

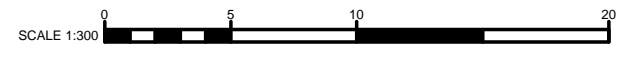
plot scale 1:1



COMMERCIAL RETAIL BUILDING (CRB)	
Single Storey Retail Building Non-Combustible Construction	
BUILDING AREA (FOOTPRINT)	= 598 m <sup>2</sup>
PROPOSED BASEMENT	= 202 m <sup>2</sup>
<b>GROSS FLOOR AREA</b>	<b>= 800 m<sup>2</sup></b>

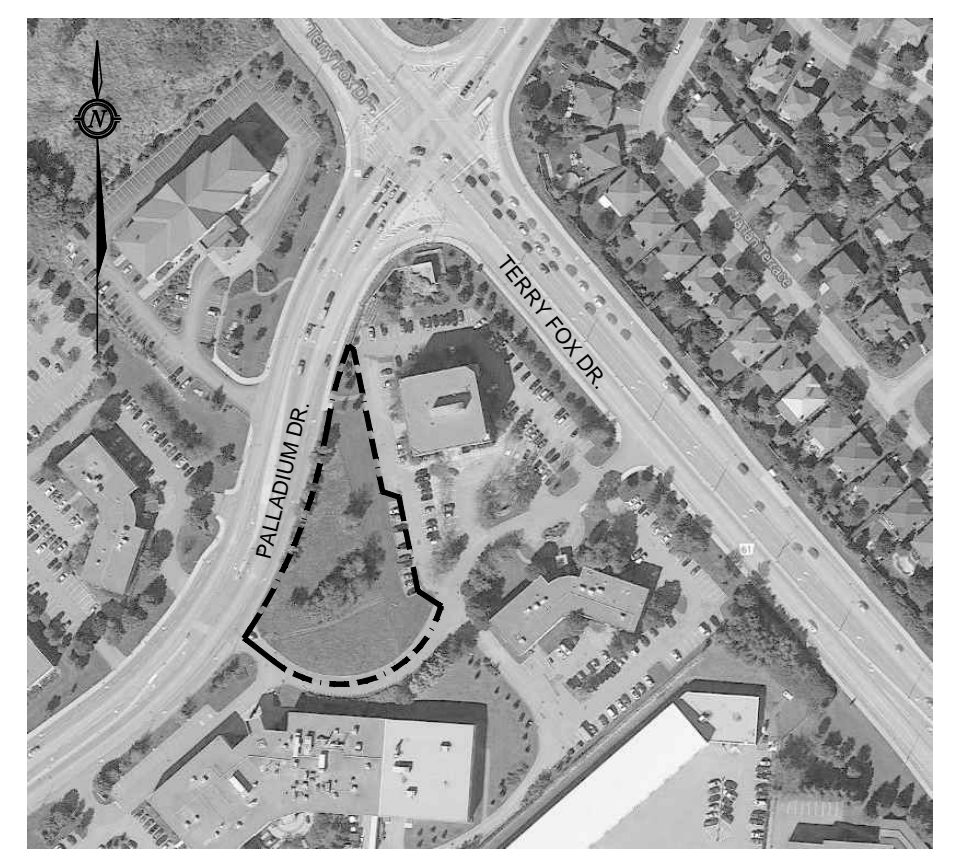
1 SITE PLAN

SCALE 1 : 300



**SITE LEGEND**

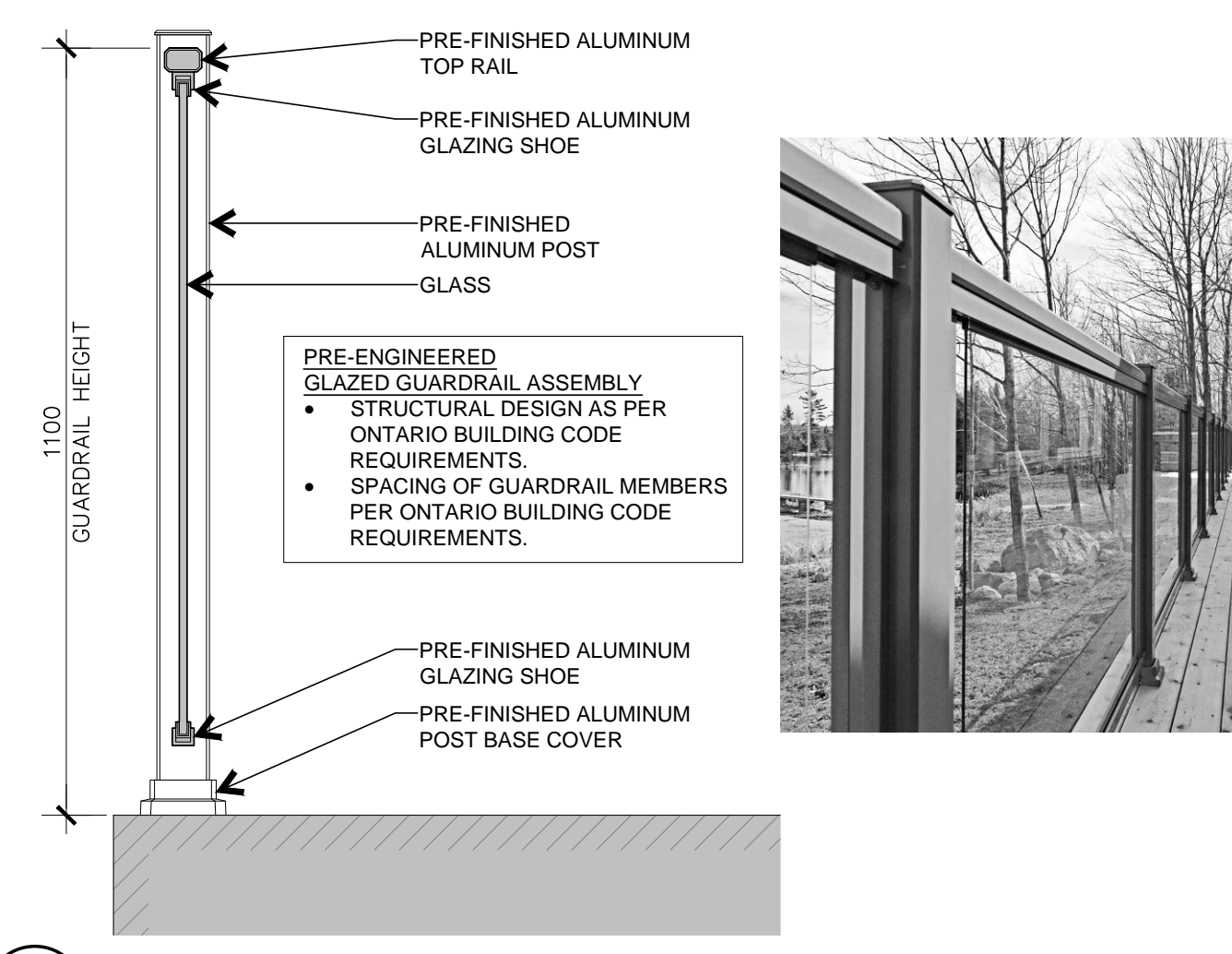
- INDICATES LOT LINE (SITE BOUNDARY LINE)
- DC NEW DEPRESSED CURB REFER TO CIVIL DWG SSG-1.
- NEW RETAINING WALL REFER TO CIVIL DWG SSG-1.
- NEW RETAINING WALL W/ PAINTED METAL GUARD. REFER TO CIVIL DWG SSG-1.
- NEW CONCRETE CURB. REFER TO CIVIL DWG SSG-1.
- NEW UNIT PAVERS
- NEW SLAB ON GRADE CONCRETE PAD.
- NEW CONCRETE SIDE WALK
- NEW SODDED AREA - REFER TO LANDSCAPE DWG. L1
- NEW LOW SHRUB LANDSCAPED AREA. REFER TO LANDSCAPE DWG. L1
- NEW RIVER WASH STONE BED. REFER TO LANDSCAPE DWG L1
- NEW ASPHALT
- DENOTES NEW BUILDING AREA
- DENOTES NEW BUILDING BASEMENT AREA
- DENOTES DESIGNATED SNOW REMOVAL ZONE
- 1700MM X 1700MM FLAT AREA # PEDESTRIAN ENTRANCE
