

EXISTING VEGETATION SCHEDULE				
SYM	Botanical Name / Common Name	Size	Health Condition	Remarks
A	Pinus strobus / White pine	3 x 35 cm DBH	Good	TO BE REMOVED to permit development.
B	Acer platanoides / Norway maple	30 cm DBH	Poor	TREE TO BE REMOVED due to poor health conditions.
C	Malus pumila / Common apple	2.5 m HT	Poor	TO BE REMOVED due to poor health conditions.
D	Malus pumila / Common apple	30 cm DBH	Poor	TREE TO BE REMOVED due to poor health conditions.
E	Acer saccharum / Sugar maple	10 cm DBH	Good	TO BE REMOVED for grading purposes.
F	Picea glauca / White spruce	1 x 15 cm; 1 x 20 cm DBH	Good	TO BE REMOVED for installation of septic pipes.
G	Acer saccharum / Sugar maple	30 cm DBH	Good	TO BE REMOVED for grading purposes and for installation of septic system.
H	Acer saccharum / Sugar maple	15 to 20 cm DBH	Good	PORTION OF VEGETATION GROUPING TO BE REMOVED for installation of septic system.
I	Acer saccharum / Sugar maple Prunus serotina / Black cherry	10 to 30 cm DBH	Good	PORTION OF VEGETATION GROUPING TO BE REMOVED for installation of septic system.
J	Picea glauca / White spruce	40 cm DBH	Good	TO BE REMOVED for installation of septic system and regrading.
K	Populus tremuloides / Trembling aspen Acer saccharum / Sugar maple Betula papyrifera / White birch	5 to 30 cm DBH	Good	PORTION OF VEGETATION GROUPING TO BE REMOVED for installation of septic system and re-grading requirements.
L	Picea glauca / White spruce	40 cm DBH	Good	Tree TO BE PRESERVED during construction.
M	Pinus strobus / White pine	60 cm DBH	Good	Tree TO BE PRESERVED during construction.
N	Populus tremuloides / Trembling aspen	25 to 30 cm DBH	Good	Stand of trees growing on the adjacent property (6775 Hazeldean Rd.). Grouping TO BE PRESERVED during construction.
O	Trees: Pinus strobus / White pine Picea glauca / White spruce Understorey: Acer rubrum / Red maple Ulmus americana / White elm Populus tremuloides / Trembling aspen	20 to 45 cm DBH; 5 to 15 cm DBH	Good	Stand of mature trees and saplings growing on property line and on the adjacent property (6775 Hazeldean Rd.). Grouping TO BE PRESERVED during construction.
P	Pinus strobus / White pine	35 cm DBH	Good	Tree growing on the adjacent property (6775 Hazeldean Rd.). Tree TO BE PRESERVED during construction.
Q	Pinus strobus / White pine	30 cm DBH	Good	Tree growing on the adjacent property (6775 Hazeldean Rd.). Tree TO BE PRESERVED during construction.
R	Salix spp. / Willow Ulmus americana / White elm Rhamnus frangula / Glossy buckthorn	2.0 m HT	Good	Grouping of shrubs growing on the front property line. Grouping TO BE REMOVED.
S	Salix spp. / Willow Ulmus americana / White elm	2.0 m HT	Good	Grouping of shrubs growing on the front property line. Grouping TO BE REMOVED.
T	Populus tremuloides / Trembling aspen	15 to 20 cm DBH	Good to dead	Stand of trees growing on property line and on the adjacent property (6809 Hazeldean Rd.). Grouping TO BE REMOVED to permit development.
U	Populus tremuloides / Trembling aspen	15 to 20 cm DBH	Dead	Stand of trees growing on property line and on the adjacent property. TREES TO BE REMOVED.

