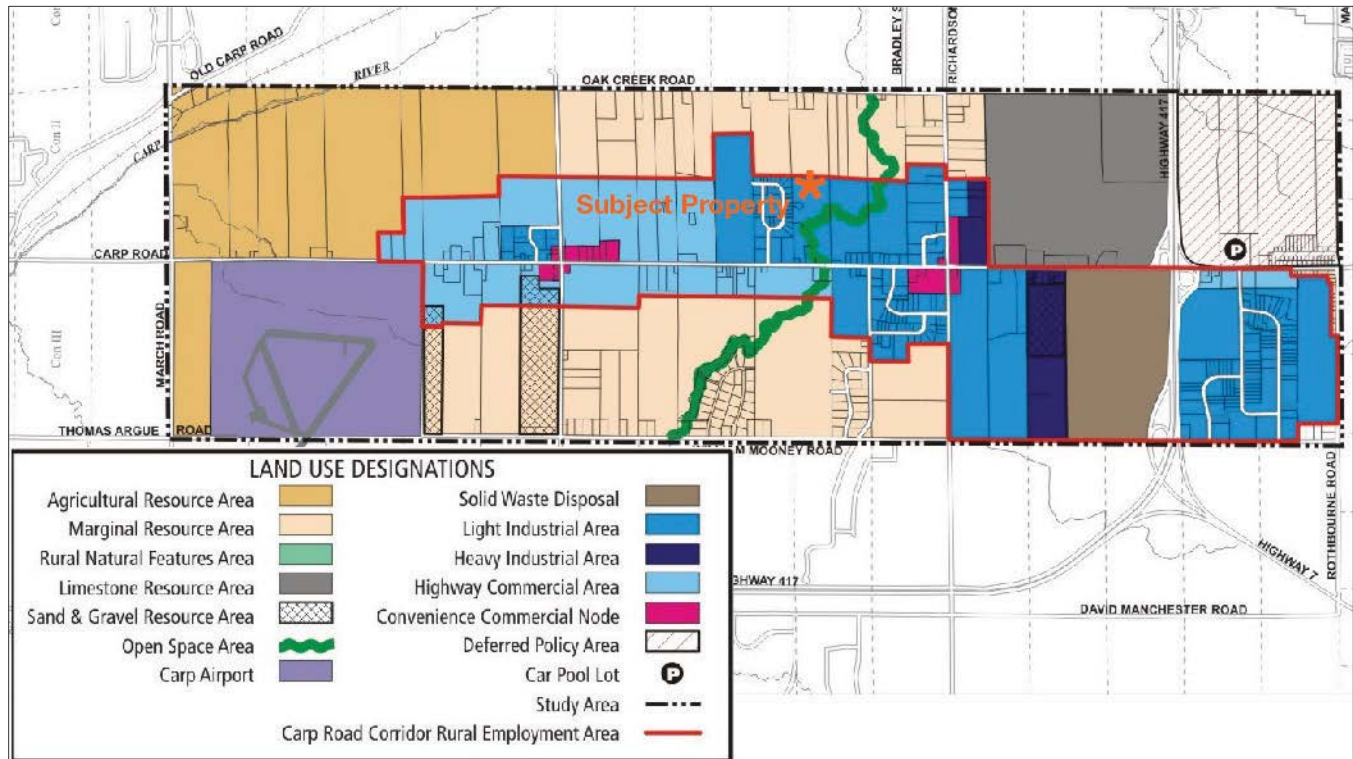


Figure 16: Schedule 1 of the Carp Road Corridor CDP Showing Land Use Designations

Warehouse uses are permitted within the Light Industrial designation. New development must be appropriately located and incorporate appropriate design measures, such as landscape screening, must be applied to minimize interference with existing or proposed adjacent uses.

**The proposed warehouse use is permitted in the Light Industrial CDP designation and the proposed development meets the policies of the designation.**

#### 4.4.2 Environmental Protection

As shown on Schedule 2 of the CDP, the subject property is located within a “High Recharge” area for groundwater. Groundwater constitutes the majority of the flow of Huntley Creek, which is located approximately 200 metres south of the subject property. The upper reaches of Huntley Creek are in good condition, as recorded in 2014 through fieldwork conducted by the Mississippi Valley Conservation Authority and confirmed by Schedule 2 of the CDP, which designates Huntley Creek as a “High Quality Fishery”. Additionally, the Mississippi Valley Conservation Authority notes that enhanced stormwater management that implements thermal controls as well as 80% total suspended solids removal be implemented. This will help to protect the ecological quality of Huntley Creek.