- INDICATES CORNER SIGHT TRIANGLE
- NEW LOADING DOCK/GARABAGE SCREEN
- HC HANDI-CAP PARKING SIGN
- SN SIGN
- LS (EXISTING) STREET LIGHT STANDARD
- LS (EXISTING) LIGHT STANDARD
- LSN (NEW) LIGHT STANDARD
- LW (NEW) LIGHT WALL-MOUNT
- BOLLARD
- EXISTING GRADE. REFER TO SURVEY.
- NEW BIKE RACK LOCATION.
- RWL NEW RAIN WATER LEADER REFER TO CIVIL DWG SSG-1.
- CB (EXISTING) CATCH BASIN REFER TO CIVIL DWG SSG-1.
- CB NEW CATCH BASIN LOCATION REFER TO CIVIL DWG SSG-1.
- ST NEW STORM DRAIN LOCATION REFER TO CIVIL DWG SSG-1.
- WV (EXISTING) WATER SERVICE REFER TO CIVIL DWG SSG-1.
- MAIN BUILDING PEDESTRIAN ENTRANCE.
- SECONDARY PEDESTRIAN BUILDING ENTRANCE/S.
- TRAFFIC DIRECTION ARROW.
- LZ LOADING ZONE.
- INDICATES EXISTING TREES TO BE REMOVED REFER TO LANDSCAPE DWG L1.
- INDICATES EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED. REFER TO LANDSCAPE DWG L1.
- INDICATES NEW TREE LOCATION. REFER TO LANDSCAPE DWG L1.
- AREA OF REMEDIATION WORK TO SAW CUT & REMOVE EXISTING ASPHALT AND CONCRETE CURBING AND REPLACE WITH NEW ASPHALT AND CONCRETE CURBING TO SUIT NEW LAYOUT.



