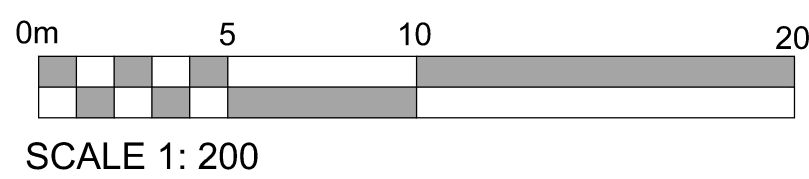
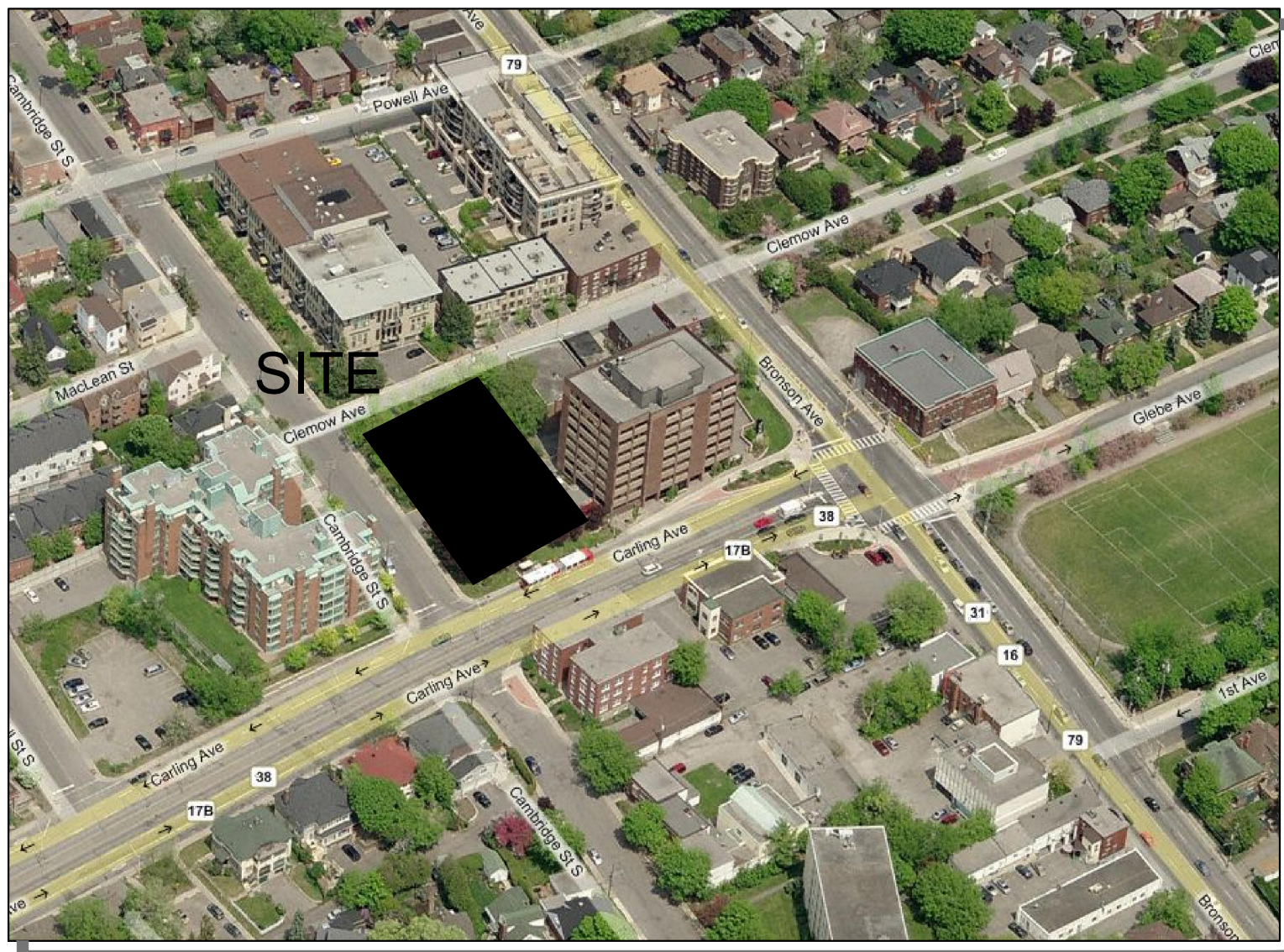


