

June 23, 2016

Erin O'Connell  
Planning and Growth Management Department  
City of Ottawa  
110 Laurier Avenue West  
K1P 1J1

**Attention: Erin O'Connell, Planner II**

Dear Ms. O'Connell:

**Reference: Greystone Village (175 Main Street)  
Site Plan Control Application for Block 45  
Our File No.: 114025**

---

Please consider this letter as an addendum to the Planning Rationale dated August 7, 2015, prepared in support of the Site Plan Application for the 'Terraces at Greystone' development.

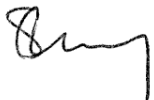
The purpose of this letter is to acknowledge the increase in proposed units from 97 residential units to 102 residential units for each phase of the proposed development. A total of 204 residential units are proposed for the two (2) nine- storey buildings to be located on Block 45, as shown on the Plan of Subdivision.

The increase of five (5) units per phase has not altered the footprint, setbacks or height of the proposed building. The discussion and summary of the Planning Rationale (August 2015) are still applicable.

Should you have any questions, please do not hesitate to contact either Murray Chown, or myself.

Yours truly,

**NOVATECH**



Samantha Lahey, MCIP, RPP  
Planner