

LEGEND

	EXISTING ELEVATION		DEPRESSED CURB
	PROPOSED ELEVATIONS		OVERLAND FLOW ROUTE
	PROPOSED SWALE ELEVATION		DRILLED WELL
	DRAINAGE SLOPE		PROPOSED BOLLARD
	EXISTING DRAINAGE		PROPOSED CATCH BASIN
	CENTRELINE OF ROAD		PROPOSED DOWNSPOUT LOCATION
	EDGE OF ROAD		BUILDING ENTRANCE LOCATION
	TOP OF SLOPE		TEMPORARY BENCHMARK
	PROPERTY LINE		PROPOSED DECIDUOUS TREE
	SILT FENCE		PROPOSED CONIFEROUS TREE
			PLANT LIST KEY
			PLANT QUANTITY

SITE STATISTICS:

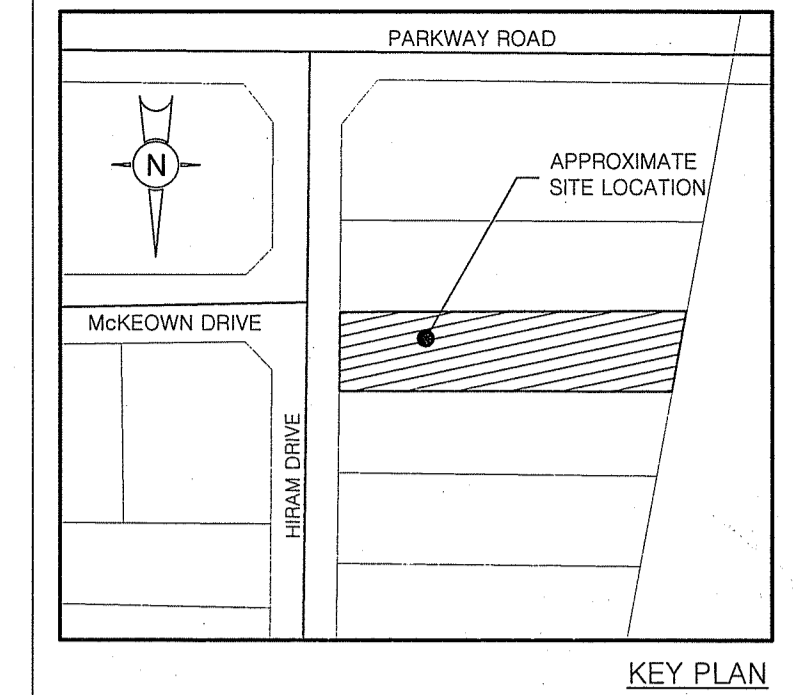
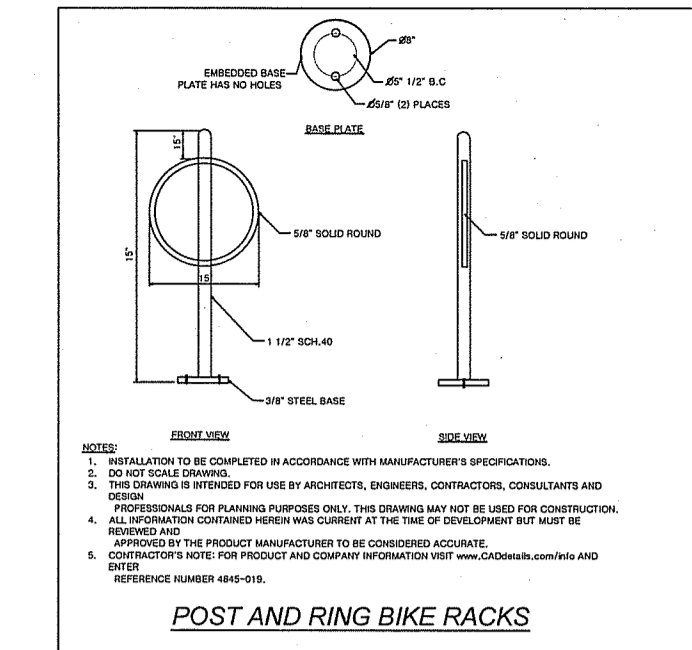
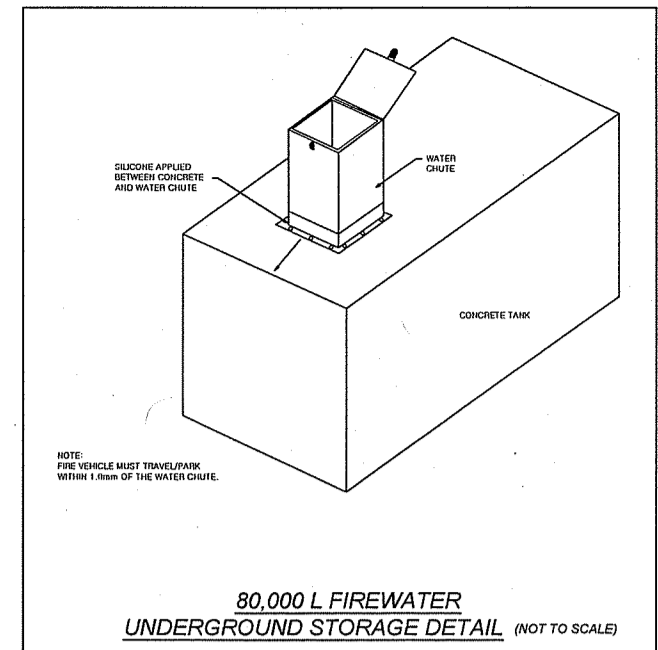
TOTAL LOT AREA	3818 m ²
EASEMENT AREA	464 m ²
AREA OF DEVELOPMENT	3251 m ²
GROSS FLOOR AREA	1300 m ²
WAREHOUSE SPACE =	1105 m ²
OFFICE SPACE =	195 m ²
LANDSCAPE	74 m ²
ASPHALT AREA	888 m ²
GRAVEL AREA	585 m ²
PARKING SPACES (LIGHT INDUSTRIAL USE)	
REQUIRED	GREATER OF 0.8 PER 100M ² OF GROSS FLOOR AREA:
PROVIDED	12 SPACES
BICYCLE REQUIREMENTS	1 PER 1000M ² = 1 REQUIRED 1 PROVIDED

