

Mark Young, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Colette Gorni at 11:15 am, Jan 20, 2020

TREE	SPECIES	DIAMETER AT BREAST HEIGHT (DBH)	CRITICAL ROOT ZONE (CRZ)	OWNERSHIP	CONDITION	ACTION
1	LITTLE LEAF LINDEN/ TILIA CORDATA	50 cm	5 m	PRIVATE	GOOD	REMOVE - WITHIN EXCAVATION
2	LITTLE LEAF LINDEN/ TILIA CORDATA	50 cm	5 m	PRIVATE	GOOD	REMOVE - WITHIN EXCAVATION
3	LITTLE LEAF LINDEN/ TILIA CORDATA	50 cm	5 m	PRIVATE	GOOD	RETAIN- INSTALL PROTECTION
4	LITTLE LEAF LINDEN/ TILIA CORDATA	50 cm	5 m	PRIVATE	GOOD	RETAIN- INSTALL PROTECTION
5	HONEYSUCKLE/ LONICERA	LESS THAN 10 cm		JOINT	GOOD	REMOVE - WITHIN EXCAVATION

TREES WERE IDENTIFIED AND EVALUATED BY JAMES LENNOX, B.L.A. OF JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS ON APRIL 8, 2019.

REFER TO 2/A001 TREE PROTECTION FENCING FOR TREE 3 AND 4.

4 TREE DISCLOSURE INFORMATION
A001 N.T.S



3 CONTEXT PLAN
A001 N.T.S

CITY OF OTTAWA TREE PROTECTION MEASURES

The following protection measures must be implemented for retained trees, both on site and on adjacent sites, prior to any tree removal or site works and maintained for the duration of construction on site.

- Erect a 1 metre high fence at the "critical root zone (CRZ)" of trees.
- do not place any material or equipment within the CRZ of the tree;
- do not attach any signs, notices or posters to any tree;
- do not raise or lower the existing grade within the CRZ without approval;
- tunnel or bore when digging within the CRZ of a tree;
- do not damage the root system, trunk or branches of any tree;
- ensure that exhaust fumes from all equipment are not directed towards any tree's canopy.

*The critical root zone (CRZ) is established as being 10 cm from the trunk of a tree for every cm of trunk DBH. The CRZ is calculated as DBH x 10 cm.

If tree roots are exposed during construction, they shall be immediately reburred with soil or covered with filter cloth or woodchips and kept moist until they can be buried permanently.

For retained Butternut trees the tree protection fencing should be erected at a 25 metre radius around the tree.

2 TREE PROTECTION FENCING
A001 N.T.S

ZONING:

IG: GENERAL INDUSTRIAL ZONE

REQUIREMENT	REQ'D	PROPOSED	COMPLIES
MIN. FRONT YARD SETBACK	3m	16.4m	Y
MIN. REAR YARD SETBACK	3m	16.6m	Y
MIN. EXTERIOR YARD SETBACK	3m	5.9m	Y
MIN. INTERIOR YARD SETBACK	3m	6.9m	Y
MAX. LOT COVERAGE	65%	33%	Y
MAX. FLOOR SPACE INDEX	2	0.34	Y
MIN. WIDTH OF LANDSCAPE AREA, ABUTTING A STREET OTHER CASES	3m NO MIN.	3m	Y
MAX. BUILDING HEIGHT	22m	11.1m	Y

SITE STATISTICS:

TOTAL SITE AREA:	3,032 m ²
BUILDING AREA:	
PHASE 1	851 m ²
PHASE 2	131 m ²
TOTAL	982 m ²
LOT COVERAGE:	32%
BUILDING HEIGHT:	11.1 m

BUILDING CLASSIFICATION

3.2.2.80 GROUP F, DIVISION 3, 1 STOREY

PARKING REQUIREMENTS:

(A) REQUIRED BY AREA (WAREHOUSE):
837m²/100m² (0.8 PER)
= 7 SPACES
(B) REQUIRED BY AREA (OFFICE):
250m²/100m² (2.4 PER)
= 6 SPACES
REQUIRED (A+B) PARKING = 13 SPACES
PROPOSED PARKING SPACES = 13 SPACES
REQUIRED BF SPACES = 1 SPACE (PER 20) = 1
PROPOSED BF SPACES = 1 SPACE

BICYCLE PARKING REQUIREMENTS:

(A) WAREHOUSE = 0
(B) OFFICE = 1

LOADING SPACES REQUIREMENTS:

(A) WAREHOUSE = 1
(B) OFFICE = 0

NOTES:

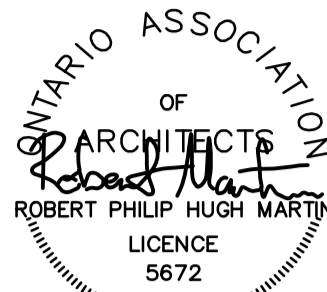
- LANDSCAPE BUFFER.
- SHARED DRIVEWAY.
- ROAD RIGHT-OF-WAY PROTECTION.
- CANOPY.
- BICYCLE PARKING SPACES & RACK.
- 100 YEAR POND. REFER TO CIVIL.
- GARBAGE INSIDE THE BUILDING.
- EXISTING CURB AS PER TOPO.
- TACTILE WALKING SURFACE INDICATOR.