# SITE PLAN



## KEY MAP



APPROVED ☐ REFUSED ☐  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
  
SIMON M. DEIACO, MCIP, RPP  
PLANNER, DEVELOPMENT REVIEW CENTRAL  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

### SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- CONCRETE UNIT PAVERS AT ENTRANCE
- CONCRETE WALKING / DRIVING SURFACE
- SOFT LANDSCAPING
- TEMPORARY ASPHALT SURFACE
- WALL MOUNTED LIGHT
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- COMMERCIAL ENTRANCE AND OR FIRE EXIT
- BOLLARD STYLE BIKE RACK
- PROPERTY LINE

### DRAWING NOTES

- HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
- DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS
- EXISTING 1.5M CONCRETE CITY SIDEWALK TO BE REPLACED WITH NEW 2.0M TO CITY STANDARD
- PROPERTY LINE
- BUILDING SETBACK AS PER ZONING SCHEDULE #S303
- DESIGNATED NO PARKING LOADING ZONE (4 SPOTS)
- VEHICLE ENTRANCE RAMP TO U/G PARKING GARAGE WITH TRENCH DRAIN
- OUTLINE OF UNDERGROUND PARKING LEVELS
- OUTLINE OF GROUND FLOOR COMMERCIAL UNITS
- EXISTING FIRE HYDRANT
- EXISTING TREES TO BE REMOVED
- SIAMSESE CONNECTION
- SOFT LANDSCAPING, SEE LANDSCAPE PLAN
- GROUND FLOOR ENTRY CANOPY
- ROAD WIDENING LIMIT
- OUTLINE OF EXISTING UNDER GROUND PARKING STRUCTURE TO BE REMOVED
- 1800mm HIGH PRIVACY FENCE
- OUTLINE OF 16th FLOOR
- OUTLINE OF PRIVATE TERRACE ABOVE
- EXISTING 8 STOREY COMMERCIAL BUILDING
- PRIVACY SCREEN / GUARD RAILINGS
- EXISTING OVERHEAD HYDRO LINES
- EXISTING UTILITY POLE
- PROPOSED SERVICES LOCATION, SEE CIVIL
- 1.8 M WIDE CONCRETE WALKWAYS
- EXISTING 1200mm HT BRICK WALL TO BE REMOVED
- EXISTING RETAINING WALL
- UNIT PAVES PATH TO COMMERCIAL ENTRY
- EXISTING ASPHALT PARKING LOT / CURBING TO BE REMOVED
- EXISTING PAD AND BUS SHELTER
- EXISTING SITE SIDEWALK
- EXISTING UTILITY BOX
- EXISTING UTILITY POLE
- EXISTING CONCRETE SIDEWALK
- INTAKE & EXHAUST GRILLS
- UTILITY POLE GUIDE WIRE ANCHOR POINT
- CISTERNS IN P1 LEVEL WITH ACCESS COVERS
- COMMERCIAL ENTRY / EXIT DOOR
- EXTERIOR LIGHTING
- CONNECTION PATH WITH CURB AND STEP

### SURVEYOR

Annis O'Sullivan Vollebek Ltd.  
Ontario Land Surveyors  
14 Concourse Gate, Suite 500,  
Nepean, Ontario K2E 7S6  
Tel: (613) 727-0850  
Fax: (613) 727-1079  
Email: EdH@aovltd.com

### URBAN PLANNER

**FoTenn Consultants Inc.**  
223 McLeod Street  
Ottawa, ON Canada, K2P 0Z8  
Tel: (613) 730-5709  
Fax: (613) 730-1136  
E-Mail: carrara@fotenn.com

### CIVIL ENGINEER

**David Schaeffer Engineering Ltd.**  
120 Iber Road, Unit 203  
Stittsville, ON K2S 1E9  
Tel: (613) 836-0856  
Fax: (613) 836-7183  
Email: rfrees@DSEL.ca

