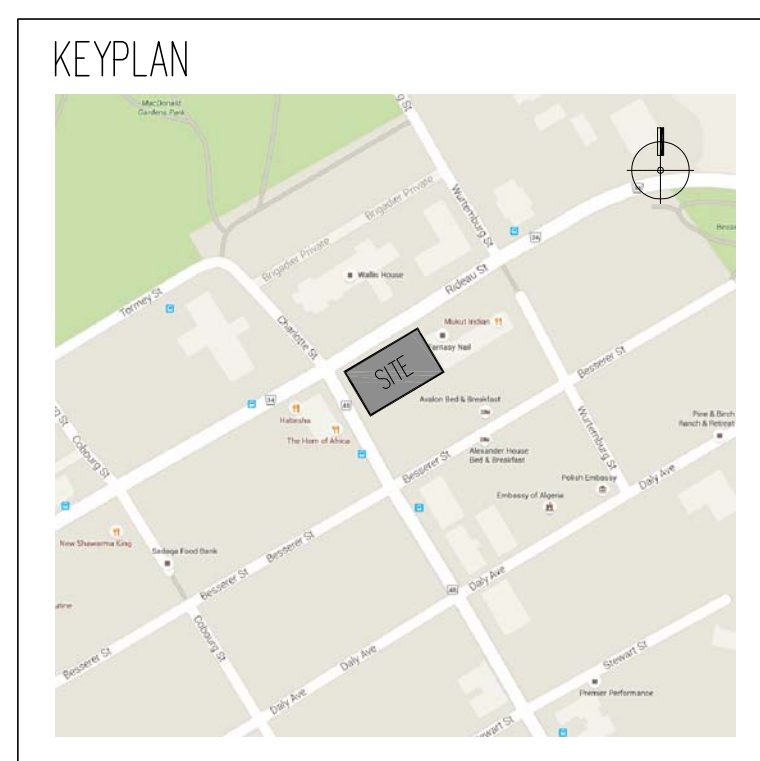




- ### GENERAL NOTES
- For landscaping, refer to landscape drawings.
 - For proposed grading, refer to landscape drawings.
 - All perimeter existing information indicated taken from survey.
 - All work to be done in conformance with the 2012 Ontario Building Code, [O.B.C., as amended].
 - Land to be conveyed to the city free and clear of all encumbrances at a nominal cost for lane widening purposes at no expense to the city.

LIST OF DRAWINGS

A101	CONTEXT PLAN & STATISTICS	1:600
A102	SITE PLAN	1:150
A201	UNDERGROUND PLANS	1:150
A301	GROUND FLOOR PLAN	1:100
A302	2ND - 7TH FLOORS PLANS	1:150
A401	ELEVATIONS	1:150
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A701	SHADOW STUDIES - MARCH & JUNE	N.T.S.
A702	SHADOW STUDIES - SEPTEMBER & DECEMBER	N.T.S.



SURVEY INFORMATION

PLAN OF SURVEY OF
LOTS 49, 50 AND THE WEST HALF OF
LOT 51 (South Rideau Street)
REGISTERED PLAN 6
CITY OF OTTAWA

ANNIS, O'SULLIVAN, VOLLEBECK, LTD.
ONTARIO LAND SURVEYOR
SUITE 500
14 CONCOURSE GATE
NEPEAN, ONTARIO
K2E 7S6
TEL (613) 727-0850
FAX (613) 727-1079

STATISTICAL INFORMATION

	REQUIRED	PROVIDED
1. SITE AREA		± 1,525 m ² ± 16,413 ft ² ± 0.38 ha ± 0.15 ac
2. G.F.A.		GROUND ± 377 m ² ± 4,058 ft ² 2ND - 3RD ± 1,405 m ² ± 15,126 ft ² 4TH ± 668 m ² ± 7,188 ft ² 5TH - 6TH ± 1,336 m ² ± 14,377 ft ² 7TH ± 520 m ² ± 5,599 ft ² TOTAL G.F.A. ± 4,306 m² ± 46,344 ft²
3. F.S.I.	MAXIMUM F.S.I. = 3	2.82
4. BUILDING HEIGHT	MAXIMUM PERMITTED HEIGHT 22 m AND NO GREATER THAN 7 STOREYS	7 STOREYS 24.5 m + 4 m MECH. (FROM GROUND FLOOR TO TOP OF ROOF SLAB)
5. UNIT COUNT		GROUND = 0 u 2ND - 3RD (12 u/Flr x 2 flrs) = 24 u 4TH = 12 u 5TH - 6TH (12 u/Flr x 2 flrs) = 24 u 7TH = 8 u TOTAL UNITS 68 u
6. UNIT BREAKDOWN		STUDIO = 10 u (15%) 1B = 14 u (20%) 1B+D = 23 u (34%) 2B = 19 u (28%) 2B+D = 2 u (3%) TOTAL UNITS 68 u
7. AMENITY	AS PER URBAN EXCEPTION 1697: A MINIMUM OF 18.5 m ² TOTAL AMENITY AREA MUST BE PROVIDED FOR EACH DWELLING UNIT, OF WHICH HALF MUST BE PROVIDED AS UNCOVERED OUTDOOR AMENITY AREA. i.) INDOOR 9.25 x 68 = 629 m ² j.) OUTDOOR 9.25 x 68 = 629 m ²	INDOOR: GROUND ± 202 m ² OUTDOOR: GROUND ± 182 m ² 2ND-3RD ± 191 m ² 4TH ± 121 m ² 5TH-6TH ± 169 m ² 7TH ± 165 m ² SUBTOTAL ± 828 m ² TOTAL REQUIRED ± 1,258 m² TOTAL PROVIDED ± 1,030 m²
8. PARKING	i.) RESIDENTS 0.5 SPACES/UNIT = 0.5 x 68 u = 34 SPACES ii.) VISITORS NONE FOR FIRST 12 UNITS AND 0.2 SPACES/UNIT FOR NEXT 300 UNITS = 0.2 x 56 u = 11 SPACES iii.) RETAIL 2.5 SPACES/100 m ² = 2.5/100 x 347 m ² = 8.675 = 9 SPACES	P2 = 30 sp P1 = 4 sp 34 SPACES P1 = 12 sp 12 SPACES P1 = 9 sp 9 SPACES TOTAL REQUIRED 54 SPACES TOTAL PROVIDED 55 SPACES
9. BIKE STORAGE	i.) RESIDENTS 0.5 SPACES/UNIT = 0.5 x 68 u = 34 SPACES ii.) RETAIL 1 SPACES/250 m ² = 1/250 x 347 m ² = 1.39 = 1 SPACES	GROUND = 34 sp 34 SPACES GROUND = 1 sp 1 SPACES TOTAL REQUIRED 35 SPACES TOTAL PROVIDED 35 SPACES
10. SETBACKS	i.) NORTH FRONT YARD 2 m MINIMUM ABOVE 6 STOREYS ii.) EAST INTERIOR SIDE YARD 3 m MINIMUM ABOVE 6 STOREYS WHERE THE MAX. BUILDING HEIGHT IS MORE THAN 16 m iii.) SOUTH REAR YARD 7.5 m MINIMUM 10.5 m MINIMUM ABOVE 6 STOREYS WHERE THE MAX. BUILDING HEIGHT IS MORE THAN 16 m iv.) WEST CORNER SIDE YARD 1 m MINIMUM	2 m BELOW 4 STOREYS 4 m ABOVE 4 STOREYS 3 m 7.5 m BELOW 6 STOREYS 10.5 m ABOVE 6 STOREYS 1 m

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ONTARIO ASSOCIATION OF ARCHITECTS
GRAZIANI + CORAZZA ARCHITECTS INC.