LOCATION MAP N.T.S.

**CONSTRUCTION NOTES**

1. EXISTING CONCRETE CURB TO REMAIN.
2. EXISTING RETAINING WALL TO REMAIN.
3. EXISTING SOD/GRASS AREA TO REMAIN.
4. EXISTING ASPHALT TO REMAIN.
5. EXISTING TREES TO REMAIN. REFER TO LANDSCAPE DWG. L1.
6. PRE-ENGINEERED GLAZED GUARDRAIL. REFER TO DETAIL 2 / A400.
7. REMOVE EXISTING CONCRETE CURBING & REPLACE W/ NEW CURBING AS INDICATED. REFER TO CIVIL DWG. SSG-1.
8. SAW CUT AND REMOVE EXISTING ASPHALT PAVING & REPLACE W/ NEW ASPHALT PAVING AS INDICATED. REFER TO CIVIL DWG. SSG-1
9. TREES TO BE REMOVED. REFER TO LANDSCAPE PLAN.
10. NEW GARBAGE AND LOADING ZONE AREA.
11. NEW STONE CLAD RETAINING WALL.
12. LINE OF NEW CANOPY ABOVE.
13. LINE OF TRELLIS ABOVE.
14. NEW LINE PARKING LOT PAINTING.
15. NEW BIKE RACK LOCATION.
16. CENTER LINE OF STREET.
17. APPROXIMATE LOCATION OF EXCAVATION TRENCHING AND BACKFILLING FOR SERVICE WATER SUPPLY AND SANITARY CONNECTIONS TO STREET. ROAD CUTTING AND TRENCHING TO BE COORDINATED WITH THE CITY OF OTTAWA AND CIVIL ENGINEER. CITY OF OTTAWA TO PROVIDE CONNECTION TO SERVICE MAIN. REFER TO CIVIL DWG. SGG-1.
18. REMOVE EXISTING ASPHALT SIDE WALK.
19. APPROXIMATE LOCATION OF INTERNAL GARBAGE ROOM.
20. APPROXIMATE LOCATION OF 2500 x 2500mm CONCRETE PAD FOR TRANSFORMER COMPLETE WITH PROTECTIVE BOLLARDS.



2 EXTERIOR GUARDRAIL SCALE 1 : 10

**NOTES:**

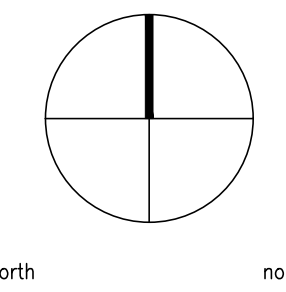
Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

**PROJECT DATA**

1. LEGAL DESCRIPTION  
PART OF LOT 1  
CONCESSION 2  
GEOGRAPHIC TOWNSHIP OF MARCH  
now  
CITY OF OTTAWA
1. COMMON ADDRESS  
MUNICIPALITY: OTTAWA  
MUNICIPAL ADDRESS: 301 PALLADIUM DR.  
REGISTERED OWNER: MEGHA HOLDINGS INC  
MOANA REALTY LTD.
2. SURVEY INFORMATION  
SURVEY INFORMATION PREPARED BY:  
FAIRHALL MOFFAT WOODLAND LTD.  
100-600 TERRY FOX DRIVE, KANATA, ONTARIO  
24 OCTOBER, 2011

3. PARKING REQUIREMENTS		REQUIRED	PROVIDED
PARKING SPACES	NEW COMMERCIAL	5.0 PER 100M <sup>2</sup>	67 TO 70
BUILDING			67
BICYCLE PARKING	1 PER 250 M <sup>2</sup>	3	1 RACK (5 TO 6 SPACES)
LOADING SPACE (3.5M X 7.0M)		1	1
PARKING FOR PHYSICALLY DISABLED (BY-LAW 2003-530)			
20-99 PARKING SPACES		1	1

no.	revision	date
2	SITE PLAN CONTROL	31 MAR 2016
1	SITE PLAN CONTROL	30 OCT 2015



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detail no.	1	detail no.
sheet no.	A1	feuille no.

CITANT PALLADIUM DRIVE  
NEW BUILDING  
301 PALLADIUM DR.  
OTTAWA, ONTARIO

designed by comp. par	RW	approved by approved par	RW
drawn by dessiné par	CD	project no. no. de projet	1523
date	09 03 2015	scale	as noted

drawing / dessin

**SITE PLAN**