Protection of groundwater resources in the area are critical not only for ecological health, but also sustainable water servicing over the long term. Therefore, the City will evaluate any proposed development against the policies in Section 4.7 of the Official Plan, as outlined above in Section 4.2.4 of this Planning Rationale.

It should also be noted that Schedule 2 of the CDP identifies the woodlands located east of the subject property, although not directly adjacent to the subject property, as significant woodlands greater than 50 years in age (Figure 17). This approximately corresponds to the Natural Heritage Designation on Schedule L3 of the Official Plan.

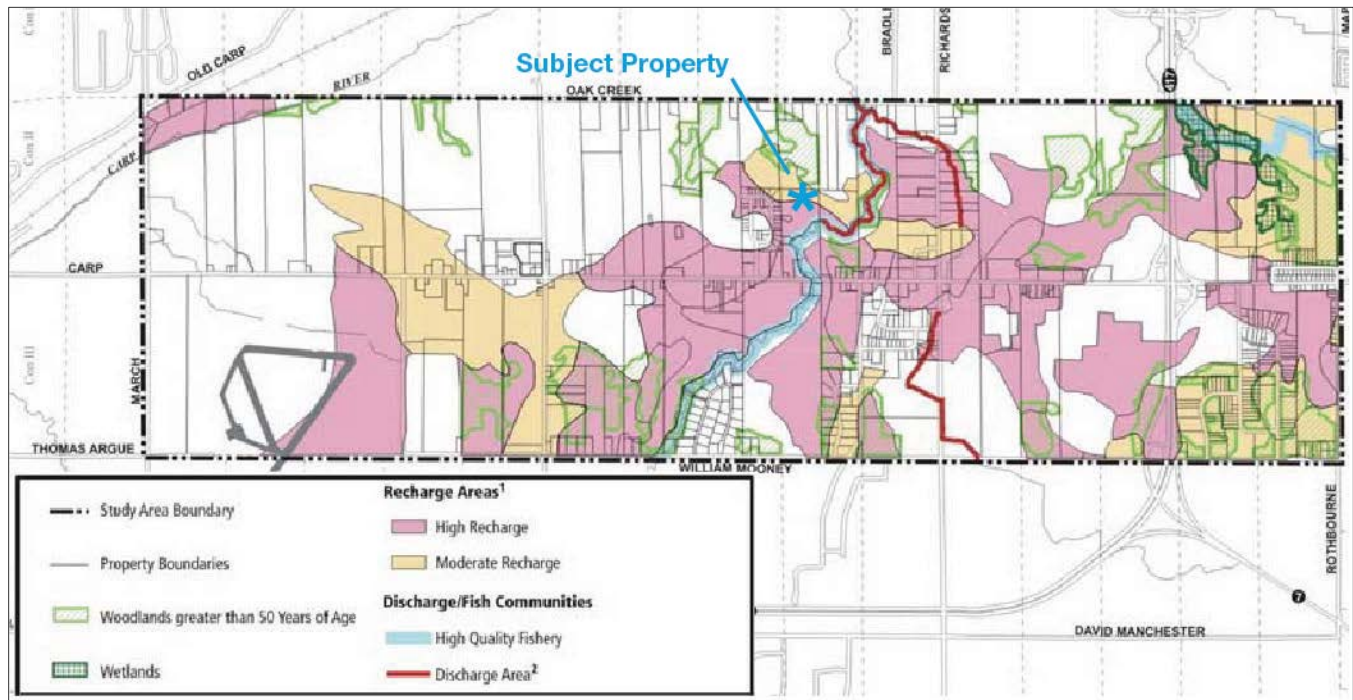


Figure 17: Schedule 2 of the Carp Road Corridor CDP Showing Natural Heritage Features

**The Environmental Impact Statement and Tree Conservation Report prepared by Muncaster Environmental Planning in April 2019 found that the proposed development was not likely to adversely impact adjacent natural features. This report also found that the infiltration function of the subject property will be maintained after development as the majority of the property will continue to be pervious. The Site Servicing and Stormwater Management by McIntosh Perry identified a stormwater management approach that will be implemented and will meet the temperature and infiltration objectives of the Carp River Watershed/Subwatershed Study.**

#### 4.4.3 Servicing

The Official Plan and CDP state that servicing shall be on the basis of private services.

