

Planning Rationale for Site Plan Control Application

10 Coral Avenue
Ottawa
For

Proposed Addition to Ottawa Islamic School

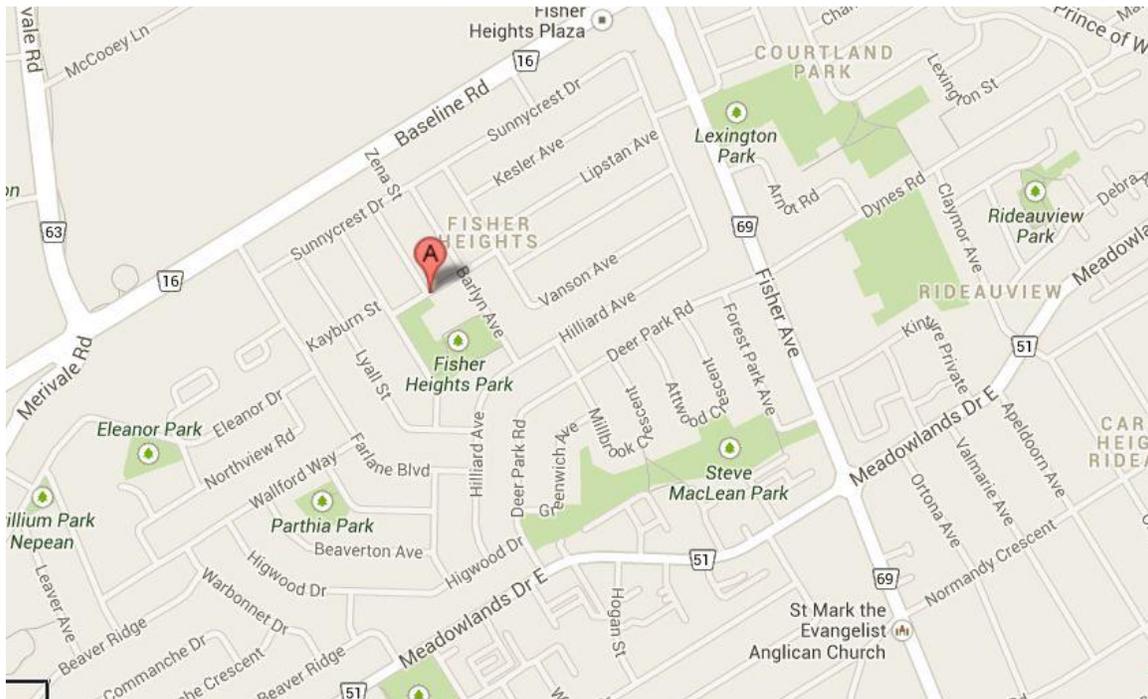
by
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Background

