

Pathways at Findlay Creek, Block 225 - Zoning Table

ZONING PROVISIONS - City of Ottawa Zoning By-law 2008-250		
PROVISION	REQUIRED	PROPOSED
RESIDENTIAL FOURTH DENSITY, SUBZONE Z (R4Z [2370])		
MIN LOT WIDTH (m)	18	133.66
MIN LOT AREA (m ²)	1,400	8980.97
MAX BUILDING HEIGHT (m)	11	9.75 (from grade to roof peak)
MIN FRONT YARD SETBACK (m)	3	4.39
MIN CORNER SIDE YARD SETBACK (m)	3	N/A
MIN REAR YARD SETBACK (m)*	6	3.27
MIN INTERIOR SIDE YARD SETBACK (m)	1.2, but in the case of an abutting vacant lot, a minimum required interior side yard of 1.8	3.14
PARKING RATES		
MIN PARKING SPACE RATE	1 per dwelling unit	1 per dwelling unit
MIN VISITOR PARKING SPACE RATE	0.2 per dwelling unit	1 per dwelling unit + 8 on-street
PLANNED UNIT DEVELOPMENT		
MIN WIDTH OF PRIVATE WAY (m)	6	6
MIN SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY (m)	1.8	2.3
MIN SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM A PRIVATE WAY (m)	5.2	5.2
MIN SEPARATION AREA BETWEEN BUILDINGS WITHIN A PUD - WHERE THE HEIGHT OF ABUTTING BUILDINGS IS LESS THAN OR EQUAL TO 14.5M (m)	1.2	3.3