### LANDSCAPE ARCHITECT

**LASHLEY + ASSOCIATES CORPORATION**  
950 GLADSTONE AVENUE, SUITE 202  
OTTAWA, ON K1Y 3E8  
Tel: (613) 233 8579  
Fax: (613) 233 4051  
Email: rpaliga@lashleya.com

### PROJECT INFORMATION

**ZONING** Zoning By-Law 2008-250 WEST - AM(2022) S303 EAST - AM(2022) H(28)  
**SITE AREA** 3,781.87 sq. m. (40,708) sq. ft.  
**BUILDING HEIGHT** 52.0 M  
**CAMBRIDGE STREET YARD SETBACK** 3.0 M  
**CLEW AVENUE YARD SETBACK** 2.0 M  
**INTERIOR YARD SETBACK** 4.0 M  
**AVERAGE GRADE** 76.80 GEO. ELEV.  
**AMENITY SPACE** ROOMING UNIT - 10% GFA = 175.2 sq. m.  
DWELLING UNIT - 6.0 sq. m. PER UNIT = 708.0 sq. m.

### PROJECT STATISTICS

**BUILDING HEIGHT** 52.0 M  
**AMENITY SPACE** PRIVATE BALCONY = 748.0 sq. m.  
1st FLOOR COMMUNAL EXTERIOR = 284.9 sq. m.  
1st FLOOR COMMUNAL INTERIOR = 112.1 sq. m.  
4th FLOOR COMMUNAL INTERIOR = 701.7 sq. m.  
4th FLOOR COMMUNAL EXTERIOR = 448.6 sq. m.  
TOTAL = 2,295.5 sq. m.  
**SITE COVERAGE - RETIREMENT HOME LAND ONLY** BUILDING FOOTPRINT = 64.5% 1,369.6 sq. m.  
DRIVING SURFACE = 2.3% 48.3 sq. m.  
LANDSCAPE AREA = 33.2% 704.35 sq. m.  
TOTAL = 100.0% 2,122.25 sq. m.

### GROSS BUILDING - AREAS

(CITY OF OTTAWA'S ZONING DEFINITION)  
**PARKING LEVEL (TYPICAL)** 0.0 sq. m. (0) sq. ft.  
**GROUND FLOOR** 0.0 sq. m. (0) sq. ft.  
**2nd & 3rd FLOOR** 2 x 875.9 sq. m. 1,751.8 sq. m. (18,856) sq. ft.  
**4th FLOOR - AMENITY** 0.0 sq. m. (0) sq. ft.  
**TYPICAL FLOORS (6 - 15)** 11 x 685.9 sq. m. 7,544.9 sq. m. (81,213) sq. ft.  
**16th FLOOR** 575.0 sq. m. (6,189) sq. ft.  
**TOTAL AREA (ABOVE GRADE)** 9,871.7 sq. m. (106,258) sq. ft.  
**EXISTING COMMERCIAL 8 STOREY OFFICE BUILDING** 3,911.0 sq. m. (42,100) sq. ft.

### UNIT STATISTICS

STUDIO - ROOMING UNIT 44  
1 BEDROOM - DWELLING UNIT 24  
1 BEDROOM + DWELLING UNIT 62  
2 BEDROOM - DWELLING UNIT 48  
**TOTAL** 168  
**MEDICAL HEALTH / PERSONAL SERVICES** 941.8 sq. m. 10,137 sq. ft.  
**MEDICAL HEALTH / PERSONAL SERVICES** 220.0 sq. m. 2,370 sq. ft.

