

SITE INFORMATION :

SITE AREA :	3,377.37m ² (36,353 sq.ft.)
ZONE :	R1 M
PLANNED UNIT DEVELOPMENT TOWNHOMES/ BACK TO BACK	

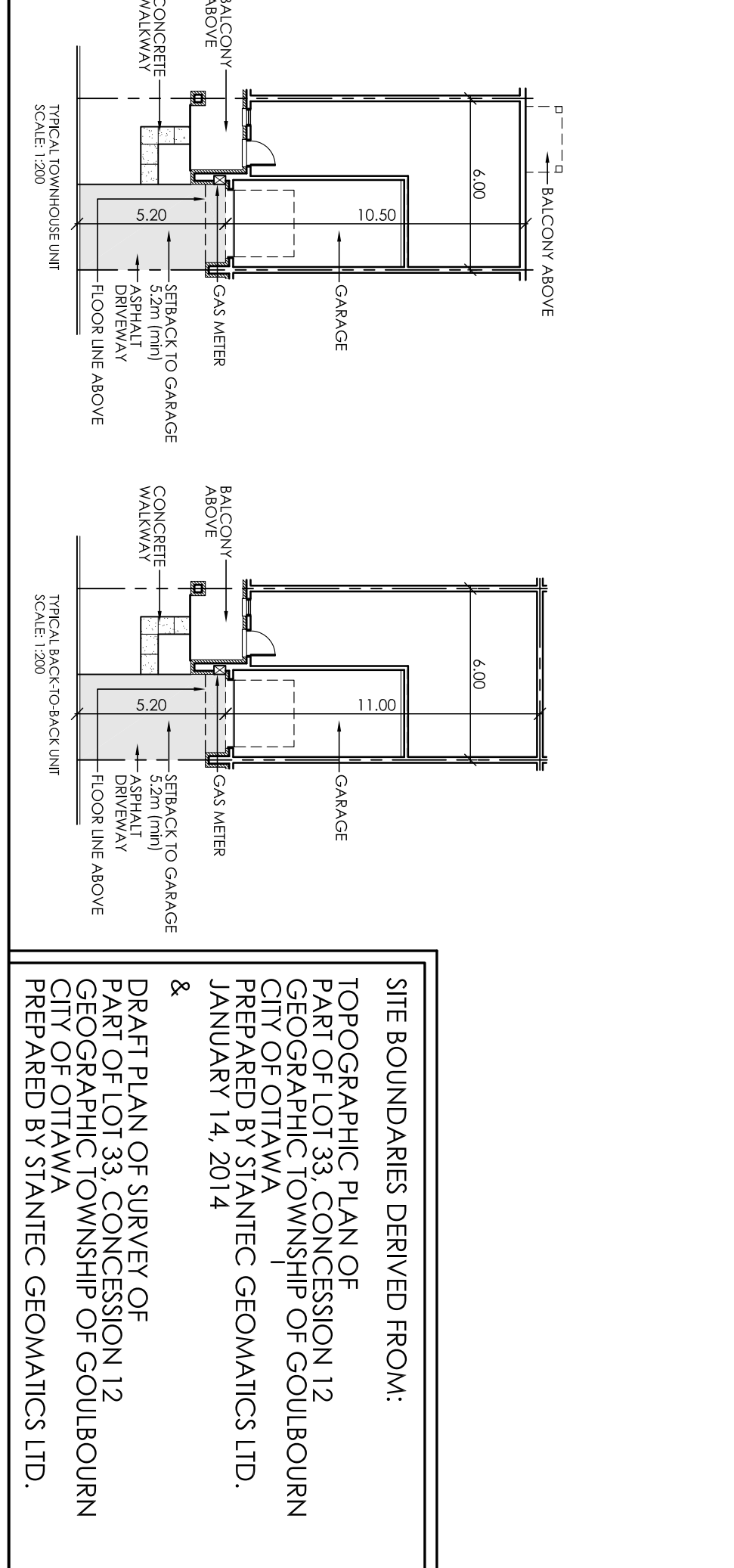
REQUIRED	PROVIDED
MIN. LOT WIDTH - 15m	6.00m (DWELLING UNIT)
MIN. LOT AREA - 450.00m ²	97.20m ² (BACK/BACK UNIT)
MAX. BUILDING HEIGHT - 11.00m	x xxm
MIN. FRONT YARD - 4.50m	3.0m
MIN. REAR YARD - 7.50m	2.89m
MIN. INTERIOR SIDE YARD - 1.00m	2.06m
MIN. CORNER SIDE YARD -	4.5m

BUILDING AREA :	BLOCK 1 - 1237m ² (13,315 sq.ft.)
	BLOCK 2 - 297m ² (3,197 sq.ft.)
TOTAL AREA -	1,534m ² (16,512 sq.ft.)