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Phone: 905.795.2601 Fax: 905.795.2844 www.gc-architects.com

PROPOSED MIXED USE DEVELOPMENT
590 Rideau

OTTAWA RICHCRAFT GROUP OF COMPANIES ONTARIO

Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong
Checked By: D. Biase
Plot Date: Apr 22, 2016
Job #: 1313.152

CONTEXT PLAN & STATISTICS

1:600 A101

TITLEBLOCK SIZE: 610 x 950

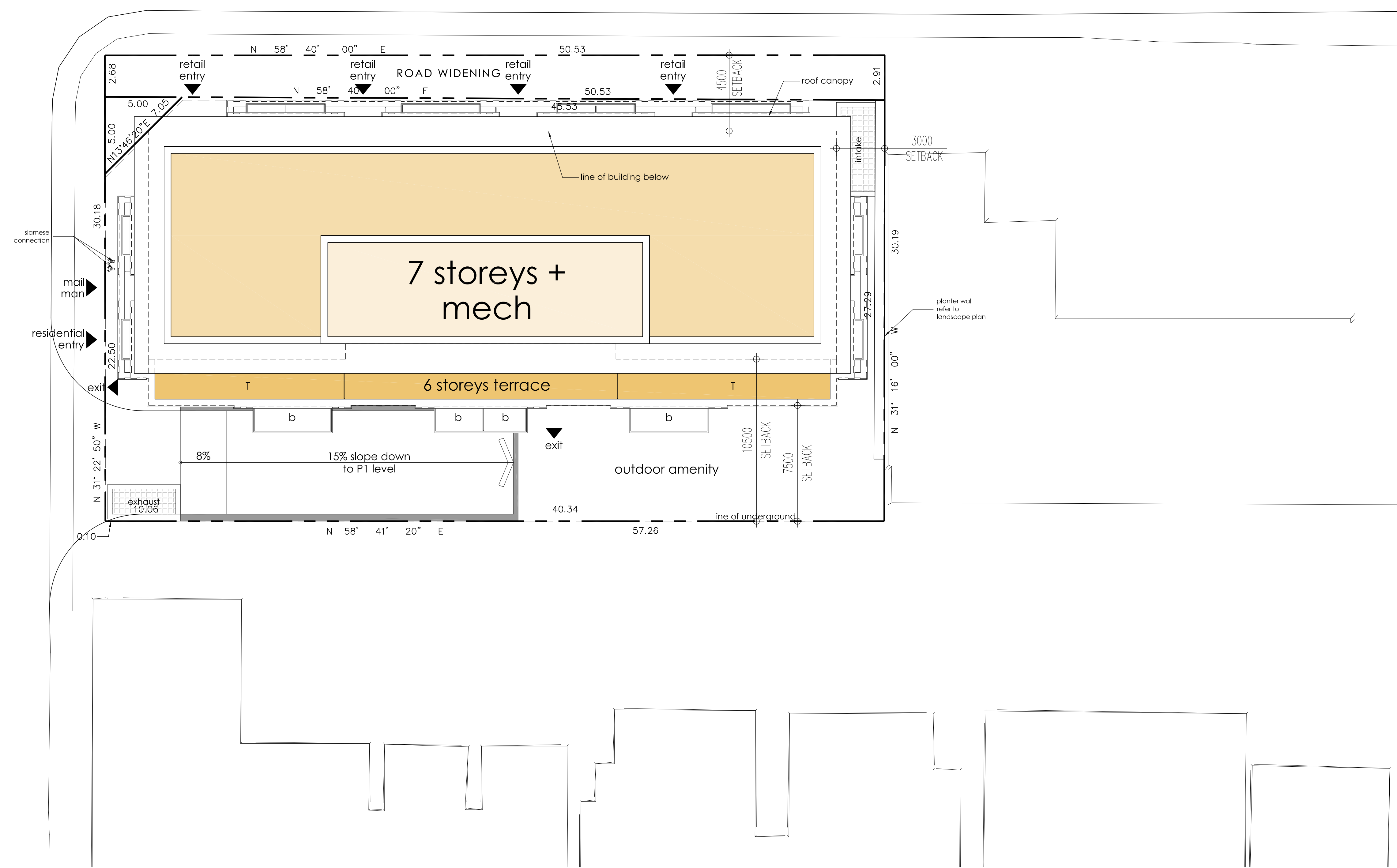
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RIDEAU STREET

CHARLOTTE STREET



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PROPOSED MIXED USE DEVELOPMENT
590 Rideau

OTTAWA **RICH CRAFT** GROUP OF COMPANIES ONTARIO

Project Architect: **E. Corazza**
 Assistant Designer: **L. Wong**
 Drawn By: **L. Wong**
 Checked By: **D. Biase**
 Plot Date: **Apr 22, 2016**
 Job #: **1313.152**

