

**541-545 RIDEAU STREET
OTTAWA, ONTARIO
REDEVELOPMENT PROJECT**

GENERAL NOTES:
All work must meet or exceed the Ontario Building Code's latest edition and all other applicable codes and standards. Where conflict occurs, the higher standard governs.

Do not scale drawings. Used figured dimensions only.
The contractor is responsible for taking and checking dimensions on site. Report discrepancies to the architect.

PROJECT STATISTICS:
LEGAL DESCRIPTION
PIN 042360058
Plan 43586 Part of Lots 36 & 37; Registered Plan 5R-5528
Part 1 Registered Plan 5R-5754; Part 4

EXISTING ZONING
TM6(2524) F(4.5) H(29) 5391

ZONING COMPLIANCE, AS PER BY-LAW 2018-309		
PROVISION	REQUIRED	PROPOSED
MINIMUM LOT AREA (m ²)	No minimum	1,345.3 m ²
MINIMUM LOT WIDTH (m)	No minimum	31.4 m
BUILDING HEIGHT (m)	29 m	29 m
FRONT YARD SETBACK (m)	0 m	0 m
CORNER SIDE YARD SETBACK (m)	0 m	0 m
ADDITIONAL FRONT AND CORNER SIDE YARD SETBACKS (m)	Additional 1.5 m setback above 10.5 m	Additional 1.5 m setback above 10.5 m
INTERIOR SIDE YARD SETBACK (m)	No minimum, no maximum	0 m (main building)
REAR YARD SETBACK (m)	5 m for main building	5 m (main building)
MAXIMUM FSI	4.5	4.5
PARKING SPACES	43	43
VISITOR PARKING SPACES	10	10
BICYCLE PARKING SPACES	0.5/unit	0.5 spaces per unit x 116 units = 58 spaces
AMENITY AREA (m ²)	330 m ² total 240 m ² communal	372 m ² total 284 m ² communal

UNIT COUNT				
	STUDIO	1-BEDROOM	1-BEDROOM + DEN	2-BEDROOM
SECOND	5	2	7	1
THIRD	5	2	7	1
FOURTH	3	6	4	1
FIFTH	3	6	4	1
SIXTH	3	6	4	1
SIXTH	3	6	4	1
EIGHTH	3	6	4	1
NINTH	3	6	4	1
TOTAL	28	40	38	8

- NOTES:**
- EXISTING BRICK HOUSE TO BE DISMANTLED FOR RELOCATION
 - EXISTING VINYL SIDED SHED TO BE DEMOLISHED
 - EXISTING WOOD PORCH AND STAIRS TO BE DEMOLISHED
 - EXISTING METAL FIRE ESCAPE TO BE DEMOLISHED
 - EXISTING WOOD DECK TO BE DEMOLISHED
 - EXISTING INTERLOCK PAVING TO BE DEMOLISHED
 - EXISTING ART & BASE TO BE RELOCATED
 - EXISTING PRECAST WALL TO BE DEMOLISHED
 - EXISTING FIRE HYDRANT TO BE RELOCATED (LOCATION T.B.C.)
 - EXISTING IN-GROUND POWER SUPPLY VAULT (T.B.C.)
 - EXISTING LIGHT STANDARD TO BE RELOCATED (LOCATION T.B.C.)