### CAR PARKING ZONING AREA "A"

#### REQUIRED

EX OFFICE BLDG. - 1.0 PER 100m² OF G.F.A. 39  
RESIDENCE - 0.25 PER UNIT (168 UNITS) 42  
VISITOR - NOT REQUIRED 0  
MEDICAL HEALTH / PERSONAL SERVICES - 1.0 PER 100m² OF G.F.A. 9  
COMMERCIAL - NOT REQUIRED UNDER 500m² 0  
**TOTAL** 94

#### PROVIDED

EX OFFICE BLDG. 97  
RESIDENCE 78  
VISITOR - NOT REQUIRED 12  
MEDICAL HEALTH / PERSONAL SERVICES - 1.0 PER 100m² OF G.F.A. 19  
**TOTAL** 206

### LOCATION OF PARKING

EX OFFICE BUILDING AT GRADE 5  
EX OFFICE BUILDING P1 LEVEL 20  
PROPOSED BUILDING P1 LEVEL 16  
PROPOSED BUILDING P2 LEVEL 40  
PROPOSED BUILDING P3 LEVEL 41  
PROPOSED BUILDING P4 LEVEL 41  
PROPOSED BUILDING P5 LEVEL 43  
**TOTAL** 206

### BICYCLE PARKING

#### REQUIRED

ROOMING UNIT - 0.25 PER UNIT (50 UNITS) 13  
DWELLING UNIT - 0.25 PER UNIT (118 UNITS) 30  
MEDICAL HEALTH / PERSONAL SERVICES - 1.0 PER 1500m² OF G.F.A. 1  
COMMERCIAL - 1.0 PER 250m² OF G.F.A. 1  
**TOTAL** 45

#### PROVIDED

UNDERGROUND 47  
EXTERIOR AT GRADE 2  
**TOTAL** 49

### PROJECT DEVELOPER

**Katasa**  
69 Rue Jean-Proulx, unit 301  
Gatineau, QC J8Z 1W2  
Tel: 819-771-2787  
Fax: 819-412-0310

### LEGAL DESCRIPTION

**TOPOGRAPHICAL PLAN OF LOTS 9, 10, 11, 12 and PART OF LOTS 6, 7, 13, 14 and 15 REGISTERED PLAN 54 CITY OF OTTAWA**  
Prepared by Annis, O'Sullivan, Vollebek Ltd.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

| NO. | DESCRIPTION                              | DATE         |
|-----|------------------------------------------|--------------|
| 1   | ISSUED FOR S.P.C. AGREEMENT              | July 22, 20  |
| 2   | REVISED COMMERCIAL UNIT / ENTRY          | July 15, 20  |
| 3   | REVISED COMMERCIAL UNIT / ENTRY          | May 26, 20   |
| 4   | ISSUED FOR S.P.C. COMMENT 3 - ADDITIONAL | Apr. 02, 20  |
| 5   | ISSUED FOR S.P.C. COMMENT LETTER 3       | Jan. 28, 20  |
| 6   | ISSUED FOR S.P.C. COMMENT LETTER 2       | Dec. 03, 19  |
| 7   | ISSUED FOR PERMIT                        | June 21, 19  |
| 8   | ISSUED FOR 33% COORDINATION              | May, 17, 19  |
| 9   | ISSUED FOR S.P.C. COMMENT LETTER 2       | May, 07, 19  |
| 10  | ISSUED FOR 33% COORDINATION              | Mar. 19, 19  |
| 11  | ISSUED FOR S.P.C. COMMENT LETTER 1       | Jan. 24, 19  |
| 12  | ISSUED FOR S.P.C. APPLICATION            | June 20, 18  |
| 13  | REVISED DESIGN - COMMUNITY MEETING       | Sept. 21, 17 |
| 14  | ISSUED FOR - COMMUNITY MEETING           | Oct. 4, 16   |
| 15  | O.M.B. HEARING                           | Mar. 4, 13   |
| 16  | REVISED RAMP LOCATION                    | Mar. 4, 13   |
| 17  | ISSUED FOR ZONING REPORT                 | Jan. 15, 13  |
| 18  | ISSUED FOR ZONING AMENDMENT              | Mar. 28, 12  |

ARCHITECT SEAL: NORTH ARROW:

CLIENT:

ARCHITECT:

PROJECT TITLE: 275 CARLING AVENUE  
OTTAWA ONTARIO  
SHEET TITLE:

**SITE PLAN**  
DRAWN: RV  
SCALE: 1:200  
PROJECT NO: 1628  
CHECKED: R.L.A.  
SHEET No: **SP-1**