SITE PLAN

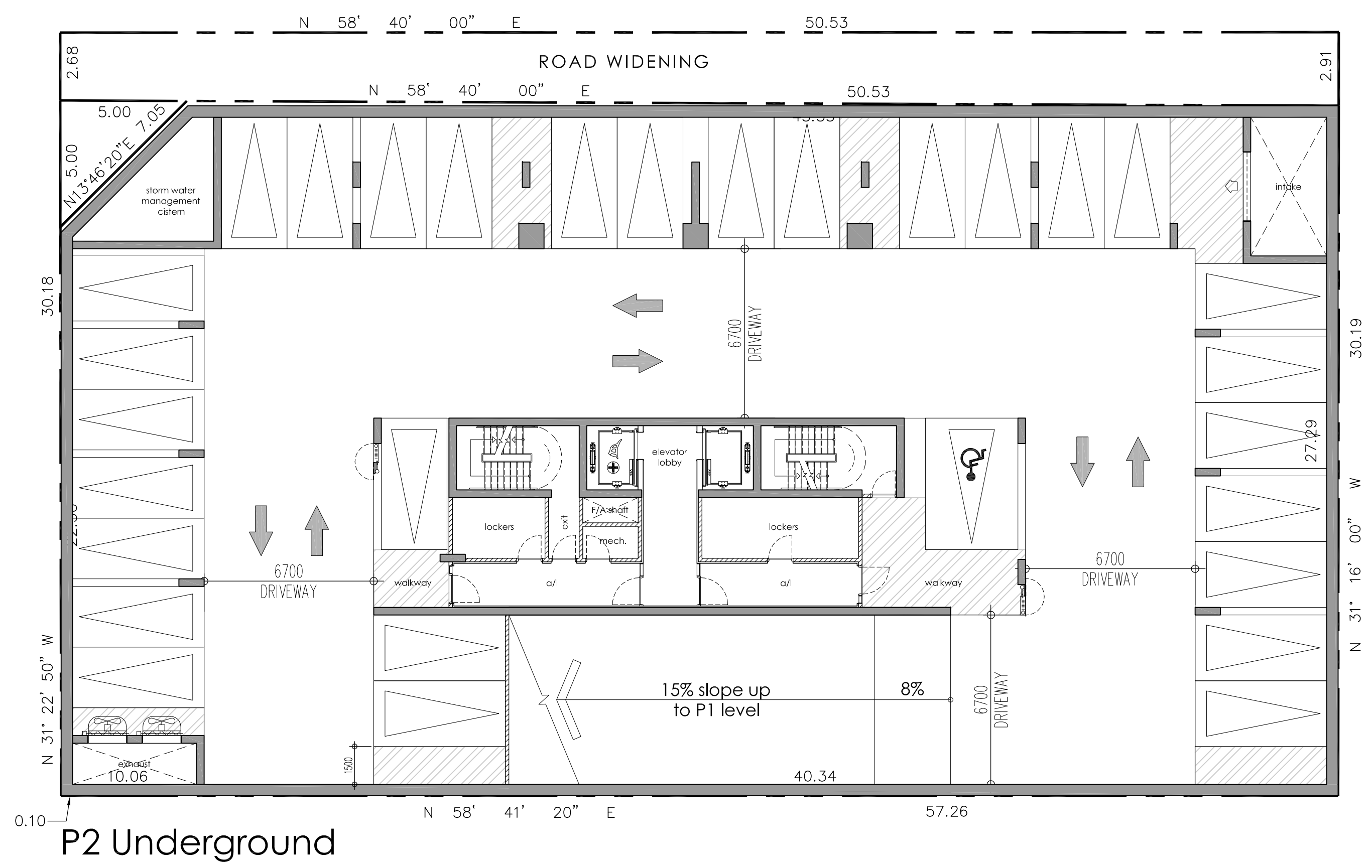
1:150 **A102**

TITLEBLOCK SIZE: 610 x 950

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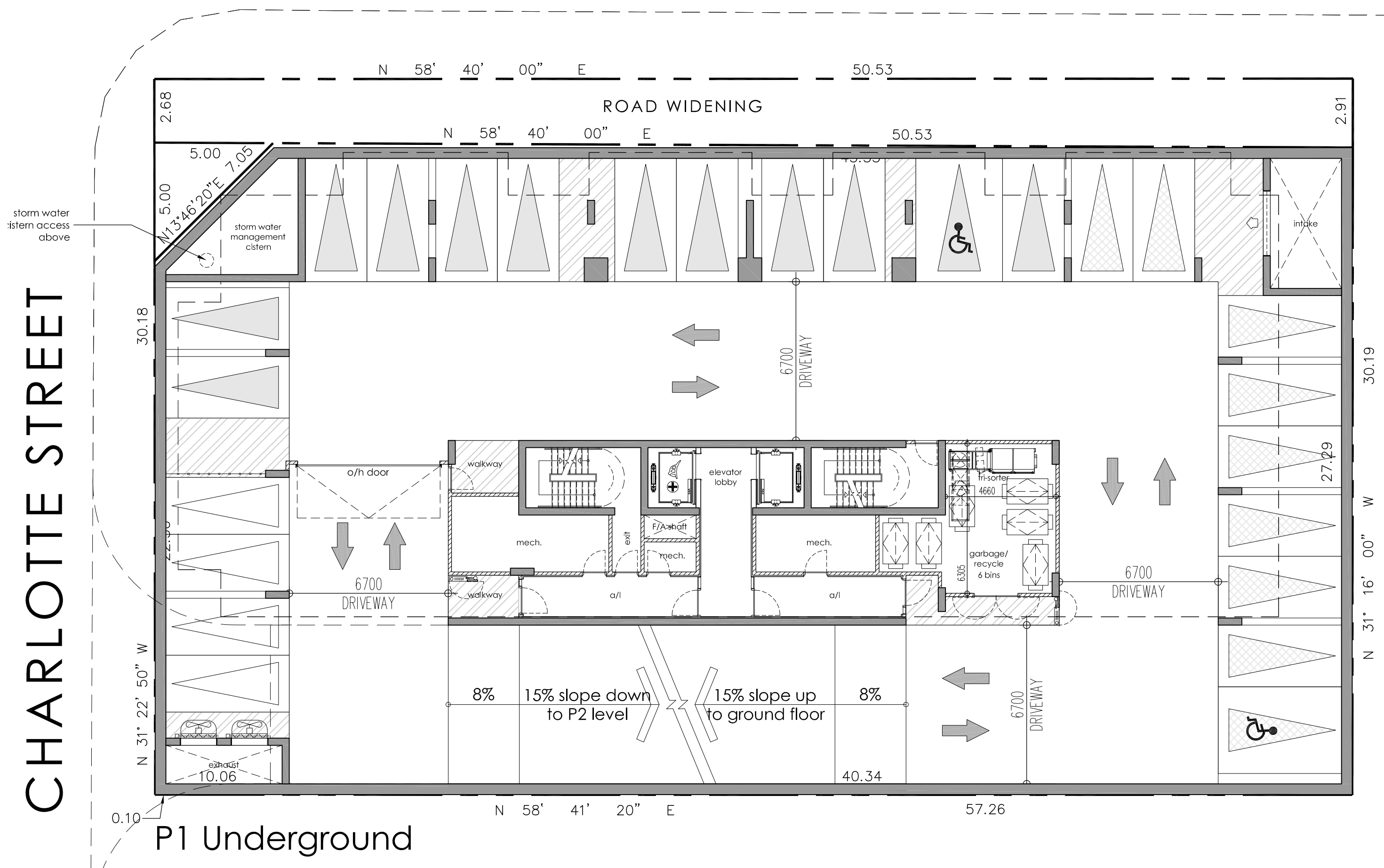
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P2 Underground

RIDEAU STREET



P1 Underground

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PROPOSED MIXED USE DEVELOPMENT
590 Rideau

OTTAWA ONTARIO

Project Architect: **E. Corazza**
 Assistant Designer: **L. Wong**
 Drawn By: **L. Wong**
 Checked By: **D. Biase**
 Plot Date: **Apr 22, 2016**
 Job #: **1313.152**