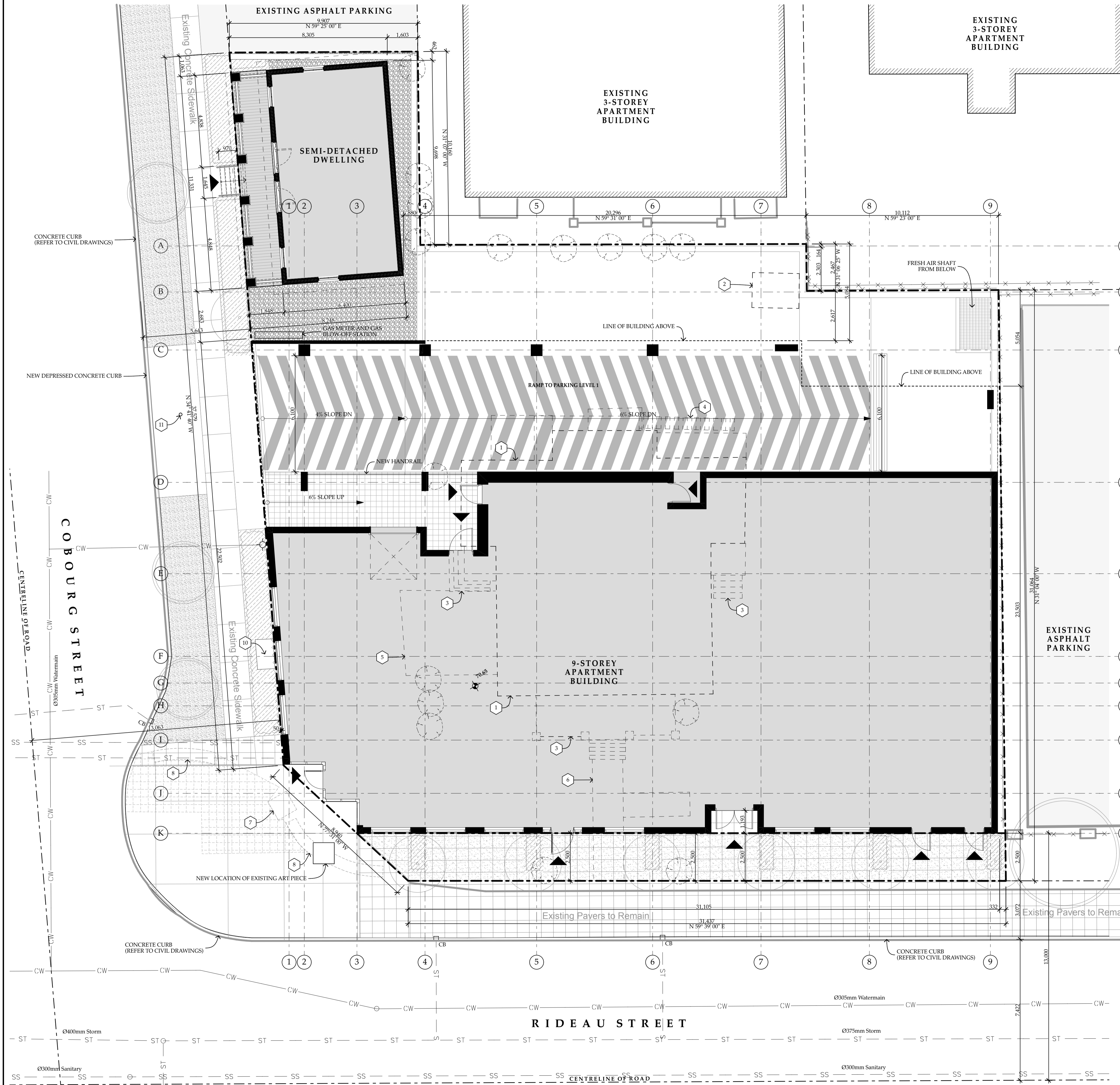
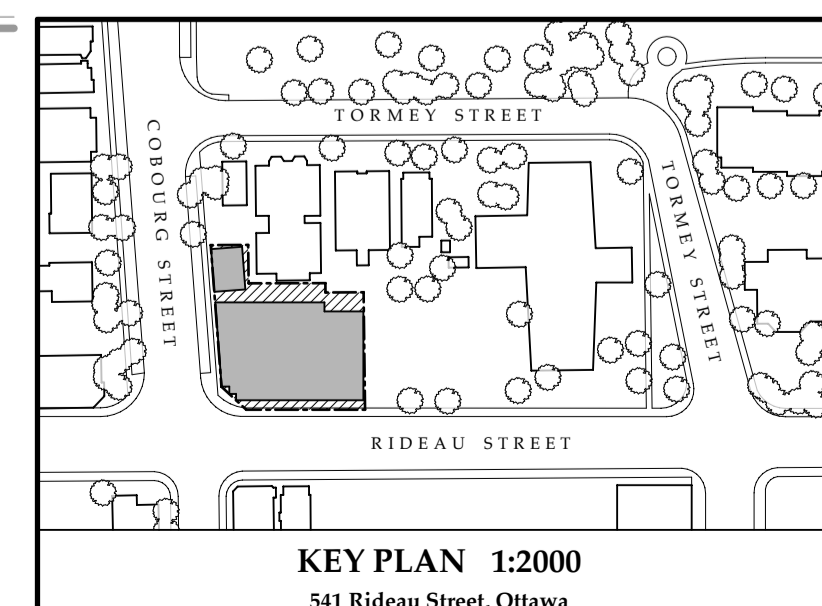
- LEGEND:**
- EXISTING TREE TO REMAIN (REFER TO LANDSCAPE PLAN)
 - EXISTING TREE TO BE REMOVED (REFER TO LANDSCAPE PLAN)
 - NEW TREE (REFER TO LANDSCAPE PLAN)
 - EXISTING TURF TO REMAIN (REFER TO LANDSCAPE PLAN)
 - EXISTING CONCRETE PAVERS/SIDEWALK TO REMAIN (REFER TO LANDSCAPE PLAN)
 - EXISTING CONCRETE PAVERS TO BE REMOVED (REFER TO LANDSCAPE PLAN)
 - NEW CONCRETE PAVERS/SIDEWALK (REFER TO LANDSCAPE PLAN)
 - NEW PEASTONE (REFER TO LANDSCAPE PLAN)
 - NEW SOFT LANDSCAPING (REFER TO LANDSCAPE PLAN)
 - EXISTING CATCH BASIN
 - EXISTING WATERMAIN
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING FENCE TO REMAIN
 - PROPERTY LINE
 - PROPOSED FLOOR FINISH ELEVATION

SITE PLAN BASED ON:
TOPOGRAPHIC PLAN OF

**PART OF LOTS 36, 37 AND 38
(North Rideau Street)
REGISTERED PLAN 43586
CITY OF OTTAWA**

Prepared by Annis, O'Sullivan, Vollebakk Ltd.
Field Work Completed on September 6th, 2017.

BOUNDARY INFORMATION COMPILED FROM (AOG) Plan dated August 16, 2012.



APPROVED REFUSED
THIS ___ DAY OF _____, 20__
DOUGLAS JAMES, MCIP, RPP
MANAGER DEVELOPMENT REVIEW CENTRAL,
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

NO	DATE	REVISION
5	2019-03-28	Issued with Revisions in Response to City Comments on Site Plan Control Application
4	2018-12-12	Issued with Revisions in Response to City Comments on Site Plan Control Application
3	2018-07-11	Issued for Site Plan Control/Zoning Review to Reflect Revised Exterior Design
2	2018-07-09	Issued for Team Review
1	2018-05-14	Issued with Revisions in Response to City Comments on Site Plan Control Application
0	2018-04-12	Issued for Client Review



DRAWING TITLE
SITE PLAN

DESIGN BPA
DRAWN ML, MS
SCALE 1:100
DATE 2018-04-12

DRAWING NO
A0.1