RG3 (RURAL GENERAL INDUSTRIAL ZONE) PROVISIONS:

ZONING MECHANISMS	REQUIRED	PROVIDED
(a) Minimum lot width (m)	30	30.50
(b) Minimum lot area (m ²)	2,000	3818
(c) Minimum front yard setback (m)	15	18.3
(d) Minimum rear yard setback (m)	15	18.3
(e) Minimum interior (i) Abutting a RG, side yard setback (m) RH or RC zone	3	3.10
(f) Maximum principal building height (m)	15	6.80
(g) Maximum lot coverage (%)	50	34
(h) Outdoor storage		(a) outside storage is not permitted within any required front yard or corner side yard (b) outside storage must be screened abutting residential uses or zones and public streets by an opaque screen at least 1.8 m in height from finished grade

PARKING REQUIREMENTS:

VEHICULAR PARKING REQUIRED	PROVIDED
WAREHOUSE = 0.8/100m ² GFA = 11 SPACES	
ACCESSORY OFFICE = 2.4/100m ² GFA = 1 SPACES	
TOTAL = 8.12 SPACES	12 SPACES
ACCESSIBLE PARKING REQUIRED	1 TYPE A 1 SPACE
LOADING SPACE REQUIRED	1 PER 350-999M ² GFA 2 SPACE
BICYCLE PARKING REQUIRED	
WAREHOUSE = 1 PER 2000M ² GFA = 0.17 SPACES	
ACCESSORY OFFICE = 1 PER 200M ² GFA = 0.89 SPACE	
TOTAL = 1 SPACE	1 SPACE



- GENERAL NOTES:**
- All dimensions are in meters; all elevations are in meters and are geodetic.
 - TBM = Nail on existing hydro pole. Elevation = 99.41
 - This is not a legal survey.
 - Property boundary was derived from PLAN 4R-28109 (H.A. KEN SHIPMAN SURVEYING LTD.)
 - Contractor is responsible for location and protection of utilities.
 - Contractor to verify that appropriate permits have been acquired prior to any construction.
 - All dimensions to be verified on site by contractor prior to construction.
 - Client is responsible for acquiring all necessary permits. This drawing is not for construction until a building permit has been granted.
 - Inspection of rough grade by Rockville Engineering Inc. and City of Ottawa must be conducted prior to placement of topsoil or sod.
 - Hydro service to be installed according to the specifications of Ontario Hydro and the Mechanical Engineer.
 - All materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications, sewer and watermain material types; disinfection, provide minimum 2.4 meters of cover for water services, cathodic protection, City of Ottawa insulation specifications for watermain, pipe bedding, reinstatement of disturbed areas and leakage testing.
 - Any changes made to this plan must be verified and approved by Rockville Engineering Inc.