* Minor Variance Required

LEGEND

- PROPOSED FIRE ROUTE

HYD ● HYDRANT C/W VALVE & LEAD

■ CATCH BASIN

● CATCH BASIN MANHOLE

● SANITARY MANHOLE

○ STORM MANHOLE

△ ROGERS PEDESTAL

○ BELL PEDESTAL

○ REAR YARD DRAIN

○ STREET LIGHT

▲ TRANSFORMER

■ COMMUNITY MAILBOX

— DC — DEPRESSED CURB

— PROPOSED CHAINLINK FENCE

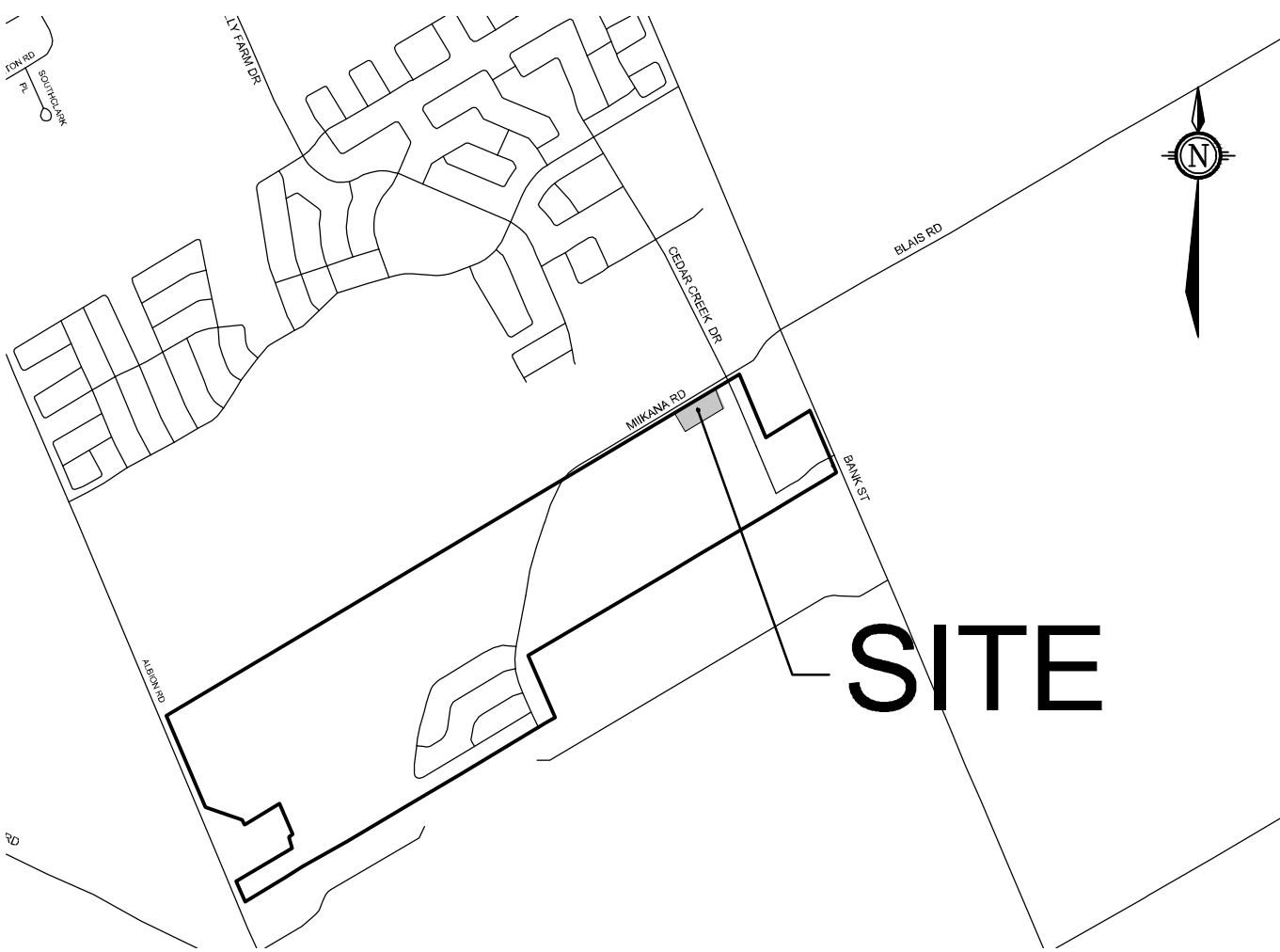
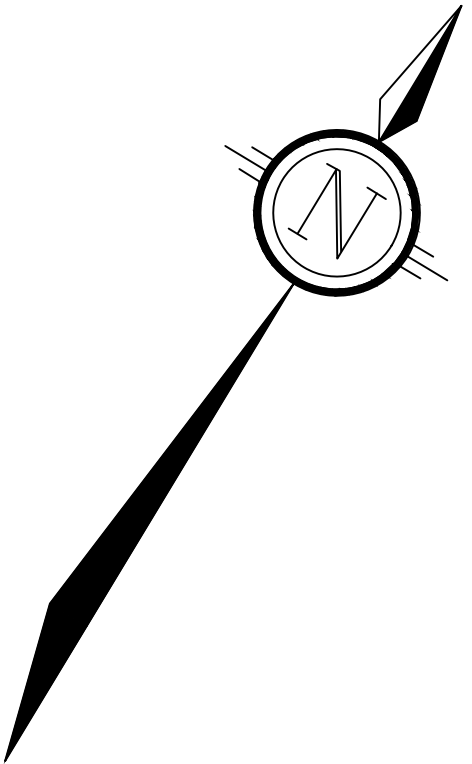
— PROPOSED 1.8m HIGH NOISE BARRIER

— PROPOSED RETAINING WALL

■ PROPOSED CONCRETE


LILY XU, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Lily Xu at 12:11 pm, Dec 03, 2019



KEYPLAN
NOT TO SCALE

SITE PLAN
BLOCK 225

PART OF LOT 21
CONCESSION 4, RIDEAU FRONT
FORMER CITY OF GLOUCESTER
Now CITY OF OTTAWA
BLOCK 225, PLAN 4M-1617



1 : 300



No.	REVISION	DATE	BY
6	NOISE BARRIER ADDED	NOV 01/19	EP
5	ISSUED FOR SITE PLAN RESUBMISSION	SEPT 26/19	EP
4	UPDATED ACCESS RADII	AUG 08/19	EP
3	ISSUED FOR SITE PLAN RESUBMISSION	JUL 18/19	EP
2	ISSUED FOR SITE PLAN RESUBMISSION	JUN 27/19	EP
1	ISSUED FOR SITE PLAN APPLICATION	APR 04/19	EP



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ISSUED
NOVEMBER, 2019

PROJECT No.
117182

DRAWING No.
117182-SP

NOTE:
THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM
ANNIS, O'SULLIVAN, VOLLEBEKK LTD., ONTARIO LAND SURVEYORS
PRELIMINARY PLAN OF SUBDIVISION (4M-1617); JOB No. 19429-17

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D07-12-19-0060