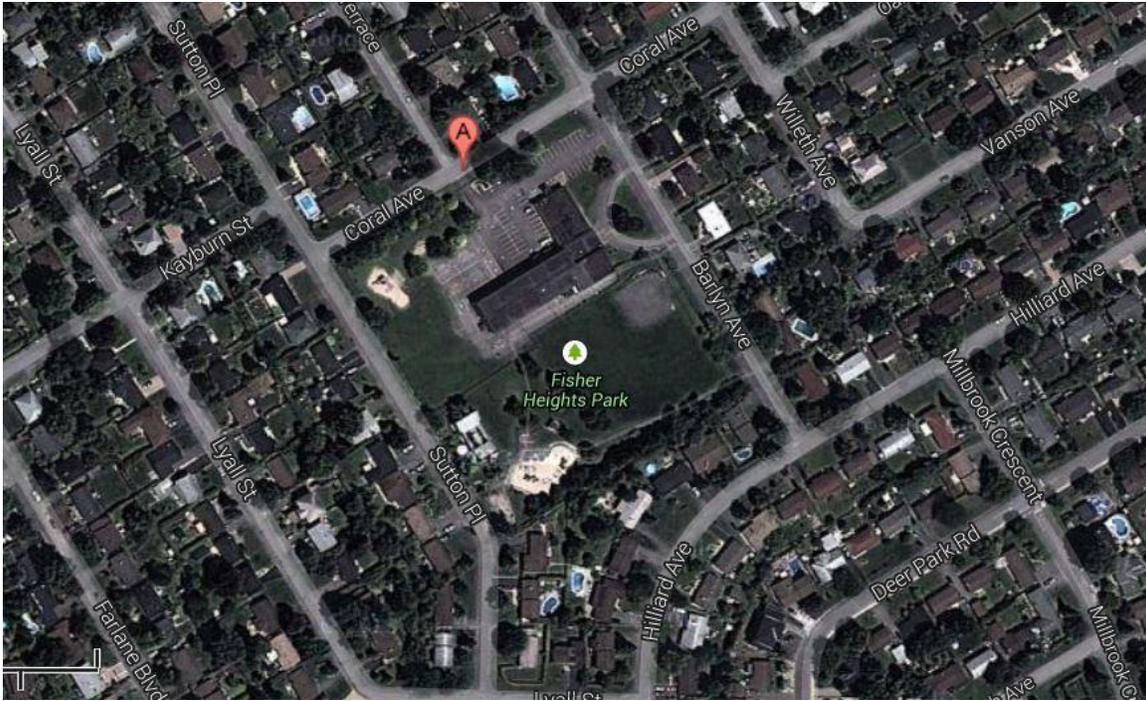
The Ottawa Islamic School operates a 2 storey school on the property known municipally as 10 Coral Ave. in Ottawa, which consist of Part of Block A (Being Parts 2, 3 & 4, Plan 5R-11666) Registered Plan 310509. The School wishes to construct a 2 storey addition which will include a gymnasium, change rooms, washrooms, a staff room and more classrooms to accommodate their current needs.

In order to construct this addition, an application for Site Plan Control is required. The existing school (formerly part of Nepean) was built sometime between 1945 and 1956, before this was a requirement.

The school is located in the Fisher Heights Community on the south side of Baseline, between Fisher Avenue and Merivale Road. The Experimental farm is to the north of Baseline. The neighbourhood is residential, primarily single family.



The property is bounded by 3 streets, Barlyn on the East, Coral on the North and Sutton Place on the West. On the south side is municipally owned Fisher Heights Park, whose baseball diamond and chain link fence encroach on the School's property, under mutual agreement. This fence will be relocated to allow for a new fire lane to reach the proposed addition.



The main entrance to the reception and principal's office is from Barlyn Ave. The proposal is to build the new addition onto the southwest side of the building. A proposed row of trees will soften the view from the single family neighbouring homes on the west side of Sutton Place. The Fisher Heights Community building is on the south side of the property along Sutton Place.



View looking north along Sutton Place

Fisher Heights Community building



View looking north along Sutton Place

The property is 5.77 acres with a frontage of 291.16 feet; it is quite flat, with rows of trees along Coral Avenue. The existing parking is on the north east side of the property and will meet the requirement of the addition. The property is only grass where the addition is proposed. There is a play structure with sand base on the northwest side of the property.

The property is designated General Urban Area in the City of Ottawa Official Plan. This designation is intended to provide opportunities for a full range of housing choices in combination with conveniently located employment, retail, service, leisure, entertainment and institutional uses. While a very broad range of uses is permitted, all development must have regard for its context and demonstrate compatibility. Section 4.11 of the Plan sets out criteria by which compatibility will be assessed.

The property is currently zoned I1A, Minor Institutional Zone (Sec. 169-170); "The purpose of the I1-Minor Institutional Zone is to:

- (1) permit a range of community uses, institutional accommodation and emergency service uses to locate in areas designated as General Urban Area or Central Area in the Official Plan; and
- (2) minimize the impact of these minor institutional uses located in close proximity to residential uses by ensuring that the such uses are of a scale and intensity that is compatible with neighbourhood character."

