



Proposed Townhouse Development

150 & 170 Salisbury Street, Village of Carp, City of Ottawa

Planning Rationale

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Contents

1.0 OVERVIEW.....1

2.0 SITE CONTEXT2

 2.1 Location & Description 2

 2.2 Site History..... 2

 2.3 Surrounding Land Uses..... 3

3.0 PROPOSED DEVELOPMENT.....4

4.0 PLANNING POLICY & REGULATORY FRAMEWORK5

 4.1 Provincial Policy Statement, 2005 5

 4.2 City of Ottawa Official Plan 5

 4.3 Community Design Plan for the Village of Carp 6

 4.4 City of Ottawa Comprehensive Zoning By-law 7

5.0 DESIGN & INTEGRATED ENVIRONMENTAL REVIEW STATEMENTS.....12

 5.1 Design Statement 12

 5.2 Integrated Environmental Review Statement 13

6.0 CONCLUSION14

1.0 OVERVIEW

This planning rationale has been prepared for Doyle Homes Limited in support of applications for a zoning by-law amendment and site plan control approval for lands known municipally as 150 and 170 Salisbury Street in the Village of Carp. The purpose of these applications is to permit a townhouse development on the subject land. The proposed residential townhouse development has been reviewed in the context of the existing planning framework. This rationale demonstrates that the proposed use is consistent with the Provincial Policy Statement (2005) and that it conforms to the policies of the City's Official Plan and Community Design Plan for the Village of Carp. This rationale also provides support for the requested zoning by-law amendment and demonstrates that the proposed townhouse development will be compatible with the existing neighbourhood.

2.0 SITE CONTEXT

2.1 Location & Description

The lands that are subject to the applications for a zoning by-law amendment and site plan control approval are located on the north side of Salisbury Street, east of Deugo Street and west of Fairside Private in the Village of Carp within the City of Ottawa, as shown on Figure 1: Location of Subject Lands below. The subject lands are comprised of two separate parcels that are known municipally as 150 Salisbury Street (the “western block”) and 170 Salisbury Street (the “eastern block”) and are described legally as Part of Lot 17, Concession 2, Geographic Township of Huntley, Now in the City of Ottawa, and further, Parts 4 and 5 on Plan 4R-26596 and Part 5 on Plan 4R-26130 respectively. The subject lands are rectangular in shape and have a combined area of approximately 3,435 square metres with frontage on Salisbury Street of approximately 113 metres. The accessory buildings were removed in connection with the previously approved consent application and therefore the subject lands are currently vacant.



Figure 1: Location of Subject Lands

2.2 Site History

The two parcels that form the subject lands were created by consent. The western block was created through consent application D08-01-12/B-00169 which was approved on June 15th, 2012 and finalized in December 2013. The eastern block was also created through the consent process. The subject lands were previously part of residential lots located to the north of the subject lands that front onto Donald B. Munro Drive.

2.3 Surrounding Land Uses

Located to the north of the subject lands is a mix of residential uses including single detached and semi-detached dwellings. There are also a number of lots created recently through the consent process which will be developed for residential purposes. Located to the east of the subject lands are residential uses with the Rivington subdivision, rural commercial, and vacant rural lands beyond. Located immediately to the south of the subject lands is the Village Walk residential development which is comprised of townhouses and semi-detached dwellings. Located beyond the Village Walk development is a C.N.R. railway corridor with residential uses fronting onto Rivington Street beyond. Such residential uses include single detached dwellings, multiple unit dwellings, and townhouse dwellings ranging in heights from one (1) to three (3) storeys. Located to the west of the subject lands is a mix of residential uses, the Carp Pumping Station, and the Huntley Centennial Public School and West Carleton Medical Centre beyond. The Village Core area is also located west of the subject lands. Figure 2: Surrounding Land Uses, below, illustrates some of the existing land uses in proximity to the subject lands. The proposed development will complement the mix of existing uses while at the same time contributing to the range of residential uses.



Figure 2: Surrounding Land Uses

3.0 PROPOSED DEVELOPMENT

The proposed development will consist of a total of fifteen (15) townhouse units. A single run of seven (7) units is proposed for the western block and two separate runs of four (4) units are proposed for the eastern block. The proposed maximum height of the townhouse units is 10.96 metres. The proposed units are all three (3) bedroom units and the gross floor area of the units will range from 1,616 square feet to 1,808 square feet. Parking spaces will be provided within garages, as well as on the proposed driveways. Landscape open space will be provided in the rear yard of each dwelling unit. Landscape plantings are also proposed, as detailed on the Landscape Plan prepared and provided in support of this application. Figure 3: Extract from Proposed Site Plan and Figure 4: Extract from Architectural Elevations, below, illustrate the proposed townhouse development.