- ### LANDSCAPE NOTES
- REFER TO 'LOT GRADING, DRAINAGE, SEDIMENT & EROSION CONTROL PLAN' FOR PROPOSED GRADING.
 - REFER TO 'SITE SERVICING & UTILITY PLAN' FOR LOCATION AND DETAILS OF PROPOSED UNDERGROUND SERVICES.
 - EXISTING VEGETATED AREAS TO REMAIN, PRESERVED, AND PROTECTED SHALL BE CLEARED OF UNDESIRABLE VEGETATION. THE SELECTION OF ALL VEGETATION TO BE REMOVED SHALL BE COMPLETED BY A QUALIFIED ARBORIST AND APPROVED BY THE MUNICIPALITY FORESTRY SERVICES PRIOR TO REMOVAL. THE FOLLOWING UNDESIRABLE VEGETATION SHALL BE REMOVED:
 - ALL DEAD TREES;
 - ALL TREES IN POOR CONDITION OR SHOWING AN HAZARDOUS CONDITION;
 - ALL DECLINING ELMS; AND
 - ALL ASH TREES DUE TO THE FAST INFESTATION OF THE EMERALD ASH BORER. REMOVAL OF ASH TREES SHALL BE DONE USING SPECIAL MEASURES AS STATED BY THE MINISTRY OF NATURAL RESOURCES AND FORESTRY.
 - EXISTING VEGETATED AREAS ON ADJACENT PROPERTIES SHALL REMAIN AND BE PROTECTED BEFORE, DURING, AND AFTER CONSTRUCTION. REFER TO DETAIL 1/L200 FOR THE TEMPORARY TREE PROTECTION FENCE TO BE INSTALLED.
 - NO VEGETATION REMOVAL SHALL OCCUR BETWEEN MAY 1 AND JULY 15 OF ANY YEARS TO PROTECT BREEDING MIGRATORY BIRDS, AS WELL AS AT RISK BAT SPECIES. SHALL TREE REMOVAL DURING THIS PERIOD BY UNAVOIDABLE, THE CONTRACTOR IS REQUIRED TO CONDUCT A NESTING SURVEY BY A REGISTERED PROFESSIONAL AVIAN BIOLOGIST TO IDENTIFY AND ENSURE NO NESTING ACTIVITY ARE PRESENT. TREE REMOVAL WILL BE ALLOWED WITHIN FIVE (5) DAYS OF CONDUCTING THE SURVEY.
 - CONTRACTOR TO LOCATE AND STAKE ALL UTILITIES PRIOR TO ANY WORK ON THE SITE. DO NOT PLANT DIRECTLY ABOVE UNDERGROUND UTILITIES. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
 - NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES.
 - THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF TREES PRIOR TO PLANTING TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.
 - CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THESE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
 - DO NOT MAKE SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR TO MAKE GOOD TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT ANY AREAS DAMAGED BY THE WORK.
 - UPON THE COMPLETION OF WORK EACH DAY, REMOVE ALL DEBRIS, GARBAGE AND SURPLUS MATERIALS FROM THE SITE. KEEP THE SITE CLEAN AND USEABLE AT ALL TIMES.
 - ALL WORKMANSHIP AND MATERIALS (INCLUDING PLANTS) TO BE GUARANTEED FOR ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE PROJECT.
 - THE CONTRACTOR SHALL REMOVE ALL T-BAR AND WOODEN TREE STAKES PRIOR TO ASSUMPTION BY THE OWNER.
 - AT THE TIME OF INSPECTION FOR ACCEPTANCE ALL TREE PITS SHALL BE CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND DEBRIS.

- ### MITIGATION MEASURES FOR WORK WITHIN CRITICAL ROOT ZONE OF TREES
- ALL EXCAVATION WITHIN THE CRITICAL ROOT ZONE (CRZ) OF TREES SHALL BE BY HAND OR HYDRO EXCAVATION USING THE SMALLEST TOOLS POSSIBLE. IN THE EVENT THAT A TREE HAS ROOTS THAT WILL BE IMPACTED BY THE CONSTRUCTION OF TRENCHES, THE CONTRACTOR SHALL ONLY TUNNEL OR BORE WITHIN THE CRZ. THE ROOTS SHOULD ONLY BE CUT BY HAND WITH A SHARP SPADE OR KNIFE AT THE LIMIT OF DISTURBANCE PRIOR TO ANY CONSTRUCTION ACTIVITIES. THIS WILL ENSURE THE ROOTS ARE NOT DISTURBED MORE THAN NECESSARY. ANY ROOT PRUNING REQUIRES THE SERVICE OF A QUALIFIED ARBORIST OR QUALIFIED TREE WORKER UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.
 - ANY ROOTS THAT ARE EXPOSED MUST BE COVERED WITH NATIVE TOPSOIL IMMEDIATELY TO ENSURE THAT THE ROOTS DO NOT DRY OUT OR HAVE ANY FURTHER DAMAGE OCCUR TO THEM. ALL REMEDIAL WORKS MUST BE CONDUCTED BY A CERTIFIED CARE PROFESSIONAL TO ENSURE PROPER CARE IS ADMINISTERED IN ORDER TO ENABLE THE CONTINUED HEALTH OF THE TREES.

- ### SODDING / SEEDING SCHEDULE
- SOD SHALL BE KENTUCKY BLUEGRASS SOD INSTALLED OVER 135mm OF TOPSOIL. SOD SHALL BE INSTALLED THROUGHOUT WITHIN LIMIT OF WORK AND IN ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK. SOD SHALL BE AS PER OPSS 803.
 - SEED SHALL BE A LOW MAINTENANCE LAWN MIXTURE #7104 BY OSC SEEDS OR APPROVED EQUIVALENT. SEEDING SHALL BE INSTALLED MECHANICALLY WITH MULCH OVER 150mm OF TOPSOIL. SEED SHALL BE INSTALLED IN ALL DISTURBED AREAS AND AS PER OPSS 804. DISTURBED AREAS INCLUDE THOSE AREAS OUTSIDE THE PROPERTY.

