

SCALE
 0m 10 20 30 40
 SCALE 1: 400

KEY

| | | | |
|--|--|--|------------------------------|
| | PROPOSED BUILDING | | EDGE OF SIDEWALK |
| | PROPOSED BUILDING BELOW GRADE | | EXISTING CURBS TO BE REMOVED |
| | EXISTING BUILDINGS TO REMAIN | | PROPOSED FENCE |
| | FUTURE PHASE | | RESIDENTIAL ENTRANCE |
| | PROPERTY LINE | | COMMERCIAL ENTRANCE |
| | WORK AREA - PHASE 1 | | FIRE EXIT |
| | FIRE ROUTE | | FIRE HYDRANT |
| | EXISTING TREE TO BE REMOVED | | FIRE CONNECTION |
| | PROPOSED DEPRESSED CURB DETAIL TO CITY OF OTTAWA STANDARD SC-1 | | TRAFFIC SIGNAL |
| | EXISTING DEPRESSED CURB | | PROPOSED WALL MOUNTED LIGHT |
| | EXISTING UTILITY POLE | | PROPOSED RECESSED DOWN LIGHT |
| | | | FRPSD LANDSCAPE LIGHT |

SITE DATA

LEGAL DESCRIPTION:
 BLOCK 12, PLAN 4M-648
 CITY OF OTTAWA

CIVIL ADDRESS:
 2280 CITY PARK DRIVE

ZONING NOTES:
 OFFICIAL PLAN DESIGNATION: GENERAL URBAN AREA
 CURRENT ZONING: TD3[2084]; TD2[2084]; MC[1349]F(1.1)H(22)
 ADJACENT ZONING:
 SOUTH - R2N, O1P (ACROSS HIGHWAY)
 WEST - TD2[2087]
 NORTH - GM[1349]F(0.6)H(22), TD2[2082]
 EAST - MC[1333]F2.0 H(48)
 SCHEDULE 1: AREA B

Owner
 RIOCAN REIT
 2300 Yonge St. Suite 500, Toronto
 (416) 847-8001
 Attn: Stuart Craig

Architect/Agent
 BARRY J. HOBIN & ASSOC. ARCHITECTS INC.
 63 Pamela Street, Ottawa
 (613) 238-7200
 Attn: Doug van den Ham

Geotechnical
 GOLDER ASSOCIATES LTD
 1931 Robertson Road, Ottawa
 (613) 592-9600
 Attn:

Civil
 IBI GROUP
 400-333 Preston Street, Ottawa
 (613) 225-1311
 Attn: Terry Brule

Structural
 CUNIFFE & ASSOCIATES
 1137 Woodward Dr. Suite 102
 (613) 729-7242
 Attn: Rick Cuniffe

Mechanical/Electrical
 COMPANY
 Address
 (xxx) xxx-xxxx
 Attn: Name Name

Surveyor
 STANTEC GEOMATICS
 1531 Clyde Ave Unit 400, Ottawa
 (613) 722-4420
 Attn:

SURVEY DATA

BOUNDARY INFORMATION FROM STANTEC SURVEY 'TOPOGRAPHIC SKETCH - 161613356-311' AUGUST 13, 2015

PLEASE REFER TO LANDSCAPE PLAN FOR PAVING, PLANTING, AND SITE LIGHTING INFO.
 PLEASE REFER TO SITE SERVICING AND GRADING PLAN FOR GRADING INFORMATION

ZONING DATA

PHASE 1 ZONING TABLE

| Current Zoning (Tower A) | TD3[2084] | | |
|------------------------------------|---------------------|--|--|
| Phase 1 Site Area | 5,400m ² | | |
| Phase 1 Retail Area (retained) | 2,907m ² | | |
| Phase 1 Restaurant Area (retained) | 430m ² | | |
| Phase 1 Dwelling Units (Tower A) | 220 dwelling units | | |

| | REQUIRED | PROVIDED |
|---|---|--|
| Lot Area | No minimum | 5,400m ² |
| Lot Frontage | No minimum | 137.15m |
| Setbacks | Front (City Park): 3m Side (East + West): 0m Under 6 storeys: 12m Over 6 storeys: 12m Rear (Transit Corridor): 2m | Front: 88.1m Side: 13.4m West: 116.8m Rear: 22.1m |
| Building Height | Minimum: 6.7m (2 storeys) Maximum: 90m | 72m |
| Amenity Area 6m ² per unit of which 50% is required to be communal | Total: 1,320m ² Communal: 660m ² | Total: 1410m ² Private Balconies/Terraces: 660m ² Total Communal: 2070m ² |
| Parking | Minimum Required: 211 spaces Residential: 55 spaces Residential Visitor: 42 spaces Retail (existing): 73 spaces Restaurant (existing): 41 spaces Maximum Permitted: 501 spaces Residential + Visitor: 385 spaces Retail (existing): 116 spaces | Total Parking: 371 spaces Total Proposed: 97 spaces Residential Visitor: 42 spaces Total Retained: 274 spaces Retail: 116 spaces Restaurant: 158 spaces |
| Bicycle Parking | Total Requirement: 124 spaces Residential: 110 spaces Retail: 12 spaces Restaurant: 2 spaces | Total Bicycle Parking: 110 spaces Total Proposed: 110 spaces Residential: 110 spaces Total Retained: 14 spaces Retail: 12 spaces Restaurant: 2 spaces |
| Minimum Density | 350 units/hectare | 407 units/hectare |
| Required Communal Outdoor Space | For lots greater than 1,250m ² , 2% of the total lot area at grade. | 572 m ² |