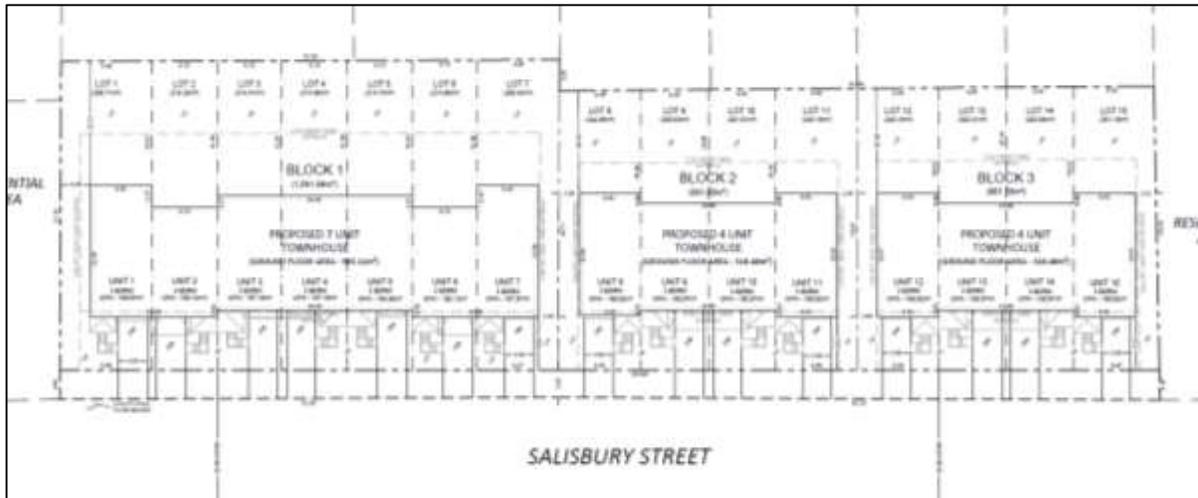


Figure 3: Extract from Proposed Site Plan



Figure 4: Extract from Architectural Elevations

4.0 PLANNING POLICY & REGULATORY FRAMEWORK

4.1 Provincial Policy Statement, 2005

The 2005 Provincial Policy Statement (the “PPS”), issued under Section 3 of the Planning Act, provides policy direction on matters of provincial interest related to land use planning and development.

The PPS provides that healthy, livable and safe communities are characterized, in part, by providing an appropriate range and mix of residential uses and a range of housing types and densities. Further, settlement areas, such as the Village of Carp, shall be the focus of growth and intensification within these settlement areas shall be promoted. The proposed development will increase the mix of housing types and densities available in the neighbourhood.

The proposed townhouse development will utilize existing infrastructure including municipal water and wastewater systems. In addition to utilizing existing infrastructure, residents of the townhouse development will utilize existing public service facilities in the Village of Carp.

Based on the forgoing, the use of the subject lands for a residential townhouse development is consistent with the policies of the Provincial Policy Statement.

4.2 City of Ottawa Official Plan

The subject lands are designated Village pursuant to the City of Ottawa Official Plan (the “Official Plan”), as illustrated on Figure 5: Extract from City of Ottawa Official Plan, Schedule A, below. The Official Plan provides that the majority of future growth will occur within the serviced areas which include the urban area and the