LEGEND:

---	PROPERTY LINE
---	SETBACK
---	CENTRE LINE OF ROAD
---	ROAD RIGHT-OF-WAY PROTECTION
▼	ENTRYWAY OR EXIT
■	PAVEMENT
■	GRASS
■	CONCRETE SIDEWALK
■	FIRE/TRUCK ROUTE
○	B.F. PARKING
○	EXISTING TREES TO REMAIN
○	EXISTING TREES TO BE REMOVED
○	TREE PROTECTION FENCING/CRITICAL ROOT ZONE. MODIFY PROTECTION AND EXCAVATION.
○	SHRUBS TO BE REMOVED
■	CATCH BASINS. REFER TO CIVIL



SEAL:

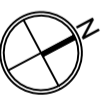


03	REVISED PER CITY COMMENTS	2018/09/10
02	ISSUED FOR SITE PLAN APPLICATION	2019/10/05
01	ISSUED FOR CLIENT APPROVAL - MURDOCK PRICING	2019/25/03

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DO NOT COPY. DO NOT SCALE DRAWINGS.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED

NORTH:



PROJECT:

RED PINE WAREHOUSE

31 ANTARES DRIVE

NEPEAN

DRAWING:

SITE PLAN /
LANDSCAPING PLAN

DESIGNED BY:
LB

APPROVED BY:
LB

DRAWN BY:
FM

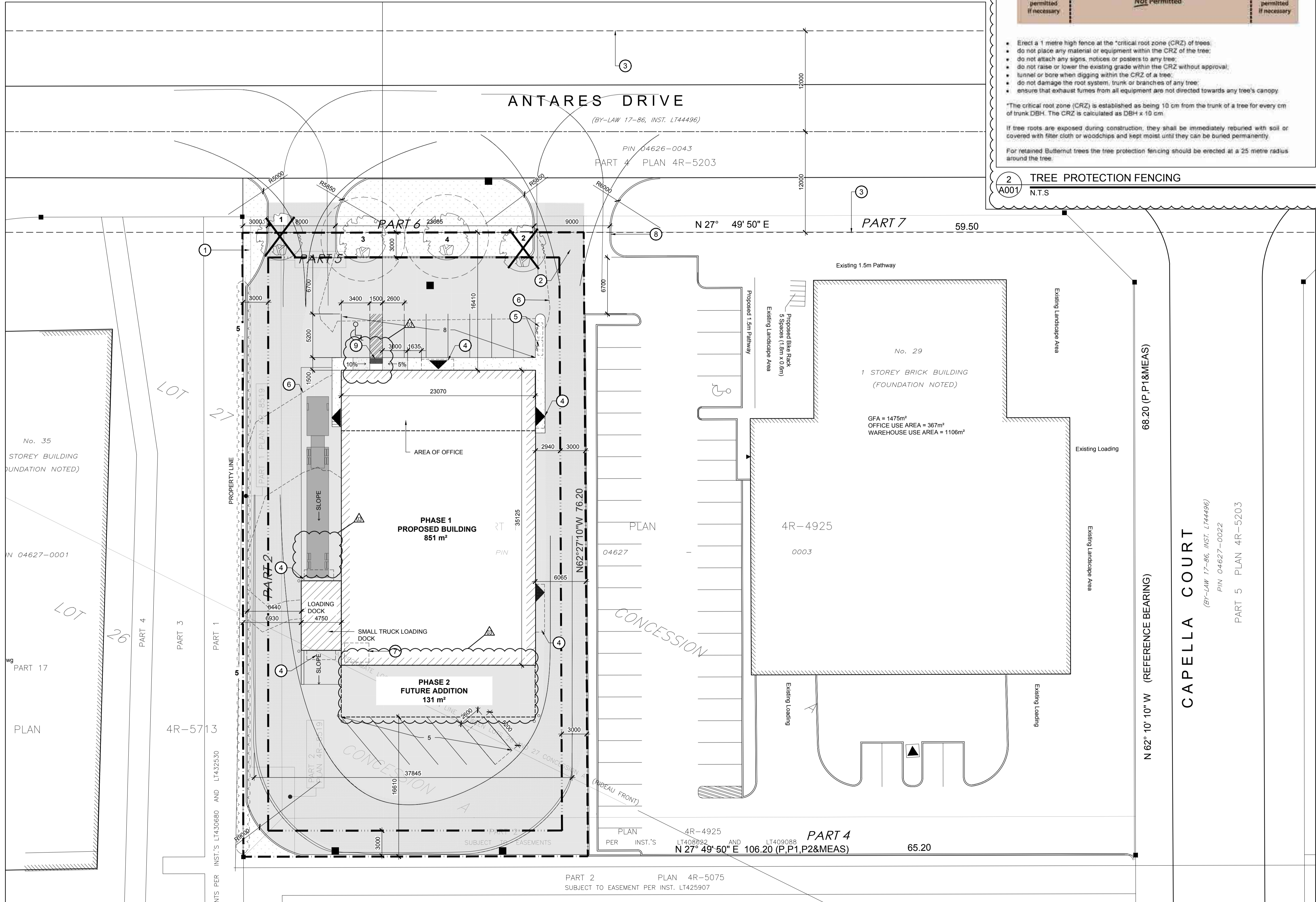
DATE:
February 2019

SCALE:
AS SHOWN

RMA PROJECT NUMBER:
18068

SHEET NUMBER:

A001



1 SITE PLAN
A001 1:250