| no. | date | revision |
|-----|----------|---------------------------------|
| 10 | 16/05/31 | ISSUED FOR SITEPLAN APPLICATION |
| 09 | 16/05/05 | ISSUED FOR COORDINATION |
| 08 | 16/04/19 | ISSUED FOR COORDINATION |
| 07 | 16/01/19 | REVISED FOR UORP REVIEW |
| 06 | 15/11/26 | ISSUED FOR SITEPLAN APPLICATION |
| 05 | 15/11/13 | ISSUED FOR COORDINATION |
| 04 | 15/11/10 | ISSUED FOR COORDINATION |
| 03 | 15/09/29 | ISSUED FOR INFORMATION |
| 02 | 15/09/01 | ISSUED FOR INFORMATION |
| 01 | 15/09/09 | ISSUED FOR INFORMATION |

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.
 This drawing may not be used for construction until signed.

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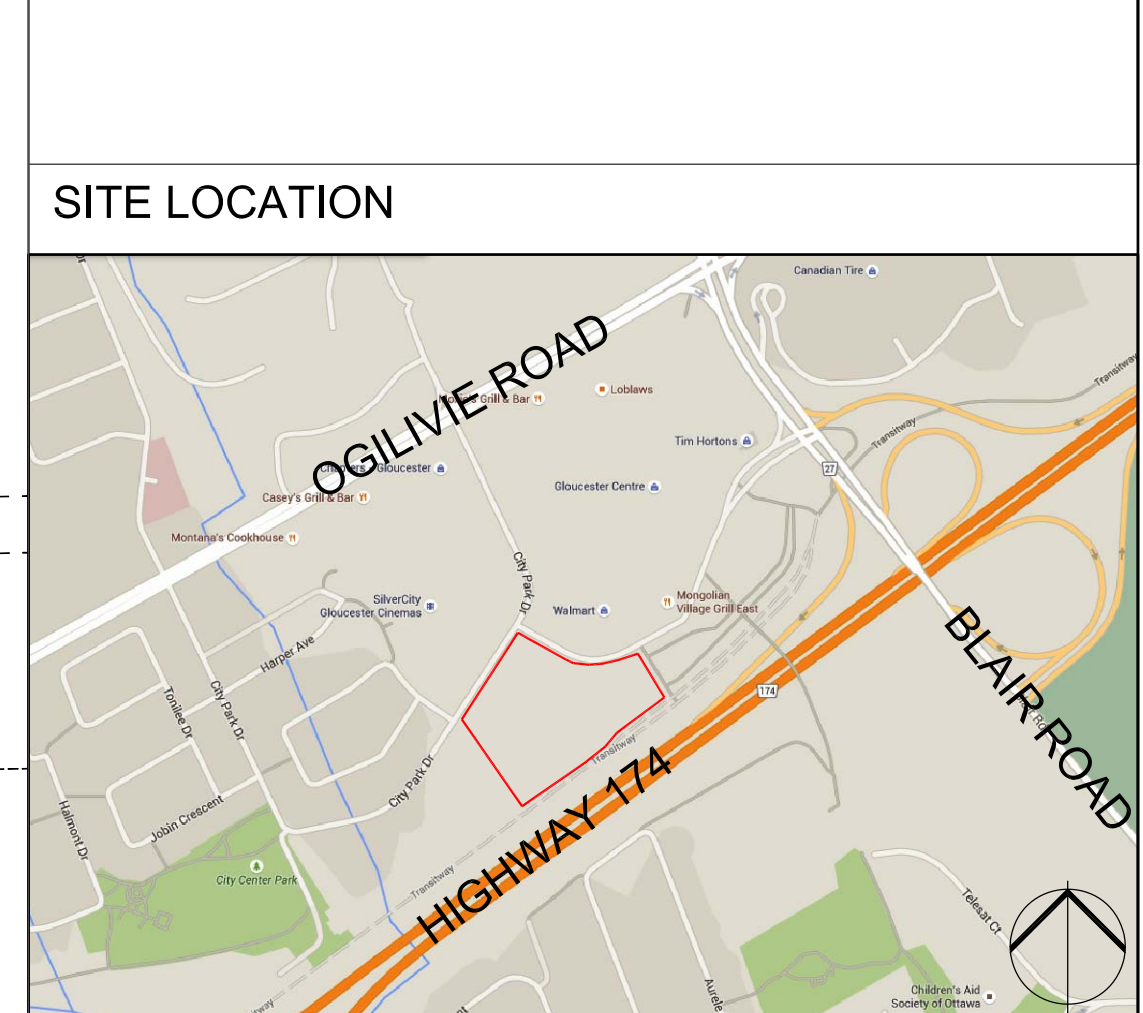
SCALES NOTED ON DRAWINGS ARE BASED ON FULL SIZE PLOTS OF 24" X 36" SHEET SIZE

ONTARIO ASSOCIATION OF ARCHITECTS
 BARRY J. HOBIN
 LICENCE 3049

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RIOCAN

CITY PARK REDEVELOPMENT PHASE 1
 2280 CITY PARK DRIVE, OTTAWA

drawing title
SITEPLAN PHASE 1

| | | |
|-------------|-----------------|-------------------|
| drawn DV | date SEPT 2015 | scale 1:400 |
| north arrow | project 0015.23 | drawing no. A1.00 |
| | | revision no. |