UNDERGROUND PLANS

1:150 **A201**

TITLEBLOCK SIZE: 610 x 950

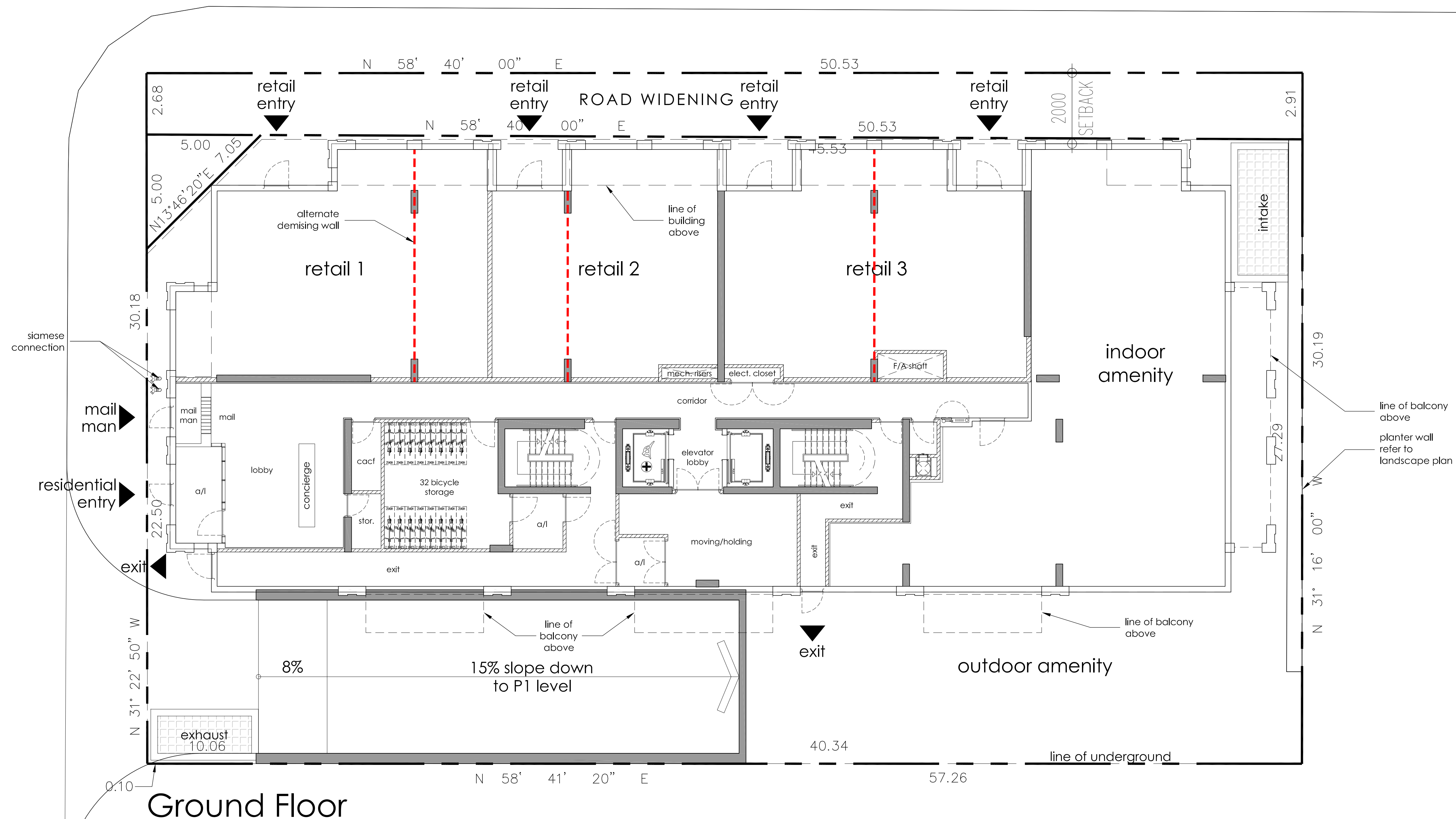
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PROPOSED MIXED USE DEVELOPMENT
590 Rideau