Section 4.4.2– *Private Water and Wastewater Servicing* of the Official Plan requires a Site Plan application for any project that proposes private servicing to include a study to demonstrate the feasibility and sustainability of private servicing. The application must provide sufficient information to establish that sufficient groundwater of a quality that meets or exceeds the Ontario Drinking Water Standards exists to sustainably service the development, that any proposed well will not be impacted by potential contamination sources, and that any on-side wastewater system will not adversely impact surrounding wells.

The City also requires a Groundwater Impact Assessment to ensure the proposed development does not threaten groundwater resources.

As per the Carp Road Corridor CDP and Ontario *Clean Water Act*, the City of Ottawa conducted a Drinking Water Source Protection study for Carp. No Wellhead Protection Areas are found in proximity to the subject property.

**The Hydrogeological Assessment and the Servicing and Stormwater Management Report prepared by McIntosh Perry address the Official Plan requirement for study. Based on water quality and quantity test results from the existing water supply well, McIntosh Perry determined that the well provides good quality water and sufficient quantity to support the proposed development.**

#### 4.4.4 Design

Section 7.0 of the CDP contains policies related to visual appearance and design, with the objective to enhance the aesthetic appeal of the corridor while maintain the rural landscape in “fingers” where possible. To that end, Section 7.2 and Section 7.3 of the CDP outline a range of policies and design guidelines. The proposed development responds to the following relevant policies and guidelines:

- / Locate parking at the rear or side of buildings (Section 7.3 Policy 2)  
**The parking area is proposed to the rear of the building and therefore will be screened from view from Maple Creek Court by the proposed building.**
- / Preserves as many trees as possible on the site (Section 7.3 Policy 5)  
**A portion of the hedgerow located along the northern property line and a bur oak located along the southern property line are proposed to be retained.**
- / Plant trees along the corridor (Section 7.3 Policy 7)  
**A new tree (Serviceberry) is proposed adjacent to Maple Creek Court.**
- / Provide landscaping at the front of buildings (Section 7.3 Policy 8)  
**A grassed area and a new Serviceberry tree are proposed at the front of the building, abutting Maple Creek Court.**

Provisions for compatibility with residential development are not applicable as the subject property is not located in proximity to residential development.

**The proposed development responds to the CDP urban design policies, landscaping, design and aesthetic guidelines set out in the Carp Road Corridor CDP, supporting the CDP’s overall goal of improved visual appearance. By following the above-listed guidelines, the proposed development also responds to the City of Ottawa’s urban design and compatibility guidelines within a rural employment context.**

## 4.5 City of Ottawa Comprehensive Zoning By-law (2008-250)

The subject property is zoned “Rural General Industrial Zone – Subzone 5 (RG5)” in the Comprehensive Zoning By-law (2008-250). The purpose of the parent RG zone is to permit the development of a range of light industrial uses in areas within the Carp Road Corridor Rural Employment Area designation of the Official Plan. The zone imposes specific performance standards to regulate development in a manner such that new developments respect adjacent land uses and minimally impact the surrounding Rural Area.



Permitted uses in the RG5 zone include but are not limited to:

- / Light industrial uses
- / Parking lot
- / Storage Yard
- / Warehouse
- / Office, subject to being located on the same lot as a primary permitted use



Figure 18: Zoning of the Subject Property

The following table compares the proposed development against the required performance standards in the Zoning By-law.

Zoning Mechanism	Required	Proposed	Complies
<b>Lot Area</b>	4,000 m <sup>2</sup>	17,717 m <sup>2</sup>	Yes
<b>Lot Width*</b>	Minimum 30 m	37.27 m	Yes
<b>Front yard setback</b>	Minimum 12 m	38.69 m	Yes
<b>Rear yard setback</b>	Minimum 10 m	135.76 m	Yes
<b>Interior side yard setback</b>	Minimum 4.5 m	4.86 m (north) 11.95 m (south)	Yes
<b>Building height</b>	Maximum 15 m	Max 7.97 m	Yes
<b>Lot coverage</b>	Maximum 50%	5.8%	Yes

