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Legend

- ORIGINAL GROUND ELEVATION
- PROPOSED ELEVATION
- PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- FLOW DIRECTION AND GRADE
- FINISHED FIRST FLOOR ELEVATION
- ENGINEERED FILL REQUIRED E.F.
- TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- PROPOSED SWALE
- DIRECTION OF OVERLAND FLOW
- PROPOSED VALVE BOX
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED DEPRESSED CURB LOCATION
- PROPOSED MOUNTABLE/BARRIER CURB LOCATIONS
- PROPOSED DOOR LOCATIONS
- PROPOSED GRASS
- PROPOSED ASPHALT DRIVEWAY

Notes

- SITE PLAN**
PREPARED BY: SUSAN D. SMITH ARCHITECT
REVISION: 2 - ISSUED FOR SITE PLAN CONTROL
DRAWING: SP SITE PLAN
- SITE BENCHMARK**
PROVIDED BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD
LOCATION / DESCRIPTION: TOP OF SPINDLE FIRE HYDRANT FRONT OF PROPERTY. ELEV=70.96
- GEOTECHNICAL REPORT**
PREPARED BY: PATERSONGROUP

Revision	By	Appd.	YYMMDD

File Name:	MJS	KJK	MJS	16.05.20
160401255 DB				

Permit-Seal

Client/Project

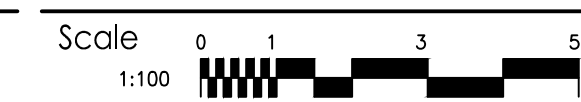
TC UNITED GROUP
800 Industrial Avenue, Unit 9, Ottawa, ON

PROPOSED 3 STOREY APARTMENT BUILDING
404 DALY AVENUE
OTTAWA, ON, CANADA

Title

GRADING PLAN

Project No.
160401255



Drawing No.

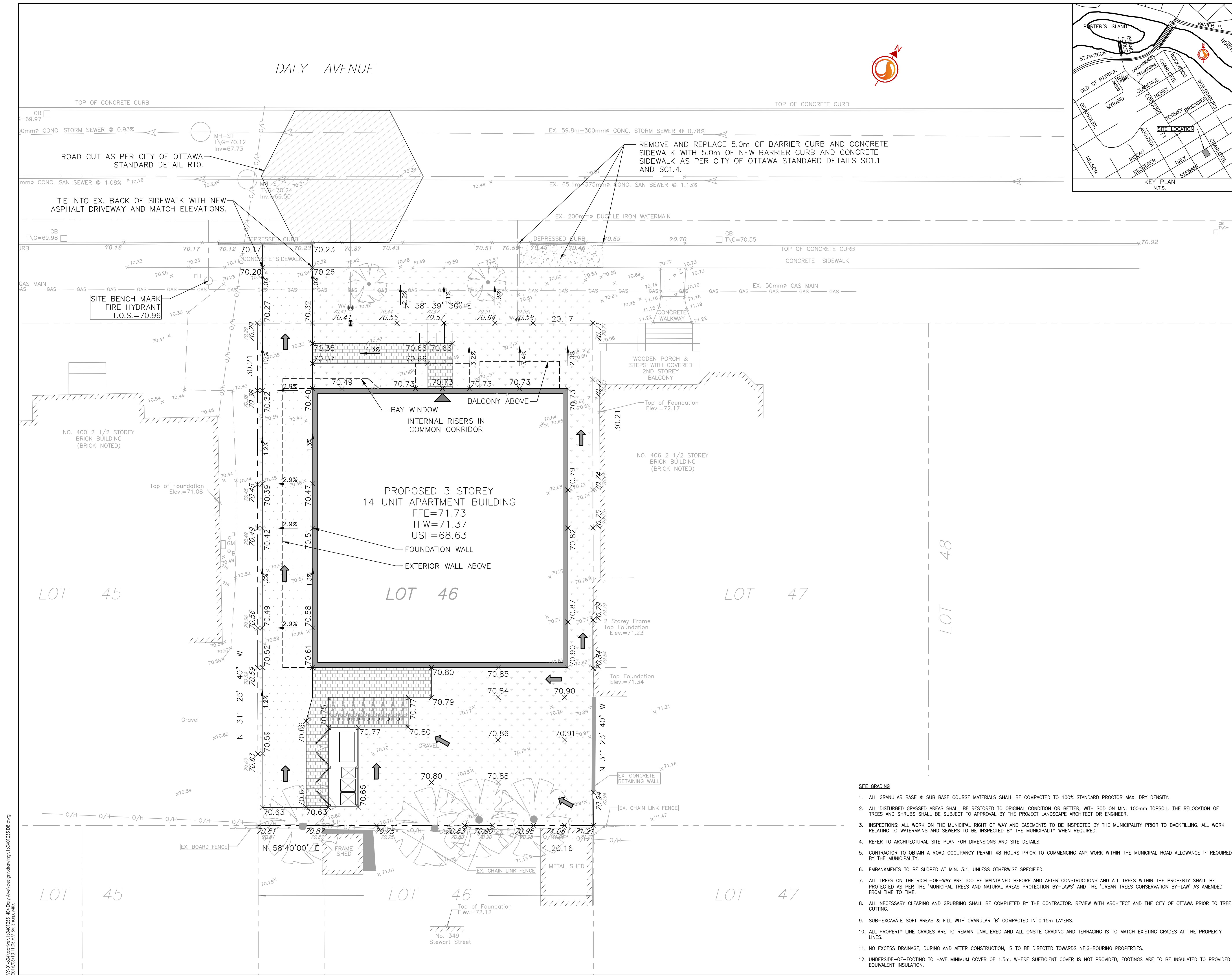
Sheet

Revision

SSP-1

2 of 4

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SITE GRADING

- ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAX. DRY DENSITY.
- ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
- INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
- REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
- CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
- EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
- ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTIONS AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS' AND THE 'URBAN TREES CONSERVATION BY-LAW' AS AMENDED FROM TIME TO TIME.
- ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
- SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
- ALL PROPERTY LINE GRADES ARE TO REMAIN UNALTERED AND ALL ONSITE GRADING AND TERRACING IS TO MATCH EXISTING GRADES AT THE PROPERTY LINES.
- NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
- UNDERSIDE-OF-FOOTING TO HAVE MINIMUM COVER OF 1.5m. WHERE SUFFICIENT COVER IS NOT PROVIDED, FOOTINGS ARE TO BE INSULATED TO PROVIDED EQUIVALENT INSULATION.