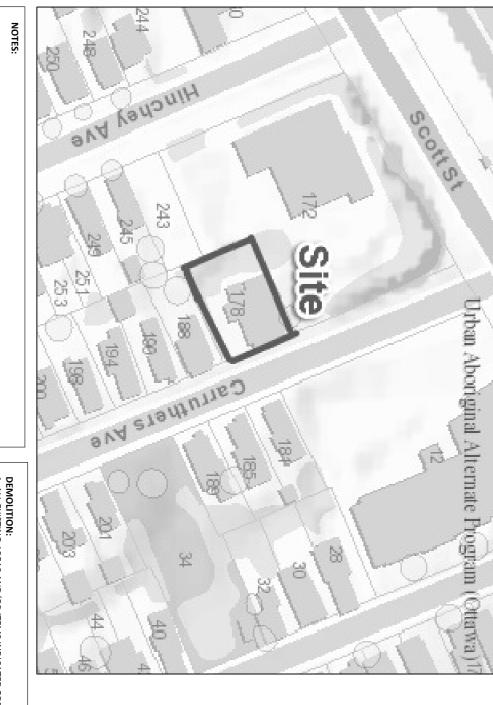
A A A PLAN





GENERAL 1. DO NOT SCALE THIS . IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL IMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE LANDSCAPE RCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR MUST OBTAIN AND COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. ALL PRITING THE RESPONSIBILITY OF THE CONTRACTOR. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE LANDSCAPE CHITECT. I'HIS DRAWING IS TO BE READ IN CON AWINGS.

3. TREES AND SHRUBS INDICATED TO BE REMOVED ARE ALSO TO BE GRUBBED OUT, INCLUDING STUMPS AND ROOTS, TO A MINIMUM OF 400 MM BELOW GRADE.
4. ALL AREAS, ITEMS OR STRUCTURES DESIGNATED FOR RETENTION ON SITE ARE TO BE REINSTATED, REPLACED OR REPAIRED

AT THE LANDSCAPE ARCHITECT'S OPTION AND TO THE LANDSCAPE ARCHITECT'S SATISFACTION SHOULD THESE BE DAMAGED OR DISTURBED DURING CONSTRUCTION.

2. DEMOLITION RUBBLE OR RUBBISH IS TO BE REMOVED FROM SITE. BACKFILLING OF RUBBLE WILL NOT BE ACCEPTED. ITEMS TO BE REMOVED INCLUDE ASSOCIATED WIRING, PIPING, FOOTINGS, AND GRANULAR SUBGRADES UNLESS INDICATED ON THE DRAWINGS AS ITEMS TO BE RETAINED.

. ARE TO BE

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12.27

CARRUTHERS PIN

STREET 04094

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6. COPYRIGHT RESERVED.THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THAKAR ASSOCIATES DESIGN CONSULTANTS AND SHALL NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT. GRAPHIC SYMBOLS, DETAILS AND FORMATS USED ON THIS DRAWING ARE COPY-RIGHTED AND MAY NOT BE COPIED, ADAPTED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF THAKAR ASSOCIATES. 7. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT BY PHONE AND FAX AT LEAST 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF DEMOLITION WORK, REMOVAL OF EXISTING VEGETATION AND THE START OF NEW CONSTRUCTION. INGS PROVIDED BY TITO JURADO. 2. ALL DECIDUO STREETSCAPE TREES EXCEPT CONIFERS ARE TO BE LOCATED W BOULEVARD AT AMINIMUM DISTANCE OF 7.5M FROM THE BUILDING. PLANTING/SODDING

I. THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDER-GROUND UTILITIES PRIOR TO COMMENCING WORK. PLANTING WHICH CONFLICTS WITH UNDERGROUND UTILITIES IS TO BE RECOCATED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT. . NO PLANT MATERIALS SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE ANDSCAPE ARCHITECT.

ALL PLANT MATERIAL IS TO BE NURSERY GROWN STOCK, AND SHALL MEET OR EXCEED THE PECIFICATIONS OF THE CANADIAN NURSERY TRADES ASSOCIATION (2003) FOR SIZE, HEIGHT, SPREAD, RADE AND METHOD OF CULTIVATION.