LEGEND

	EXISTING CONIFEROUS TREE TO REMAIN		PROPOSED SHRUBS
	EXISTING VEGETATION GROUPING		PROPOSED VEGETATION ID
	EXISTING VEGETATION ID		T/SEED TOPSOIL AND SEED
	EXISTING TREE TO BE REMOVED		T/SOD TOPSOIL AND SOD
	EXISTING VEGETATION GROUPING TO BE REMOVED		CONCRETE SIDEWALK
	PROPOSED TREE PROTECTION FENCE REFER TO DETAIL 1/L100		DC DEPRESSED CURBS REFER TO GRADING PLAN
	PROPERTY LINE		OTHER PROPOSED COMPONENTS
			BUILDING ENTRANCE REFER TO SITE PLAN
			ARMOURSTONE RETAINING WALL
			PROPOSED HANDRAIL
			PROPOSED CHAIN LINK FENCE REFER TO SITE PLAN
			FUTURE DEVELOPMENT REFER TO SITE PLAN

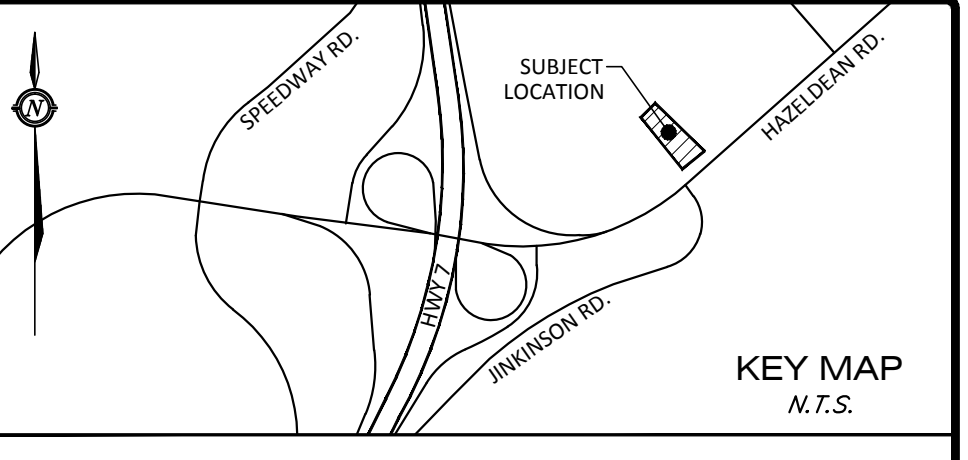
Plant Material List

SYM	Qty	Botanical Name	Common Name	Size	Remarks
DECIDUOUS SHRUBS - Refer to detail 2/L200					
CS	36	Cornus sericea 'Farrow'	Arctic Fire Dogwood	500 mm HT	Potted; Planted @ 1200 mm o/c; Plants to be mixed in with other plant species in same planting bed
PO	39	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	500 mm HT	Potted; Planted @ 1200 mm o/c; Plants to be mixed in with other plant species in same planting bed

SITE FEATURES

RETAINING WALL: TO BE THE TYPICAL ARMOURSTONE RETAINING WALL AS PER CITY OF OTTAWA STANDARD DETAIL L7 OR APPROVED EQUIVALENT.