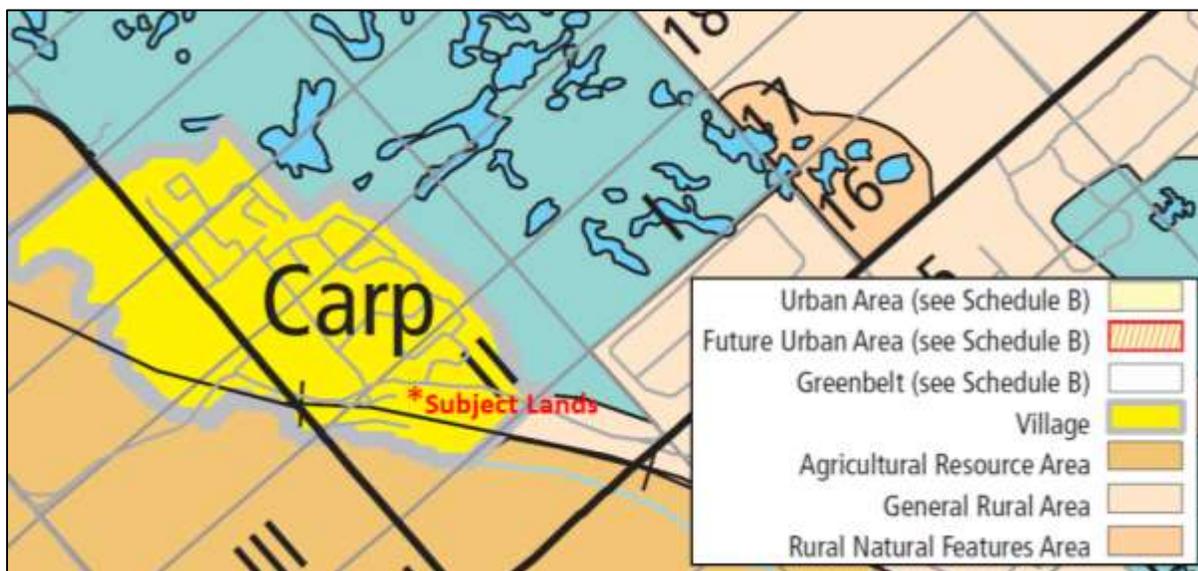


Figure 5: Extract from City of Ottawa Official Plan, Schedule B

designated villages, noting that many of the villages will grow. The policies of the Official Plan further dictate that at least 50% of rural growth is to be accommodated in the existing designated villages where community facilities, commercial facilities and schools already exist or can be efficiently provided. The Village of Carp is currently home to a number of commercial and community uses which will be utilized by the residents of the proposed development. The Official Plan also contains policies that will ensure that the developments within the village will respect the existing character and will be compatible. Additional information respecting these policies and the proposed development’s adherence to same can be found in Section 5.0 below.

The intent of the Village designation is to permit a variety of land uses [which includes residential uses] to provide for the daily needs of the rural community and to ensure that they remain distinctly rural in character and scale. The Official Plan encourages the development of residential uses in a variety of forms in order to meet the needs of the Village population. The Official Plan also provides that the form and scale of residential development will be dictated by available servicing methods. The accompanying Servicing Report prepared by McIntosh Perry Consulting Engineers Ltd. demonstrates that the proposed townhouse development can be serviced with available public water and wastewater services located in Salisbury Street.

Accordingly, the proposed townhouse development conforms to the Official Plan.

4.3 Community Design Plan for the Village of Carp

In addition to the Official Plan policies, new development shall also conform to the policies of the respective Community Design Plan, in this case being the Community Design Plan for the Village of Carp (the “CDPVC”).



Figure 6: Extract from Community Design Plan for the Village of Carp, Schedule A, Land Use

The subject lands are designated Residential-Ground Oriented Multi-Unit pursuant to the CDPVC, as illustrated on Figure 6: Extract from Community Design Plan for the Village of Carp, Schedule A Land Use.

The purpose of this designation is to provide an opportunity for a greater range of housing forms within the Village setting where there is access to existing Village services and activity. Permitted residential uses include multiple attached dwellings such as townhouses. The CDPVC contains policies aimed at ensuring development patterns respect the character of the existing Village.

The CDPVC policies require face-to-face building distances of between 24 and 30 metres in order to maintain the feel of village streets. The proposed development will have a typical front yard setback of approximately 5.5 metres, Salisbury Street has a width of 18.0 metres, and the dwellings that front onto the south side of Salisbury Street have varying front yard setbacks of between approximately 3.0 and 5.0 metres. Accordingly, the face-to-face building distance ranges from approximately 26.5 metres to 28.5 metres and will contribute to the maintenance of the character of the village street. The CDPVC also provides that the front of garages should not extend beyond the front façade of proposed dwellings and the proposed townhouse development will meet this requirement. In order to provide for tree lined streets that enhance the character of the village, the CDPVC notes that one tree shall be provided for each lot. As illustrated on the landscape plan prepared and submitted in support of these applications, a tree planting is proposed for each lot. Additional information respecting rural design is available in Section 5.0 below.

As detailed above, the proposed townhouse development respects the guidelines provided in the Community Design Plan for the Village of Carp.