LANDSCAPE DESIGN COMPLETED BY:
GINA BROUWER - OALA, ISA
NewLeaf Landscape Architecture Ltd.

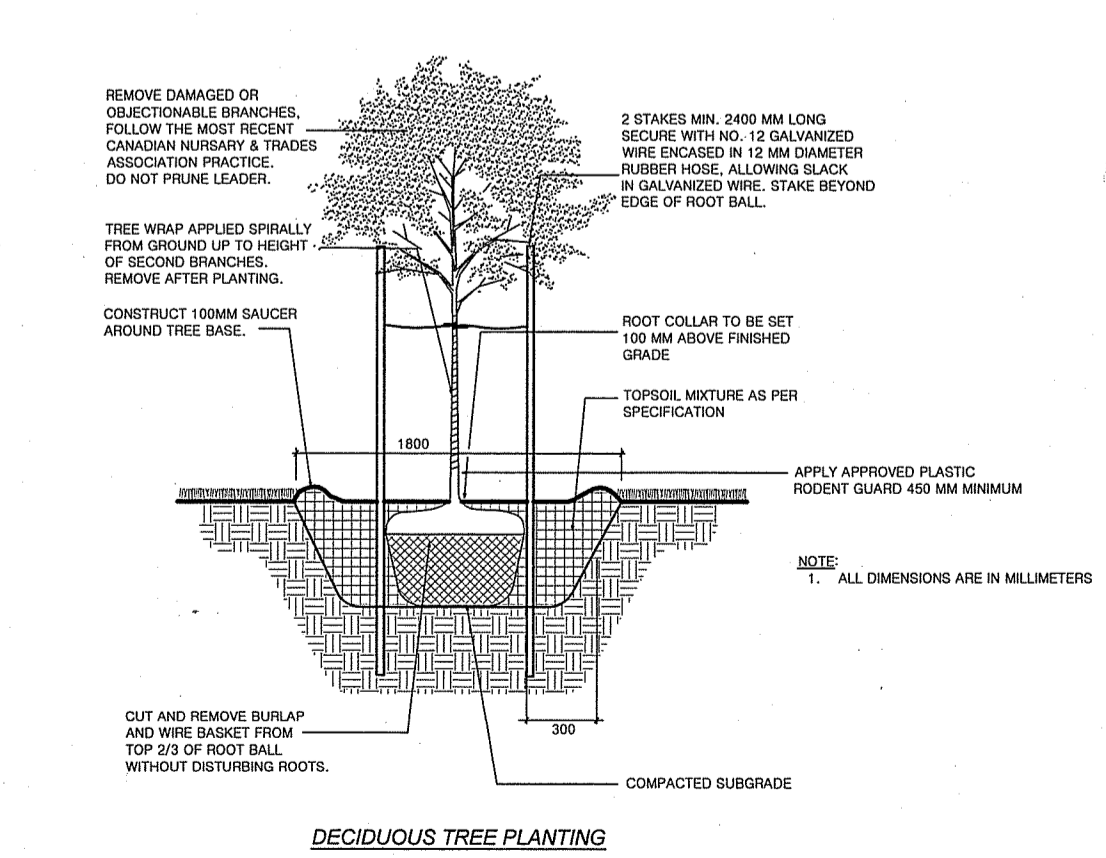
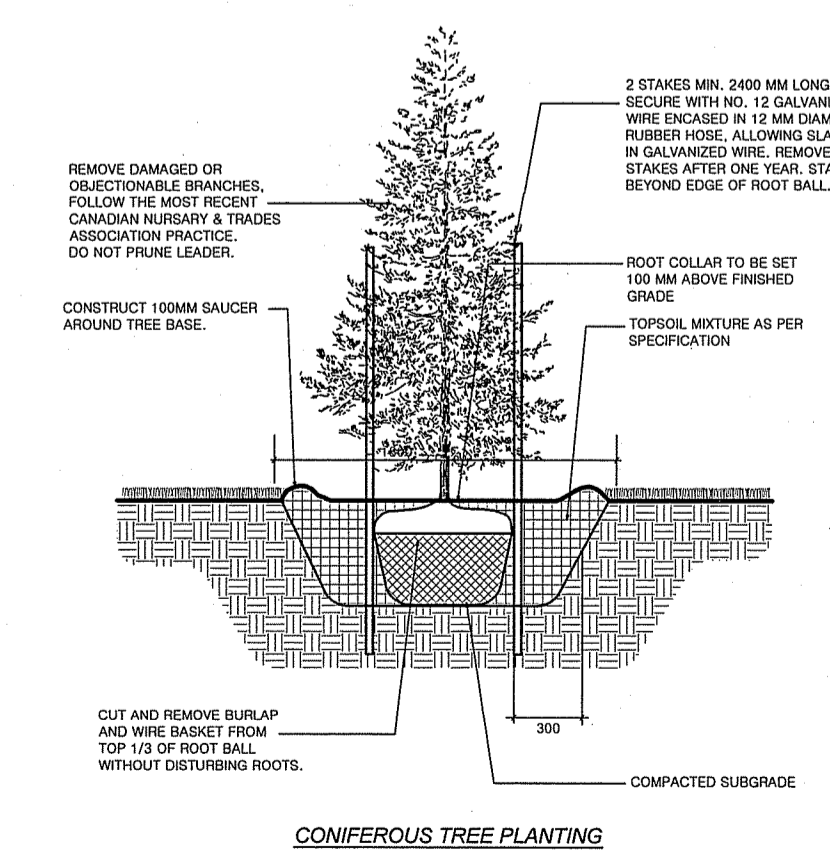
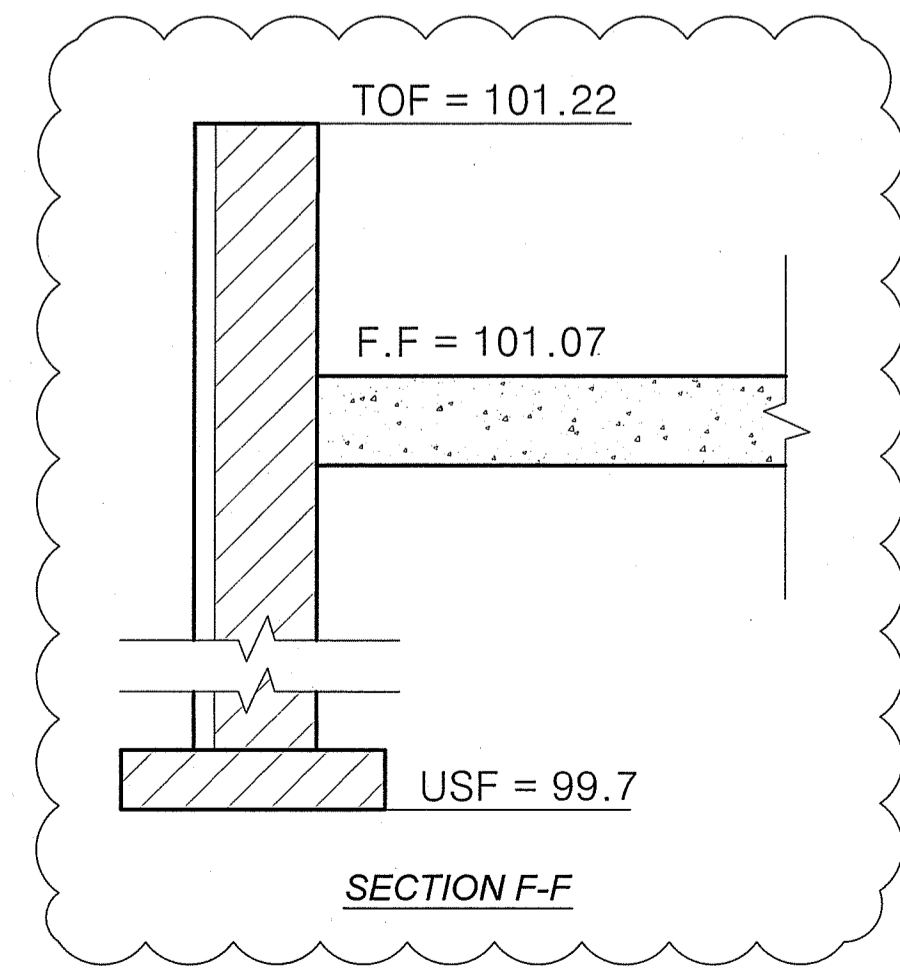
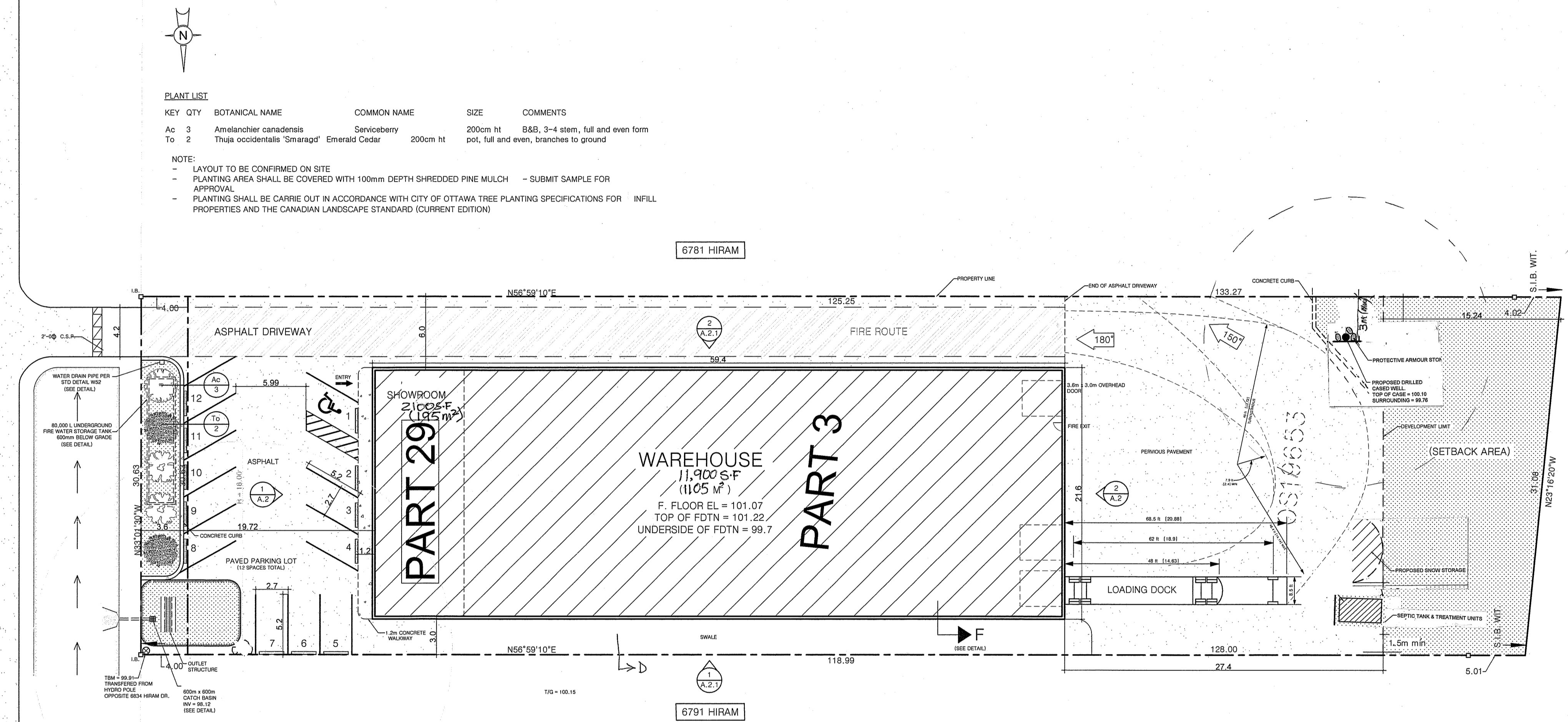
PROFESSIONAL ENGINEER
J.C. ENENDU
100111092
AUG. 03. 2018
PROVINCE OF ONTARIO

SITE PLAN DESIGN
J.C. ENENDU, P. ENG
ROCKVILLE ENG INC.

1	LOT CONFIGURATION ADDED	18/06/2018	
REVISION	DESCRIPTION	DATE	
CONSULTANT:			
ROCKVILLE ENG INC 323 COVENTRY RD UNIT 7, OTTAWA K1K 3X6 TEL 613-710-7727 ROCKVILLEENG@HOTMAIL.COM WWW.ROCKVILLEENGINC.COM			
CLIENT:			
VENOM MOTOR SPORT LTD. 6820 MCKEOWN DR. GREELY, ON			
PROJECT:			
LIGHT INDUSTRIAL BUILDING (WAREHOUSE)			
SITE:			
6787 HIRAM DR. GREELY, ON			
DRAWING:			
SITE PLAN & LANDSCAPE PLAN			
PROJECT NO.	DESIGN:	DRAWN:	APPROVED:
6787HIRAM	C.ENENDU	N.ECKERT	C.ENENDU
SCALE AT A1:	DATE:	DRAWING NO.:	SHEET:
1:250	6/18/2018	A.1	1 of 7

MCKEOWN DRIVE

HIRAM DRIVE



PLANTING TRENCH WELL DRAINED SOILS (LOTS)