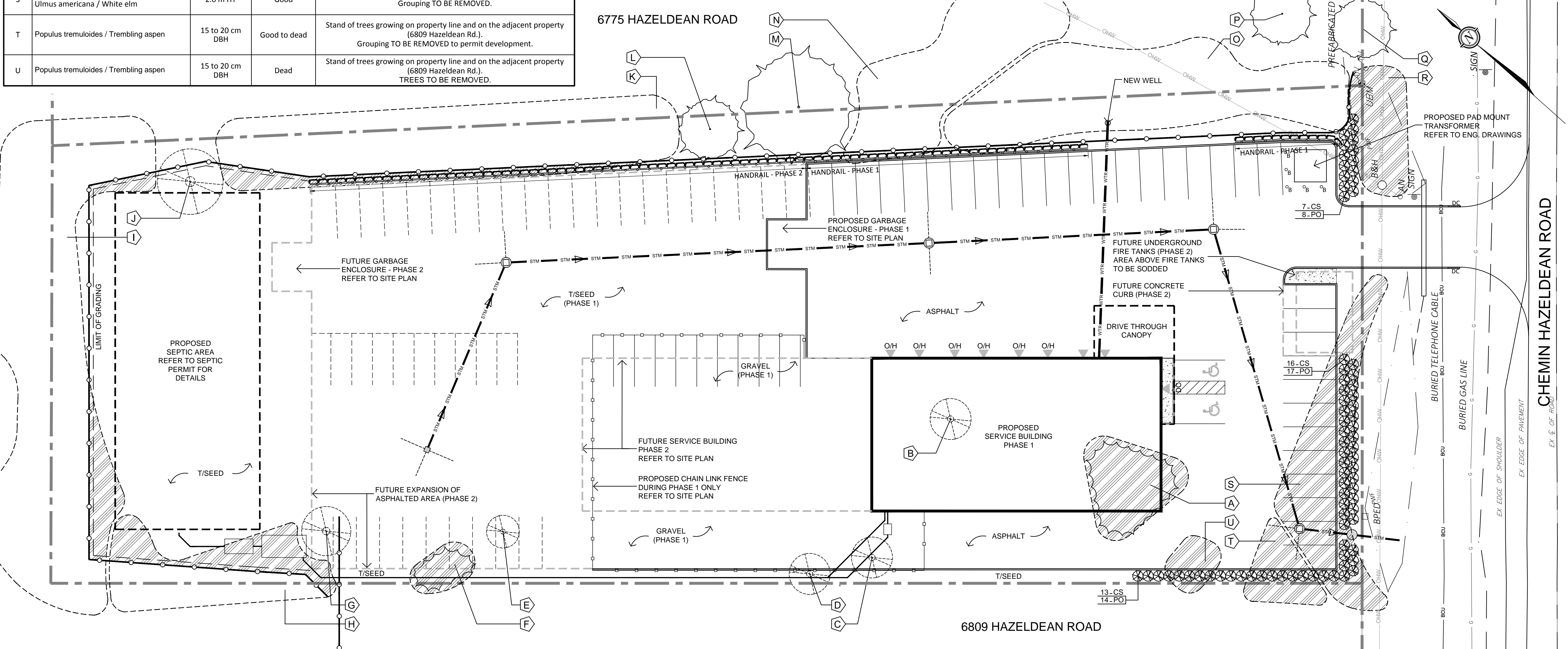
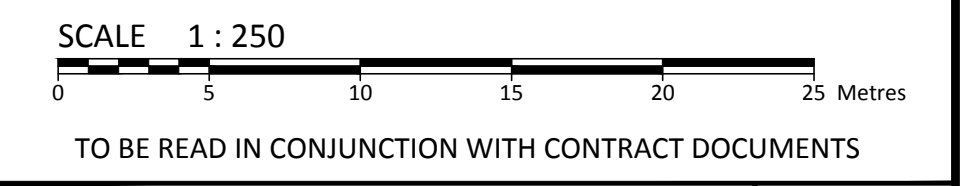
HANDRAIL: TO BE PIPE HANDRAILING AS PER CITY OF OTTAWA STANDARD DETAIL F1 OR APPROVED EQUIVALENT AND AS INDICATED ON ARMOURSTONE RETAINING WALL L7.



- ### GENERAL NOTES
- THIS DRAWING FORMS PART OF A SET AND MAY NOT BE SEPARATED. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, NOTES AND SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
 - THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT.
 - ANY AMBIGUITY IN THIS DRAWING OR ACCOMPANYING DETAILS IS TO BE REPORTED TO THE LANDSCAPE ARCHITECT FOR DIRECTION. DO NOT PROCEED IN UNCERTAINTY.
 - DRAWINGS NOT TO BE SCALED. USE FIGURE DIMENSIONS ONLY.

LEGAL DESCRIPTION

PART OF LOT 18, CONCESSION 12, GEOGRAPHIC TOWNSHIP OF GOULBOURN, CITY OF OTTAWA



No.	Revision/Issue	Date
01	ISSUED FOR SITE PLAN CONTROL APPLICATION	DEC/07/2015
00	ISSUED FOR DISCUSSION	JUL/28/2015

Check and verify all dimensions before proceeding with the work. Do not scale drawings.

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Stamp:

Client: **BEL-CON DESIGN-BUILDERS LTD.**
10 Dundas St. W. Belleville ON

Project: **6801 HAZELDEAN ROAD KANATA COLLISION PROPOSED NEW BUILDING**
STITTSVILLE ONTARIO

Drawing Title: **LANDSCAPE PLAN**

Scale: 1:250	Project Number: OCP-14-0428
Drawn by: ILL	Drawing Number: L100
Checked by: ILL	Date: JUL/27/2015
Designed by: ILL	SHEET 1 of 2

FILENAME: G:\306\6809-14-0428\Bel-Con_Kanata_Collision_6801_Hazeldean_Road\05_Landscape_Architecture\Design\Drawings\CAD\DWG\OCP-14-0428_LA_15-12-07.dwg
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