2. ALL HORIZONTAL DIMENSIONS ARE SHOWN IN METRES AND MILLIMETRES.
3. PREMANUFACTURED ITEMS TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
4. ALL FENCING IS TO BE INSTALLED 0.3M INSIDE PRIVATE PROPERTY PARALLEL TO THE PROPERTY LINE UNLESS OTHERWISE INDICATED. SITE LAYOUT: 1. CONTRACTOR TO STAKE OUT SITE ELEMENTS AND OBTAIN APPR ARCHITECT BEFORE COMMENCING WORK. OVAL OF LA 6. SODDING AND SEEDING TO BE INSTALLED ON MINI RESPECTIVELY OF PREPARED IMPORTED TOPSOIL. 7. ALL SHRUBS TO BE INSTALLED IN BEDS (EXCEPT ON SLOPES) WITH MINIMUM DEPTH OF 500 MM AND MULCHED WITH 75 MM MINIMUM LAYER OF SHREDDED PINE BARK MULCH UNLESS OTHERW \$PECIFIED. MPORTED PREPARED TOPSOIL, OR STOCKPILED TOPSOIL ON SITE, SUBJECT TO LANDSCAPE \RCHITECT'S APPROVAL. ALL EXCAVATED MATERIAL FROM PLANTING PITS TO BE REMOVED FROM SITE. BACKFILL PLANTING ISTALLATIONS WITH

NUM 135 MM AND 150 MM DEEP LAYERS

04094

0132

Proposed: Apartment Dwelling-Low Rise Consisting of Twenty One Units

27.53m

18

SURFACE FINISHES

1.1. ARRANGEMENT AND SPACING OF PLANT MATERIAL ON SITE TO BE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND AESTHETIC CRITERIA. CONTRACTOR TO ENSURE THAT SPACING AND SOITIONING OF PLANTS ARE OPTIMIZED FOR BEST VISUAL DISPLAY, AND OUTLINES OF SHRUB BEDS AND OTHER AREAS ARE SMOOTH, UNIFORM AND SENSITIVE TO THE DESIGNINTENT. 10. ALL PLANT MATERIAL AND GRASS AREAS INSTALLED UNDER THIS CONTRACT SHALL BE WATERED, WEEDED AND MAINTAINED BY THE CONTRACTOR UNTIL WRITTEN ACCEPTANCE OF THE WORK BY THE ANDSCAPE ARCHITECT.

HP 28 Hydrangea paniculata PeeGee Hydrangea 80 cm ht Potted

NOTES:

I. BEFORE INSTALLING, ESTABLISH CORRECT LOCATIONS OF EXISTING VEGETATION AND FENCING ON SITE BY CHECKING LOCATIONS OF ACCESS EASEMENTS AND OTHER MINIMUM CLEARANCES, REFER TO THE SITE PLAN, SURVEY PLAN AND ENGINEERING DRAWINGS PREPARED BY OTHERS.

LOT

184

LO7

183

LOT

182

LOT

181

LOT

180

291

SHRUB PLANTING

0131

D GRADE AT BASE OF SHIND AN SAME RELATIONSHIP AS AL GRADE AT NURSERY, ALLO TILING OF TOP SOIL

PLAN

REGISTERED

PIN OTTA WA

HYDRO

04094 HINCEY

TRANSF

RMER

STA TION

0132

nge Shr (5HP)

21.04m 23**.**42,30" W

SOD ALL TREES TO BE STAKED ACCORDING TO THE STANDARDS INDICATED ON THE PLANTING DETAILS.
ALL AREAS DISTURBED DURING CONSTRUCTION, BEYOND THE PROJECT LIMITS, ARE TO BE
INSTATED TO ORIGINAL CONDITIONS AT NO ADDITIONAL EXPENSE.

PIN

N 66'46'20" E

N 64°53'40" È

LOT

.90

e Hydrange (5HP)

TREE

 $\langle SD \rangle$

LEGEND

PROPOSED ENTRANCE

 $\langle S_2 \rangle$

CONCRETE SLAB

 $\langle S_1 \rangle$

PAVERS

Existing Tree

EXISTING FENCE LINE (see note 2)

 \odot Proposed shrub

proceeding.

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NOTE

Written dimensions shall govern where they differ from scaled measurements. The Architect accept no responsibility for measurements scaled from the drawings.

4

 \mathcal{O}

2. Fence is approximately in same location as property line but has been shown inside property line for clarity SURVEYOR: ANNIS, O'SULLIVAN, VOLLEBEKK LTD Ν \mathcal{G}

Description

REVISIONS

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UES

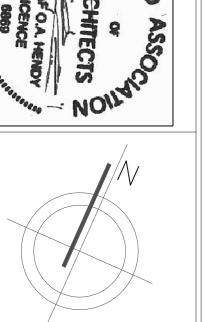
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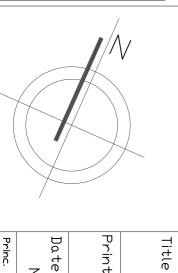
o this document. It shall circulated for any other

ISSUED FOR CLIENT REVIEW Nov-JULY--01,14

OWNER:

178 CARRUTHERS AVE. OTTAWA, ONTARIO ONTAR





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LAND

SCAPE

PLAN

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Email: goldenrock@gmail.com NC. PROJECT:

178 CARRUTHERS PROPERTIES OTTAWA, ONTARIO NC.

RCHITECTS