4.4 City of Ottawa Comprehensive Zoning By-law

The subject lands are currently zoned Village Residential Third Density zone, Subzone B (V3B) pursuant to City of Ottawa Comprehensive Zoning By-law No. 2008-250. The purpose of the Village Residential Third Density zone is to permit a mix of low and medium density dwelling types in existing Villages that respect existing development patterns in the neighbourhood. Townhouse dwellings are permitted within the Village Residential Third Density zone. An application for a zoning by-law amendment has been submitted for the proposed development, the purpose of which is to rezone the subject lands with regard to the applicable Subzone category. Specifically, the purpose of the zoning by-law amendment application is to rezone the subject lands from Village Residential Third Density, Subzone B to Village Residential Third Density Subzone A. The zoning by-law amendment is also required in order to provide site-specific relief from the minimum required front yard setback and the maximum permitted density. Below is a summary of the applicable zoning provisions for the Village Residential Third Density, Subzone A ("V3A") zone and a note indicating the proposed development's compliance with such regulations.

V3A Standard	Required	Provided	Compliance
Maximum Density	40 units/hectare	45 units/hectare	No
Unit No. 1			
Minimum Lot Area	200m ²	299.71m ²	Yes
Minimum Lot Width	6.5m	9.46m	Yes
Minimum Front Yard Setback	6.0m	5.5m	No
V3A Standard	Required	Provided	Compliance
Minimum Interior Side Yard Setback	2.0m	3.06m	Yes
Minimum Rear Yard Setback	7.5m	12.72m	Yes
Minimum Landscaped Area	30%	65.76%	Yes
Maximum Lot Coverage	40%	28.7%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 2			
Minimum Lot Area	200m ²	214.25m ²	Yes
Minimum Lot Width	6.5m	6.73m	Yes
Minimum Front Yard Setback	6.0m	5.5m	No
Minimum Rear Yard Setback	7.5m	15.01m	Yes
Minimum Landscaped Area	30%	56.83%	Yes
Maximum Lot Coverage	40%	35.42%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 3			
Minimum Lot Area	200m ²	214.41m ²	Yes
Minimum Lot Width	6.5m	6.73m	Yes
Minimum Front Yard Setback	6.0m	6.0m	Yes
Minimum Rear Yard Setback	7.5m	13.86m	Yes
Minimum Landscaped Area	30%	54.24%	Yes
Maximum Lot Coverage	40%	37.17%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 4			
Minimum Lot Area	200m ²	214.58m ²	Yes
Minimum Lot Width	6.5m	6.73m	Yes
Minimum Front Yard Setback	6.0m	6.14m	Yes
Minimum Rear Yard Setback	7.5m	13.89m	Yes
Minimum Landscaped Area	30%	54.27%	Yes
Maximum Lot Coverage	40%	37.14%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 5			
Minimum Lot Area	200m ²	214.74m ²	Yes
Minimum Lot Width	6.5m	6.73m	Yes
Minimum Front Yard Setback	6.0m	6.14m	No
Minimum Rear Yard Setback	7.5m	13.91m	Yes
Minimum Landscaped Area	30%	54.3%	Yes
Maximum Lot Coverage	40%	37.12%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 6			
Minimum Lot Area	200m ²	214.9m ²	Yes
Minimum Lot Width	6.5m	6.73m	Yes

Minimum Front Yard Setback	6.0m	5.5m	No
Minimum Rear Yard Setback	7.5m	15.11m	Yes
Minimum Landscaped Area	30%	56.94%	Yes
Maximum Lot Coverage	40%	35.36%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 7			
Minimum Lot Area	200m ²	269.34m ²	Yes
Minimum Lot Width	6.5m	8.39m	Yes
V3A Standard	Required	Provided	Compliance
Minimum Front Yard Setback	6.0m	5.52m	No
Minimum Interior Side Yard Setback	2.0m	2.0 m	Yes
Minimum Rear Yard Setback	7.5m	12.87m	Yes
Minimum Landscaped Area	30%	61.89%	Yes
Maximum Lot Coverage	40%	31.97%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 8			
Minimum Lot Area	200m ²	244.85m ²	Yes
Minimum Lot Width	6.5m	8.53m	Yes
Minimum Front Yard Setback	6.0m	5.5m	No
Minimum Interior Side Yard Setback	2.0m	2.08m	Yes
Minimum Rear Yard Setback	7.5m	10.59	Yes
Minimum Landscaped Area	30%	60.12%	Yes
Maximum Lot Coverage	40%	33.05%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 9			
Minimum Lot Area	200m ²	200.63m ²	Yes
Minimum Lot Width	6.5m	6.95m	Yes
Minimum Front Yard Setback	6.0m	6.14m	Yes
Minimum Rear Yard Setback	7.5m	11.60m	Yes
Minimum Landscaped Area	30%	52.37%	Yes
Maximum Lot Coverage	40%	38.45%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 10			
Minimum Lot Area	200m ²	201.01m ²	Yes
Minimum Lot Width	6.5m	6.95m	Yes
Minimum Front Yard Setback	6.0m	6.14m	Yes
Minimum Rear Yard Setback	7.5m	11.65m	Yes
Minimum Landscaped Area	30%	52.46%	Yes
Maximum Lot Coverage	40%	38.38%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 11			
Minimum Lot Area	200m ²	245.19m ²	Yes
Minimum Lot Width	6.5m	8.46m	Yes
Minimum Front Yard Setback	6.0m	5.5m	No
Minimum Interior Side Yard Setback	2.0m	2.0m	Yes