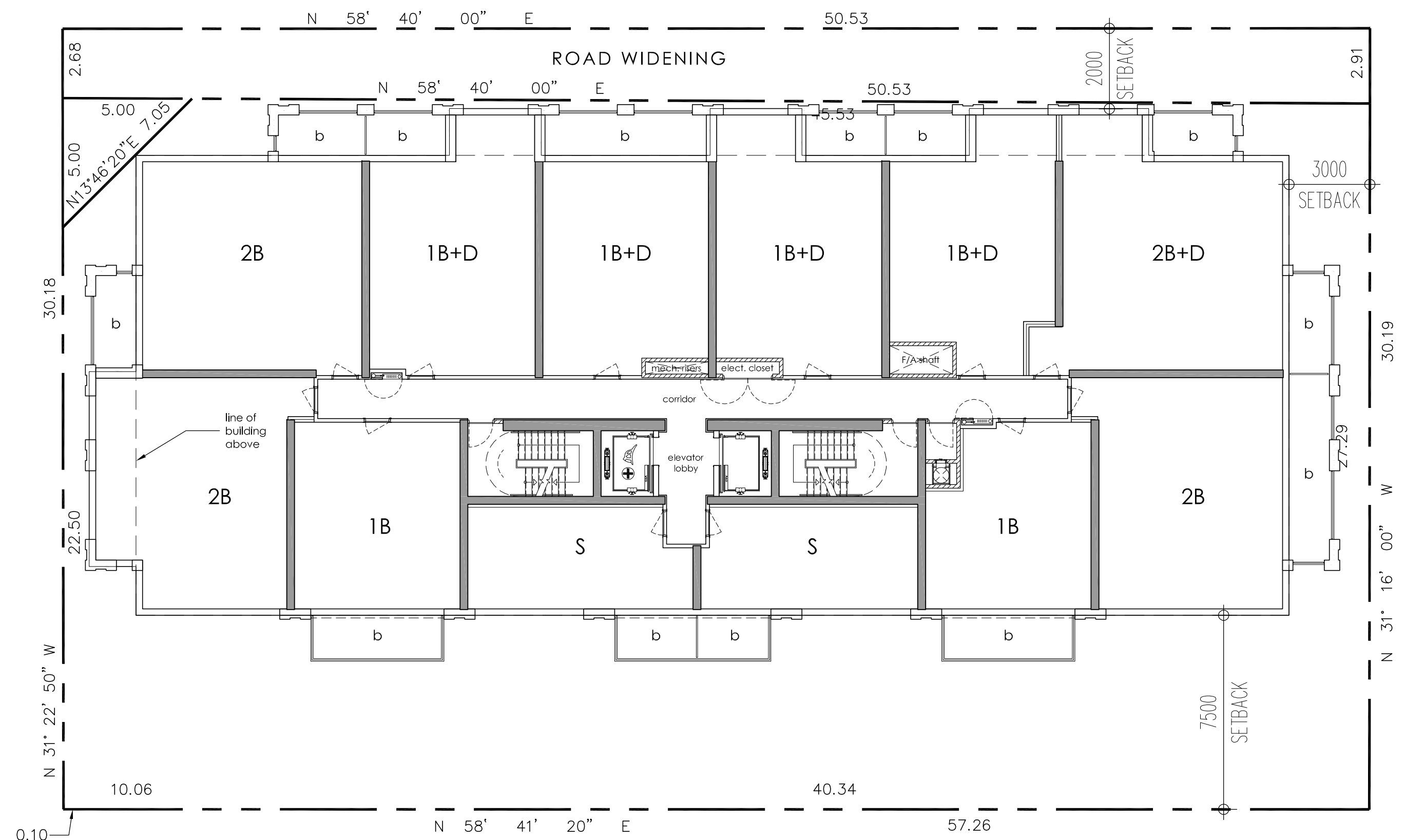
OTTAWA **RICH CRAFT** GROUP OF COMPANIES ONTARIO

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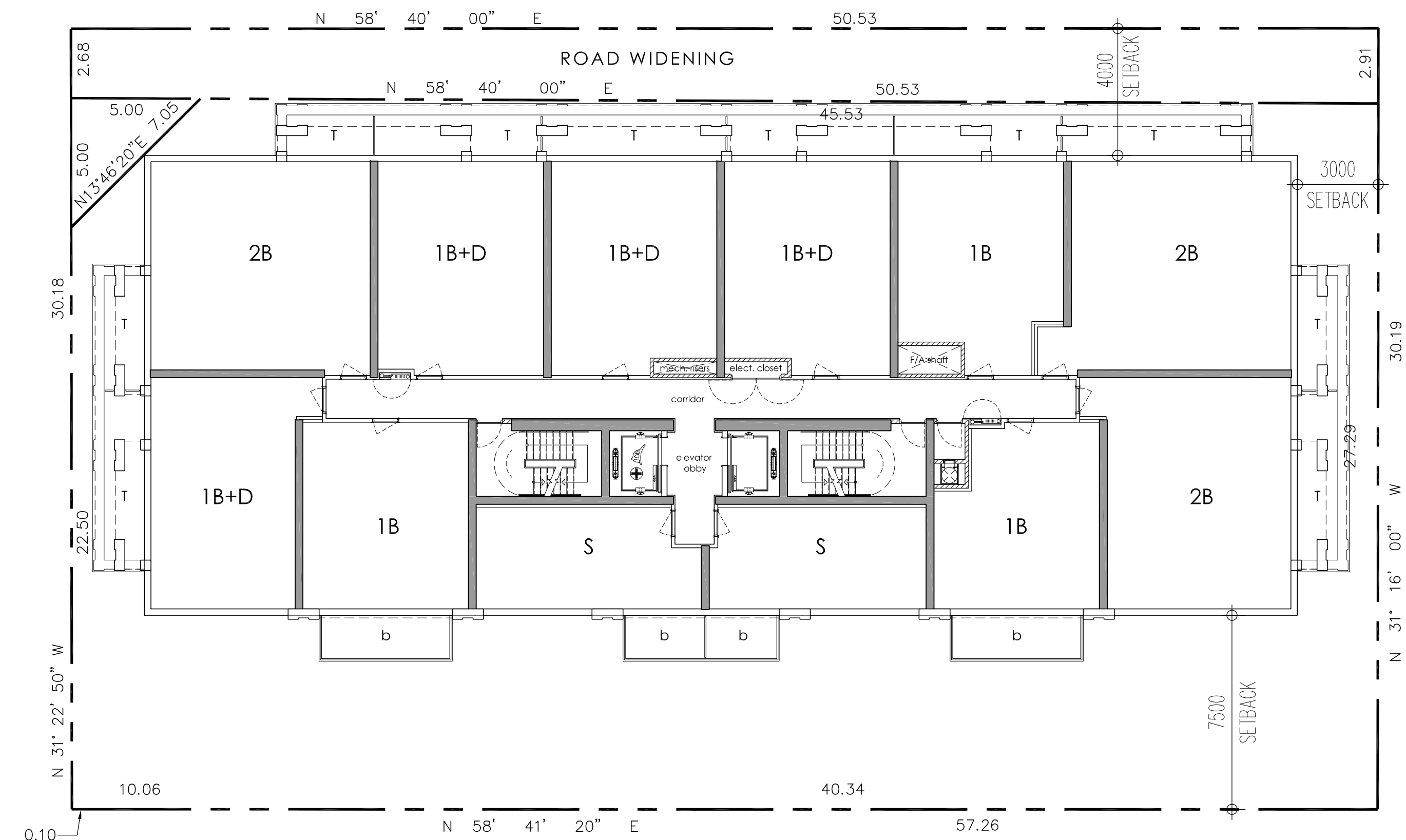
GROUND FLOOR PLAN