<b>Zoning Mechanism</b>	<b>Required</b>	<b>Proposed</b>	<b>Complies</b>
<b>Outdoor storage</b>	<p>a) outside storage is not permitted within any required front yard or corner side yard</p> <p>(b) outside storage must be screened from abutting residential uses or zones and public streets by an opaque screen at least 1.8 m in height from finished grade</p>	<p>No outdoor storage is proposed</p> <p>No outdoor storage is proposed</p>	Yes
<b>Minimum parking rate</b>	0.8 spaces/100 m <sup>2</sup> Gross Floor Area: $0.8 \times (1,012.6/100) = 8$ spaces	10 standard parking spaces 1 accessible parking space	Yes
<b>Parking space size</b>	2.6 x 3.1 m	2.89 x 5.20 m	Yes
<b>Accessible parking</b>	1 Type A space: 3.4 x 5.2 plus 1.5 m access aisle	3.4 m x 5.48 m with 1.52 m adjacent access aisle	Yes
<b>Parking lot surface</b>	Must be useable in all seasons	Gravel	Yes
<b>Driveway width</b>	6.7 m for double traffic lane	9.14 m (double traffic lane)	Yes
<b>Parking Aisle width</b>	6.7 m	> 6.7 m	Yes
<b>Loading spaces</b>	1 space (standard size 3.5 x 7 m)	10 spaces (4.27 m x > 7 m)	Yes
<b>Loading space location</b>	Not permitted in required front yard	Located wholly within building	Yes
<b>Loading space aisle/access</b>	Driveway: 6 m (double lane) Aisle: 9 m (90° orientation)	Driveway: 9.14 m Aisle: > 9 m	Yes

\* Measured at the required front yard setback

**As demonstrated in the table above, the proposed development meets all the requirements of the Zoning By-law.**

### 5.1 Environmental Site Assessment

A Phase I Environmental Site Assessment (ESA) conducted by Pinchin and dated September 16, 2014 identified no likely subsurface contamination concerns. As such, a Phase II Environmental Site Assessment was not recommended.

### 5.2 Hydrogeological Study

McIntosh Perry undertook a hydrogeological investigation of the subject property in order to determine if the subject property is capable of sustainably supporting the proposed development from a hydrogeological perspective. Based on water quality and quantity test results from the existing water supply well, McIntosh Perry determined that the well provides good quality water and sufficient quantity to support the proposed development.

### 5.3 Servicing and Stormwater Management

McIntosh Perry's Servicing and Stormwater Management Report and Servicing Plan confirm that onsite water and sanitary servicing is appropriate and describe an innovative and cost-effective servicing approach, designed by others, that will meet the requirements set by the City of Ottawa, the Mississippi Valley Conservation Authority and the Ontario Ministry of Environment, Conservation and Parks.

The proposed Stormwater Management system, designed by McIntosh Perry, uses onsite ponding and a storm network to meet infiltration and runoff temperature requirements.

Onsite water storage tanks are proposed for firefighting purposes.

### 5.4 Geotechnical Report

Geotechnical investigations by McIntosh Perry identified geotechnical recommendations for construction of the proposed development.

### 5.5 Environmental Impact Statement and Tree Conservation Report

There is no evidence of Species at Risk habitat on the subject property. The abutting Significant Woodland consists of potential butternut habitat, but no butternut trees were identified within 50 metres of the subject property. Blanding's turtle and snapping turtle may be present along the Huntley Creek corridor, located 200 metres to the southwest, which will not be disturbed by the proposed development.

While the subject property was previously identified as a Significant Woodland by the former Region of Ottawa-Carleton's Natural Environment System Strategy (1997), onsite clearing between 2005 and 2008 removed much of the woody vegetation, significantly reducing the potential of the site to provide significant wildlife habitat.

The proposed development is not anticipated to create new forest edge and the proposed 10 metre setback from the rear lot line, as specified in the Zoning By-law, is sufficient to protect the Critical Root Zone of trees located in the Significant Woodland feature to the east of the subject property. A portion of the deciduous hedgerow located along the northern edge of the subject property will be retained and must be protected with temporary fencing at least 1.2 metres in height, installed at the edge of the critical root zone (10 times the tree's diameter at breast height).

---

Contractors are to review in detail and understand the City's Protocol for Wildlife Protection during Construction prior to commencement of construction. No tree or shrub removal should occur between April 15<sup>th</sup> and August 15<sup>th</sup> unless a breeding bird survey identifies no active nests in the trees or shrubs.



It is our professional opinion that the proposed Site Plan Control application constitutes good planning and is in the public interest. As outlined in the preceding sections and summarized below:

- / The proposed development conforms to the Official Plan policies, including those of the applicable Rural Employment Area designation;
- / The proposed development is in compliance with the requirements of the applicable RG5 zoning in the Comprehensive Zoning By-law (2008-250);
- / The development represents the expansion of an existing employment use in an existing employment area, supporting the economic health and vitality of the Carp Road Employment Area and the City as a whole; and
- / The proposed development can be adequately serviced through private water, sanitary and stormwater infrastructure, as supported by the enclosed technical reports.



Julie Carrara, MCIP RPP  
Senior Planner



Bria Aird, M. Pl.  
Planner