Minimum Rear Yard Setback	7.5m	10.59m	Yes
Minimum Landscaped Area	30%	60.11%	Yes
Maximum Lot Coverage	40%	33.13%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 12			
Minimum Lot Area	200m ²	245.19m ²	Yes
Minimum Lot Width	6.5m	8.44m	Yes
Minimum Front Yard Setback	6.0m	5.5m	No
Minimum Interior Side Yard Setback	2.0m	2.03m	Yes
Minimum Rear Yard Setback	7.5m	10.83m	Yes
Minimum Landscaped Area	30%	60.12%	Yes
Maximum Lot Coverage	40%	33.11%	Yes
V3A Standard	Required	Provided	Compliance
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 13			
Minimum Lot Area	200m ²	202.31m ²	Yes
Minimum Lot Width	6.5m	6.95m	Yes
Minimum Front Yard Setback	6.0m	6.14m	Yes
Minimum Rear Yard Setback	7.5m	11.84m	Yes
Minimum Landscaped Area	30%	52.76%	Yes
Maximum Lot Coverage	40%	38.13%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 14			
Minimum Lot Area	200m ²	202.69m ²	Yes
Minimum Lot Width	6.5m	6.95m	Yes
Minimum Front Yard Setback	6.0m	6.14m	Yes
Minimum Rear Yard Setback	7.5m	11.90m	Yes
Minimum Landscaped Area	30%	52.85%	Yes
Maximum Lot Coverage	40%	38.06%	Yes
Maximum Building Height	11.0m	10.96m	Yes
Unit No. 15			
Minimum Lot Area	200m ²	251.10m ²	Yes
Minimum Lot Width	6.5m	8.75m	Yes
Minimum Front Yard Setback	6.0m	5.5m	No
Minimum Interior Side Yard Setback	2.0m	2.12m	Yes
Minimum Rear Yard Setback	7.5m	10.99m	Yes
Minimum Landscaped Area	30%	61.06%	Yes
Maximum Lot Coverage	40%	32.33%	Yes
Maximum Building Height	11.0m	10.96m	Yes

As detailed above, the proposed townhouse development will comply with the various standards of the V3A zone, with the exception of the minimum requirement for front yard setback and the maximum permitted density.

The zoning by-law requires a minimum front yard setback of 6.0 metres, whereas a site specific minimum setback of 5.0 metres is proposed. The reduced front yard setback is in keeping with the character of the existing residential developments in the area given the dwellings located opposite the proposed development are setback generally between 3.0 metres and 5.0 metres, with the minimum setback required by the zoning by-law being 3.0 metres. Further, the Community Design Plan for the Village of Carp provides policies that will allow new residential development to have building setbacks from the right-of-way reduced to as little as 3.0 metres. The reduced front yard setback will allow the proposed buildings to be sited closer to the street which will contribute to maintaining the village street character, while at the same time allowing for the provision of a larger landscaped area in the rear yards that can be utilized and enjoyed by the future residents of the proposed townhouse dwellings.

The zoning by-law permits a maximum density of forty (40) units per hectare, whereas a site specific maximum of 45 units per hectare is proposed. This increased density represents an increase of approximately 9% of what is permitted on the subject lands pursuant to the V3A zoning standards. As noted above, the subject lands were subject to previous consent applications, both of which required the transfer of lands to the City of Ottawa for road widening purposes as conditions of the approvals, such lands totalling 333.75m². If the transferred lands were included in the density calculations, the proposed density would be 39.8 units per hectare. Further, the surrounding lands include a mix of lower density semi-detached and detached dwellings which would result in a lower average density in the context of the overall existing neighbourhood. Accordingly, while the proposed density exceeds the permitted maximum by 9%, the proposed development represents compatible intensification of the existing neighbourhood and will increase the diversity of the housing forms and densities available.