1:100 A301

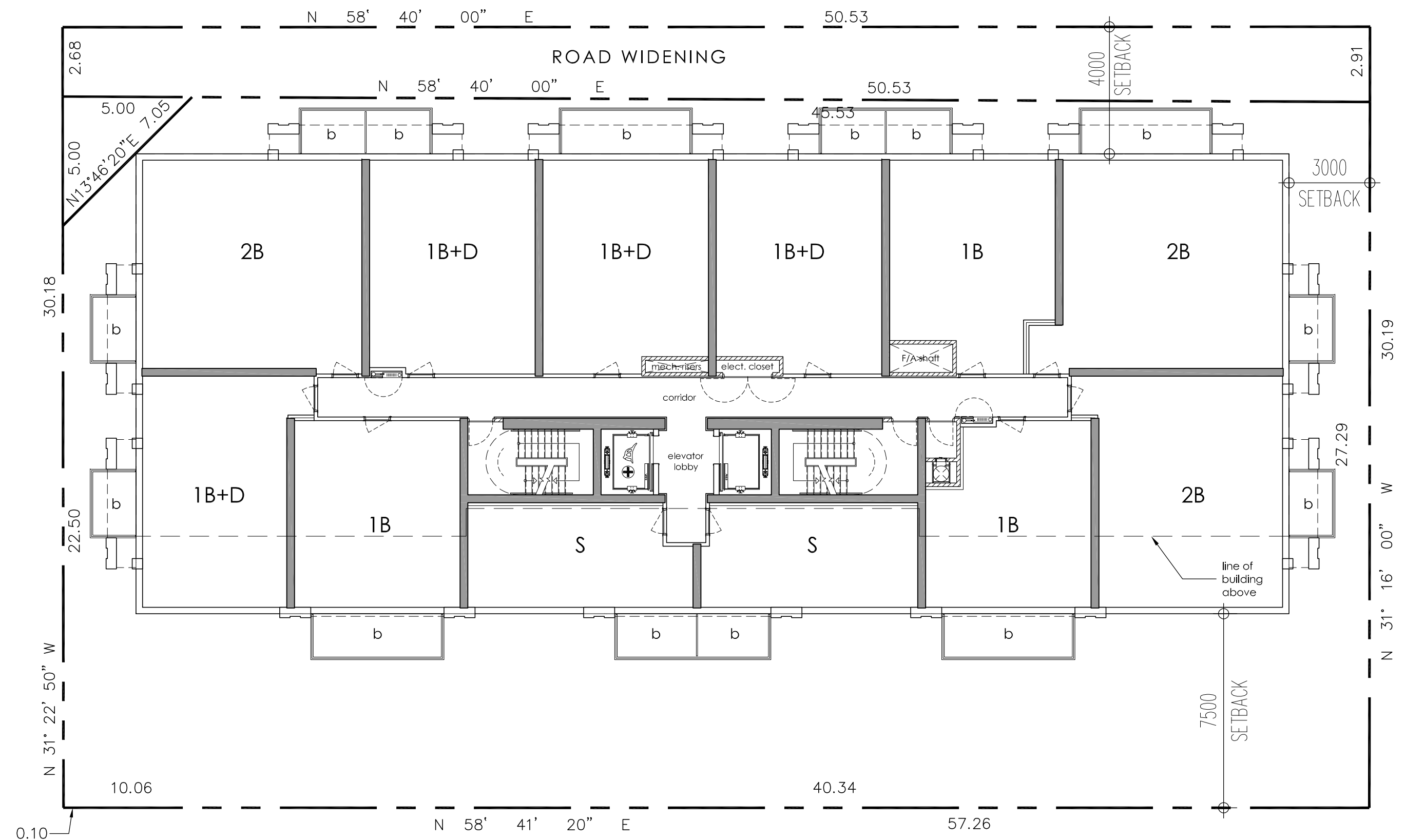
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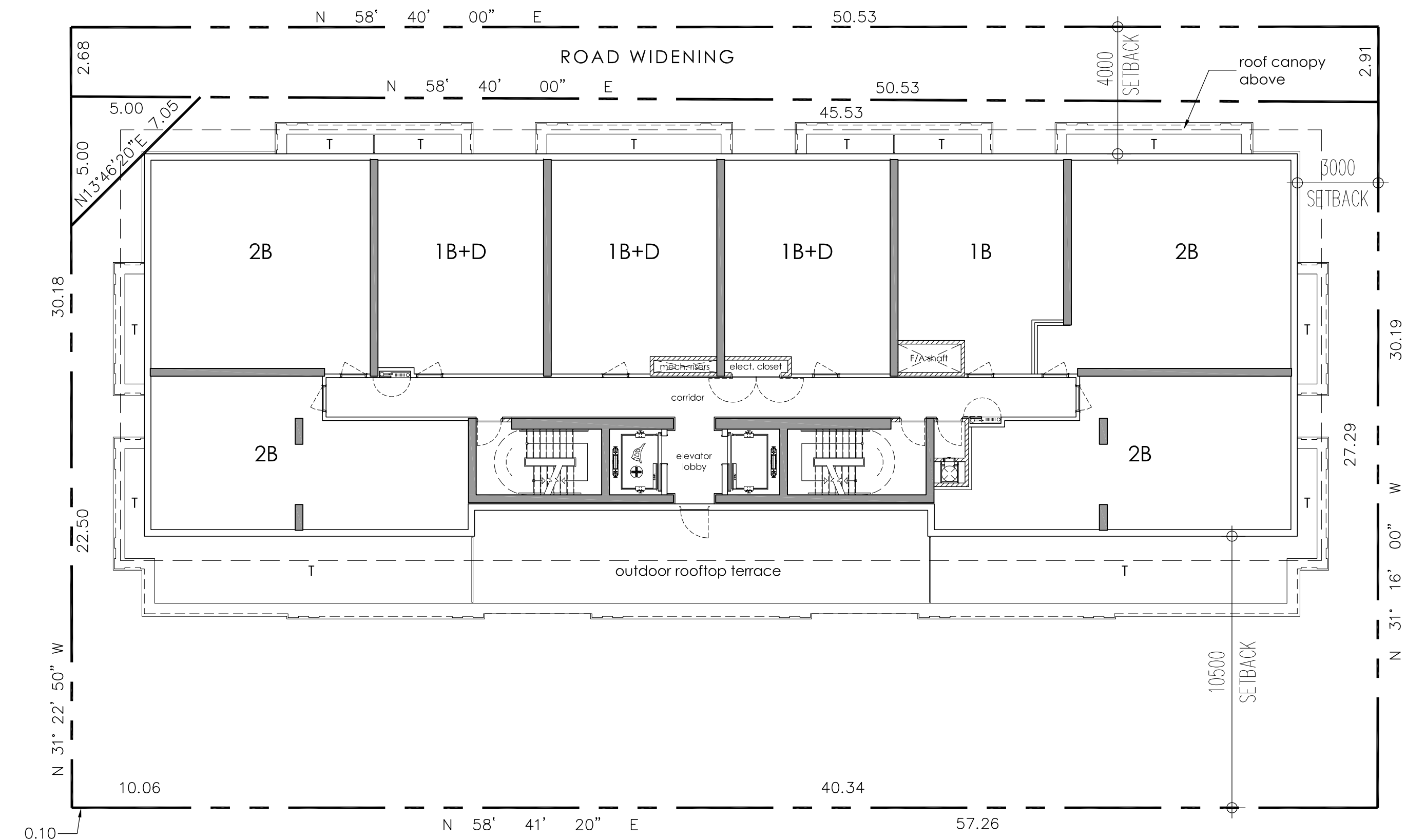
2nd - 3rd Floors