A school is a permitted use. The property is in Area C of Schedule 1; therefore the minimum Front and Rear Yard Setbacks are 7.5, and the maximum height is 11 m.

One per 100 sq.m. bicycle parking spaces are required, the addition will be 1,820.3 sq. m. therefore 19 new parking spaces are required, the size of the bike parking spaces will be .6 m x 1.8 m, we propose to locate them at the front of the building facing Barlyn Ave.

Students that do not walk or bicycle to the school are driven by their family or brought by bus. The lines on the parking area were repainted recently, these minor changes have not been noted on the current survey plan. See aerial photo below for current parking layout.



Houle Chevrier prepared a Phase 1 ESA report, it indicates that at one time there were underground storage tanks, but not in the vicinity where the addition is proposed; and suggested that “a program of soil sampling be conducted at the time of construction.”



Existing South elevation from Fisher Park



Existing west wing where addition is proposed

Site Plan Proposal

The School wishes to construct this 2 storey addition which will include, on the ground floor: a gymnasium, change rooms and washrooms, a staff room and 3 classrooms; the second floor will have 5 new classrooms. It is anticipated the school also will provide services to the Islamic community.

The positioning of the addition on the west side of the building leaves sufficient space beside the school for play areas, and a sports field. The building is sufficiently setback from the street and western property line to respect the area's ample setbacks and will be screened with a row of trees. The design of the addition is intended to complement the existing building, which is modern; but to be contemporary as well. The existing paved areas on the north and south sides of building will provide access for a fire lane, but will also continue to be used as basketball courts.

The height of the addition will match the existing building and will be well within the 11 m height limit, it will be less than 7 m high.

The addition is compatible with the existing use and clearly meets the requirement for Institutional use as outlined in the Official Plan. It also complements the community use of the property on the south side and the surrounding residential uses.

We had a pre-consultation with the City Planner Prescott Macdonald and City Engineer and had discussions about the trees on the west side of the property. In the design we have addressed the concern of not creating concealed spaces by blocking part of the north side of the building with the addition which could encourage vandalism. We had a second meeting with the City Engineer; this time with John Wu. There was concern about whether the existing storm and sanitary sewers could accommodate the proposed addition, the solution was to add new connections from Sutton Place instead of connecting to the existing services.

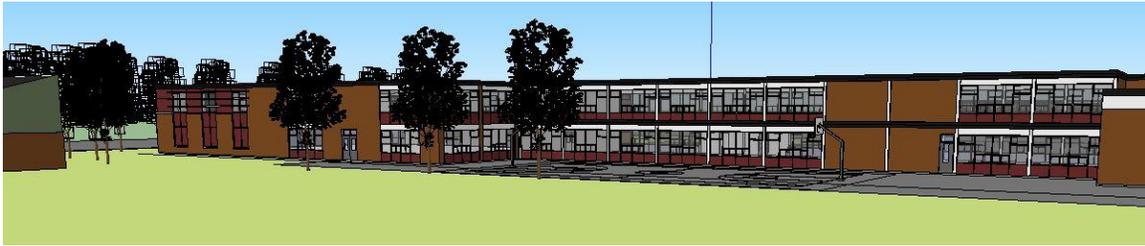
This property has never had a Site Plan Agreement with the City, we did a design for portables a year ago in the location of the proposed addition and received the building permit; but the school has decided to build this addition instead, to accommodate a new gym as well as classrooms.

There is a need for more classrooms and a large gymnasium for this school. To do any competitive sports the school has to rent space from neighbouring buildings. It is not intended to dramatically increase the number of students, but to provide better space for the many students enrolled in the school.



West elevation along Sutton Place

Fisher Heights Community building



South elevation at addition _____ |



East Elevation from Baryl



North View

The proposed addition complies with the objectives of the Planning Act and Official Plan by ensuring that necessary public service facilities are, or will be available to meet current and projected requirements. The proposal makes efficient use of existing municipal services and helps to ensure that public school facilities will be available to meet existing needs.

We believe that the proposed design is compatible to the scale and use of this neighbourhood.