Accordingly, the proposed townhouse development maintains the general intent and purpose of the City's Zoning By-law, and more specifically, the Village Residential Third Density zone.

5.0 DESIGN & INTEGRATED ENVIRONMENTAL REVIEW STATEMENTS

5.1 Design Statement

The City of Ottawa has developed a number of policies and guidelines relating to urban design, which are integrated in the Official Plan, as well as in standalone design guidelines documents. The design objectives include, but are not limited to, items such as enhancing the feeling of a community, ensuring new developments respect an area's existing character, and promoting sustainable design.

Section 4.11 of the Official Plan includes a number of policies that speak to urban design and compatibility, and more specifically, outlines the criteria that can be used to determine whether or not a proposed development will be compatible with the adjacent and/or surrounding uses. The policies also require that proposed developments have regard for the design policies of the applicable Community Design Plan as well as design guidelines. As detailed in Section 4.3 above, the proposed development respects the design guidelines found in the Community Design Plan for the Village of Carp relating to reduced front yard setbacks, building face to face distances, and the landscaping in the front yard.

The Design Guidelines for Rural Villages contain a number of guidelines that are to be used to achieve appropriate development in Villages through the use of best practices in design. The proposed development will increase the housing type offering in the area by introducing additional townhouse units. The façade treatment will consist of a variety of materials such as stone, stucco, shakes and shingles which will avoid the 'cookie cutter' appearance as this treatment is different from what exists in the area. Further, the varied façade treatments and complementary building finishes also include wood details, such as the decorative feature above some garages doors, which add visual interest to the streetscape while also reflecting the rural character of the Village.

The proposed development has regard for the existing topography of the land, which slopes up to the north, by providing a design that incorporates a first floor walkout on the south and a second floor walk out to the north. The design policies speak to reduced setbacks in order to site buildings closer to the street. While the policies speak to reductions to 3.0 metres, the proposed development will be setback approximately 5.5 metres which will allow for the proposed development to be sited closer to the street and for the provision of larger back yard amenity space, while balancing the need to maintain a sufficient setback appropriate for the 3 storey height of the proposed building and provide sufficient space for landscape plantings in the front yard.

In summary, the design of the proposed development is compatible with the existing uses in the area, represents a visually appealing addition to the streetscape in terms of the building finishes and landscaping features, will contribute to the diversification of dwelling types available, and will provide suitable amenity space in the rear yards for the future residents.

5.2 Integrated Environmental Review Statement

Section 4.7.1 of the Official Plan, pertaining to assessing development applications through the utilization of an integrated environmental review, provides that an understanding of the relationship between the natural environment and any proposed development must underlay the design of a site.

Studies and plans that have been completed in support of the proposed development in this regard include a Phase 1 Environmental Site Assessment, a landscape and tree preservation plan, a stormwater management report and plan which include information pertaining to wellhead protection measures, and a geotechnical study. Such studies and plans take into consideration the regulations and recommendations of various municipal, provincial, and federal studies/documents, as applicable. The proposed development has been designed in accordance with the findings of these reports and studies. For further details, conclusions and applicable mitigation measures of such studies and plans, please see the respective document which was submitted in support of the planning applications.

6.0 CONCLUSION

The proposed residential townhouse development is consistent with the policies, goals and general intent of the Provincial Policy Statement and the City of Ottawa Official Plan. As described above, the policies of the Community Design Plan for the Village of Carp provide for such development within the Residential-Ground Oriented Multi-Unit designation.

The proposed townhouse dwelling development maintains the general purpose and intent of the zoning by-law, and will comply with the majority of the applicable zoning regulations. Site specific provisions relating to the minimum front yard setback and maximum density requirements will be required in order to recognize the reduced front yard setback and increased density proposed. As discussed herein, the reduced front yard setback reflects the policies of the Community Design Plan that allow for reduced setbacks in order to maintain the character of traditional village streets, similar to the residential development to the south. The increased density will be compatible with the surrounding neighbourhood and represents a pattern of development that is complementary to traditional village development.

The proposed development is compatible with the existing neighbourhood and represents residential intensification within a Village designated for growth and where services are available to support such intensification. The proposed development will also contribute to the existing housing stock, and more specifically, will increase the diversity of dwelling types available in the neighbourhood.

It is my professional opinion that the proposed residential townhouse development is an appropriate use of the subject property, is in the public interest, and represents good planning.

Respectfully submitted,



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