4th Floor



5th - 6th Floors



7th Floor

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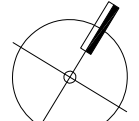
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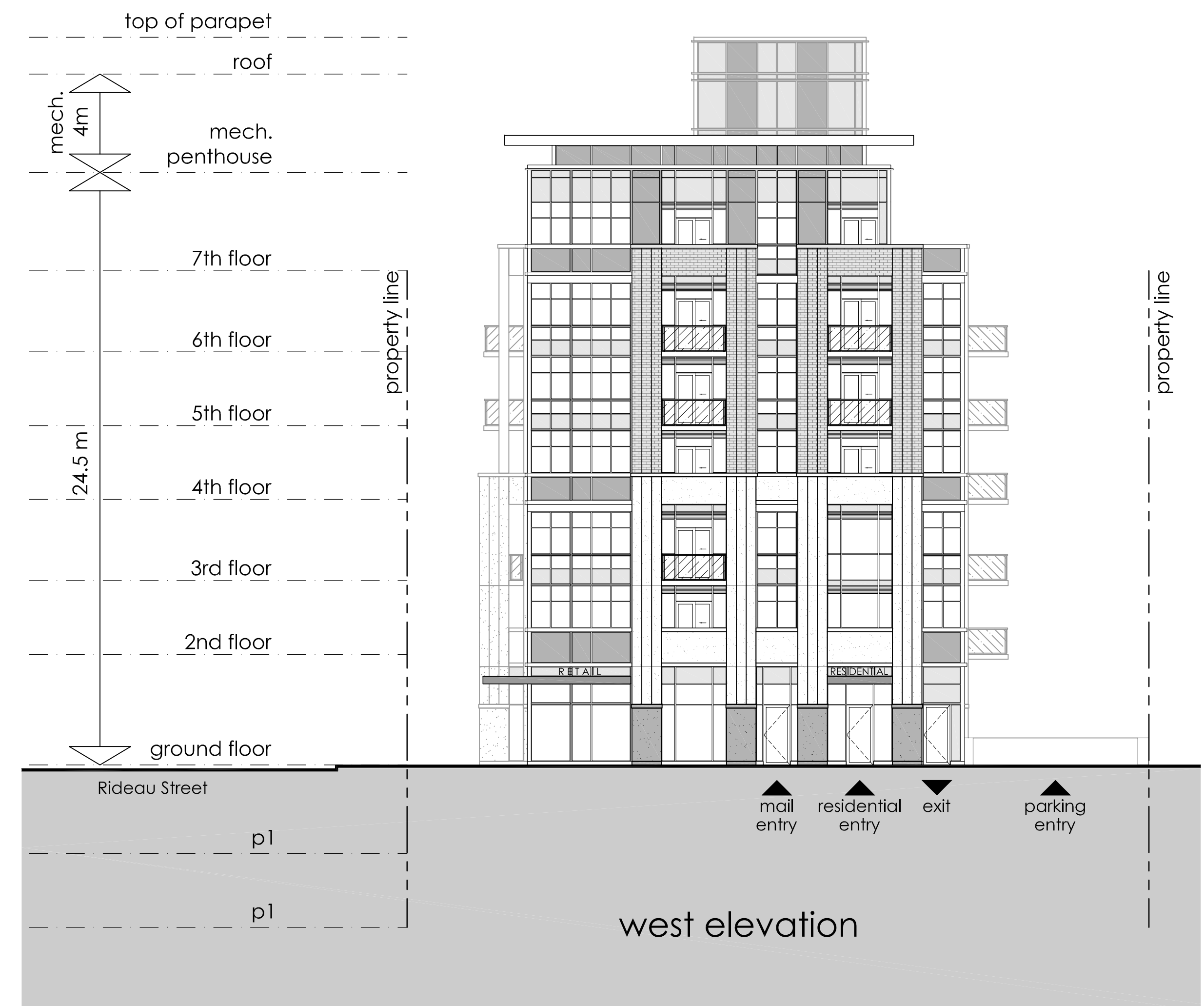
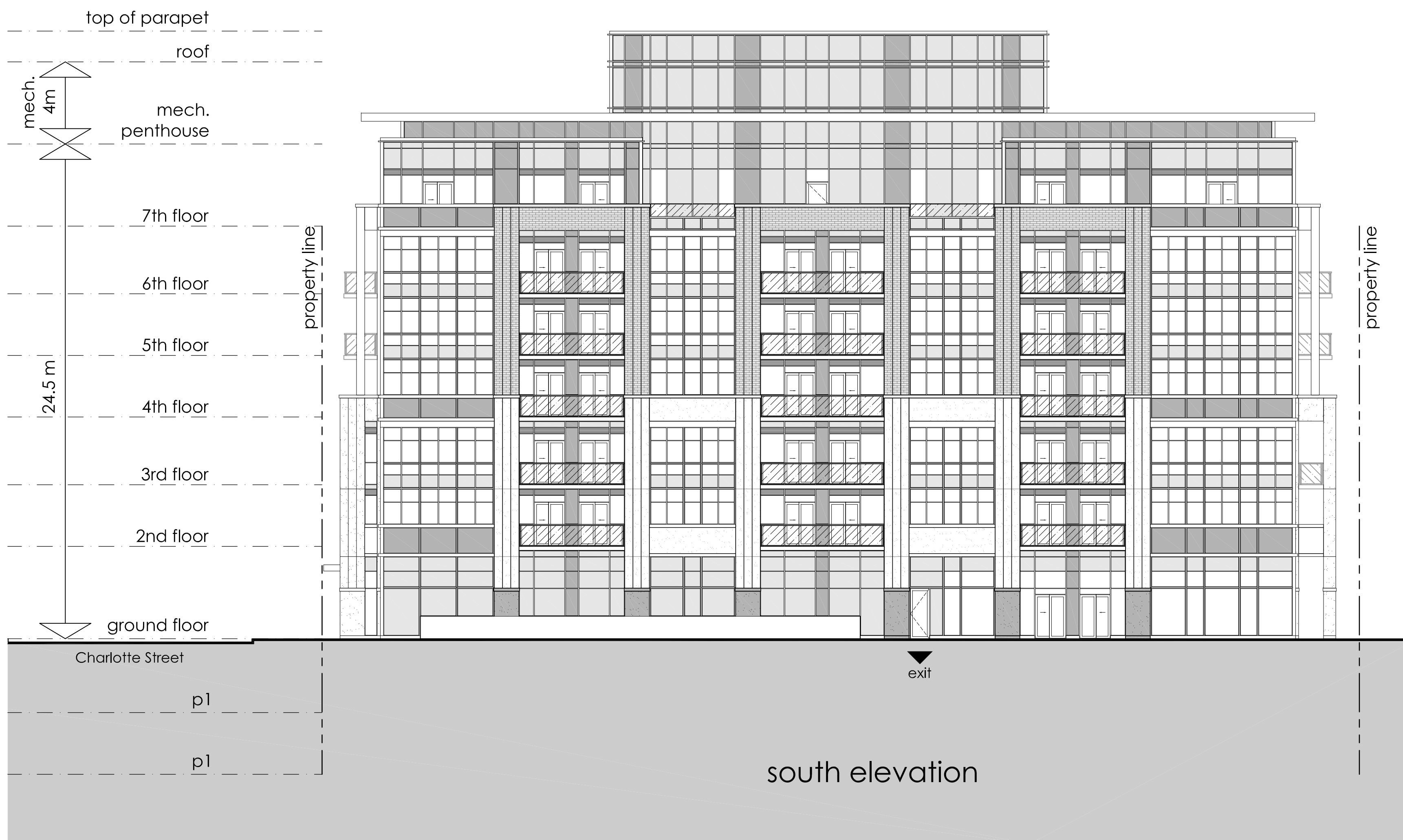
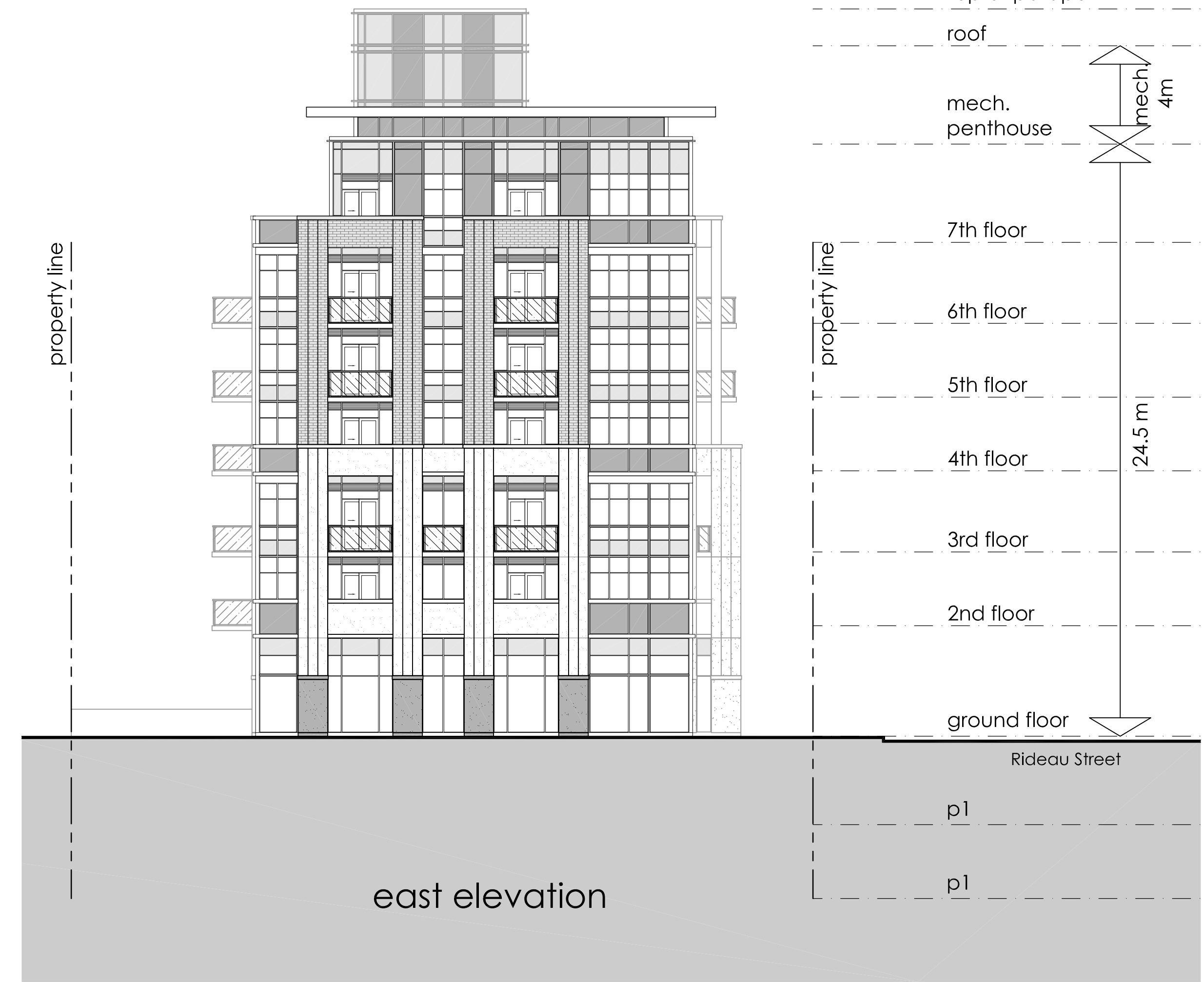
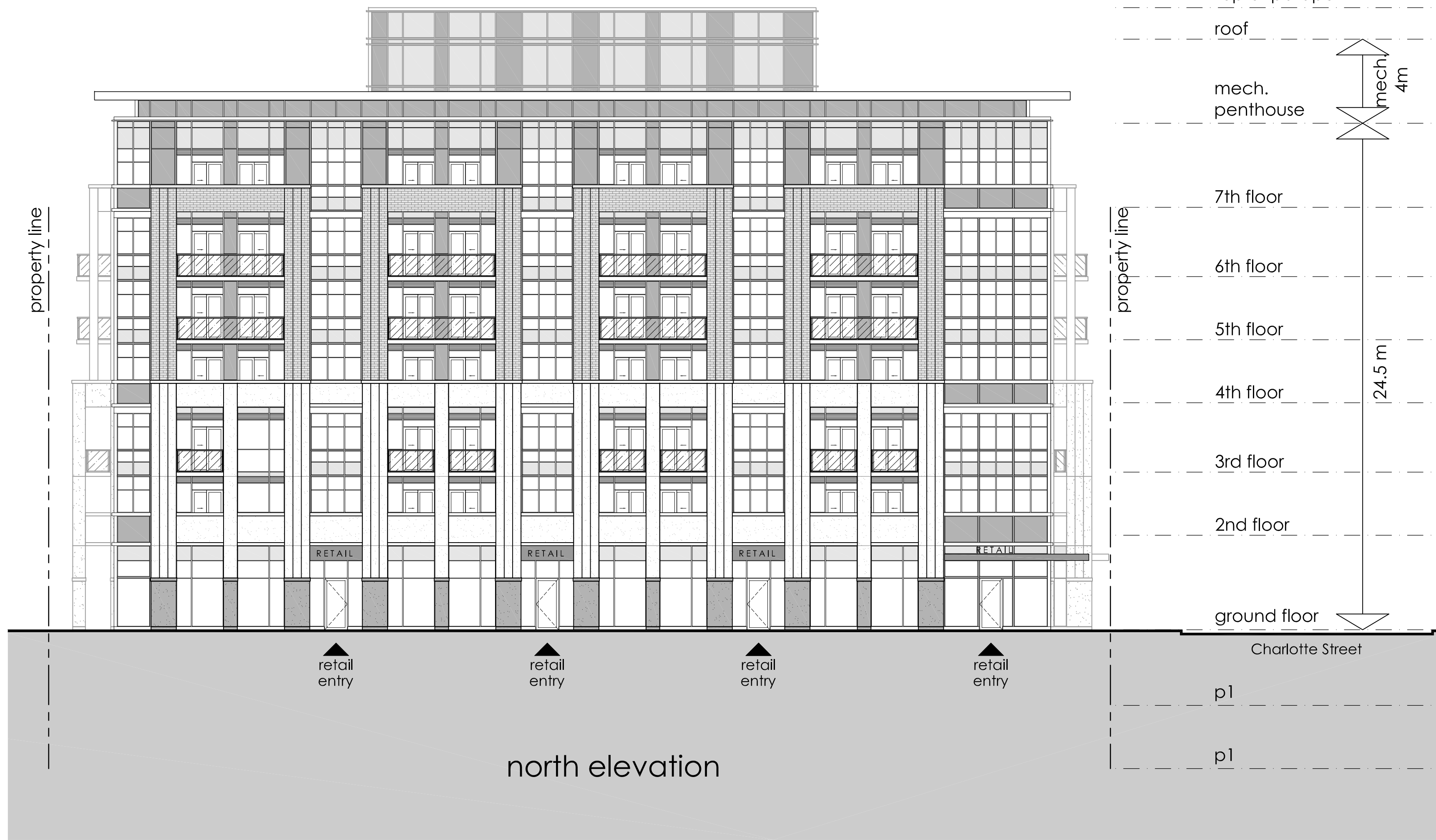
PROPOSED MIXED USE DEVELOPMENT
590 Rideau

OTAWA  ONTARIO
Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong
Checked By: D. Biase
Plot Date: Apr 22, 2016
Job #: 1313.152

2ND - 7TH
FLOORS PLANS

 1:150 A302

TITLEBLOCK SIZE: 610 x 950



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PROPOSED MIXED USE DEVELOPMENT

590 Rideau

OTTAWA RICHCRAFT Group of Companies ONTARIO

Project Architect: E. Corazza

Assistant Designer: L. Wong

Drawn By: L. Wong

Checked By: D. Biase

Plot Date: Apr 22, 2016

Job #: 1313.152

ELEVATIONS

1:150 A401

TITLEBLOCK SIZE: 610 x 950