COVERAGE :	45.40%
FLOOR AREA :	BLOCK 1 - 1st, 2nd & 3rd FLOOR RESIDENTIAL - XXXm ² (X,XXX sq.ft.)
	BLOCK 2 - 1st, 2nd & 3rd FLOOR RESIDENTIAL - XXXm ² (X,XXX sq.ft.)
TOTAL FLOOR AREA:	6,960m ² (7,476 sq.ft.)
TOTAL DWELLING UNITS:	25 UNITS

PARKING REQUIRED :	10 SPACE / DWELLING UNIT (25) =	25 SPACES
TOTAL PARKING REQUIRED :	0.20 SPACES / DWELLING UNIT VISITOR =	5 SPACES
		30 SPACES
PARKING PROVIDED :	SURFACE -	25 SPACES
	GARAGE -	25 SPACES
TOTAL PARKING PROVIDED :		50 SPACES

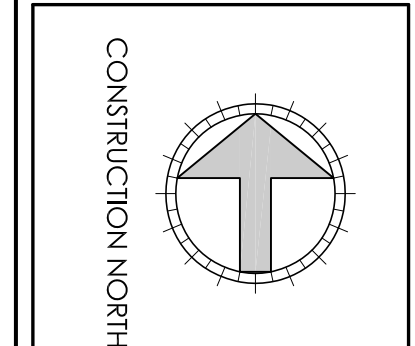
NOTE: SITE PLAN TO READ IN CONJUNCTION WITH SITE SERVICING & GRADING PLANS PREPARED BY STANTEC CONSULTING LTD. AND LANDSCAPE PLAN PREPARED BY STANTEC CONSULTING LTD.



SITE BOUNDARIES DERIVED FROM:
 TOPOGRAPHIC PLAN OF PART OF LOT 33 CONCESSION 12 GEOGRAPHIC TOWNSHIP OF GOULBOURN CITY OF OTTAWA PREPARED BY STANTEC GEOMATICS LTD. JANUARY 14, 2014
 DRAFT PLAN OF SURVEY OF PART OF LOT 33 CONCESSION 12 GEOGRAPHIC TOWNSHIP OF GOULBOURN CITY OF OTTAWA PREPARED BY STANTEC GEOMATICS LTD.

M. David Blakely
 Architect Inc.
 1100 GARDEN ROAD, SUITE 2, WILLOWDALE, ONTARIO M2H 2E9
 Phone: (416) 226-4811 Fax: (416) 226-7942

GENERAL NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC. PRIOR TO COMMENCEMENT OF WORK.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, REGULATIONS AND BY-LAWS.
 3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSURE THE PROPER EXECUTION OF WORK. SUCH DRAWINGS SHALL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
 4. DO NOT SCALE DRAWINGS.
 5. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
 6. THIS NOTIFICATION SHALL NOT BE ALTERED.



NO.	DATE	DESCRIPTION	INT.
10			
9	18/03/14	PER STANTEC FOR S.P. CONTROL	MB
8	13/03/14	PHOTO METER LOCATIONS ADDED	MB
7	12/03/14	REV. PER TOP/OJ SURVEY	MB
6	28/01/14	FOR REVIEW	MB
5	28/01/14	REV. PER TOP/OJ SURVEY	MB
4	14/01/14	5 UNIT ADD	MB
3	13/11/13	5 UNIT ADD	MB
2	12/11/13	COLOUR ADDED	MB
1	30/10/13	FOR REVIEW	MB

NO.	DATE	DESCRIPTION	INT.
20			
19			
18			
17			
16			
15			
14			
13			
12			
11			

SCALE: 1:200
 0 5 10 20M
 1 SITE PLAN
 SCALE: 1:500

PROJECT: PLANNED UNIT DEVELOPMENT TOWNHOMES & BACK TO BACK T.H.'S 23 BACHMAN TERRACE OTTAWA, ON.

CLIENT: TEGA DEVELOPMENTS 66 COLONNADE RD. WILLOWDALE, ON.

DRAWING TITLE: SITE PLAN SITE INFORMATION

DATE:	MAR. 2014	SCALE:	1:200	SHEET NO.:	SP-1
DRAWN BY:	mdb	CHECKED:	MDB		