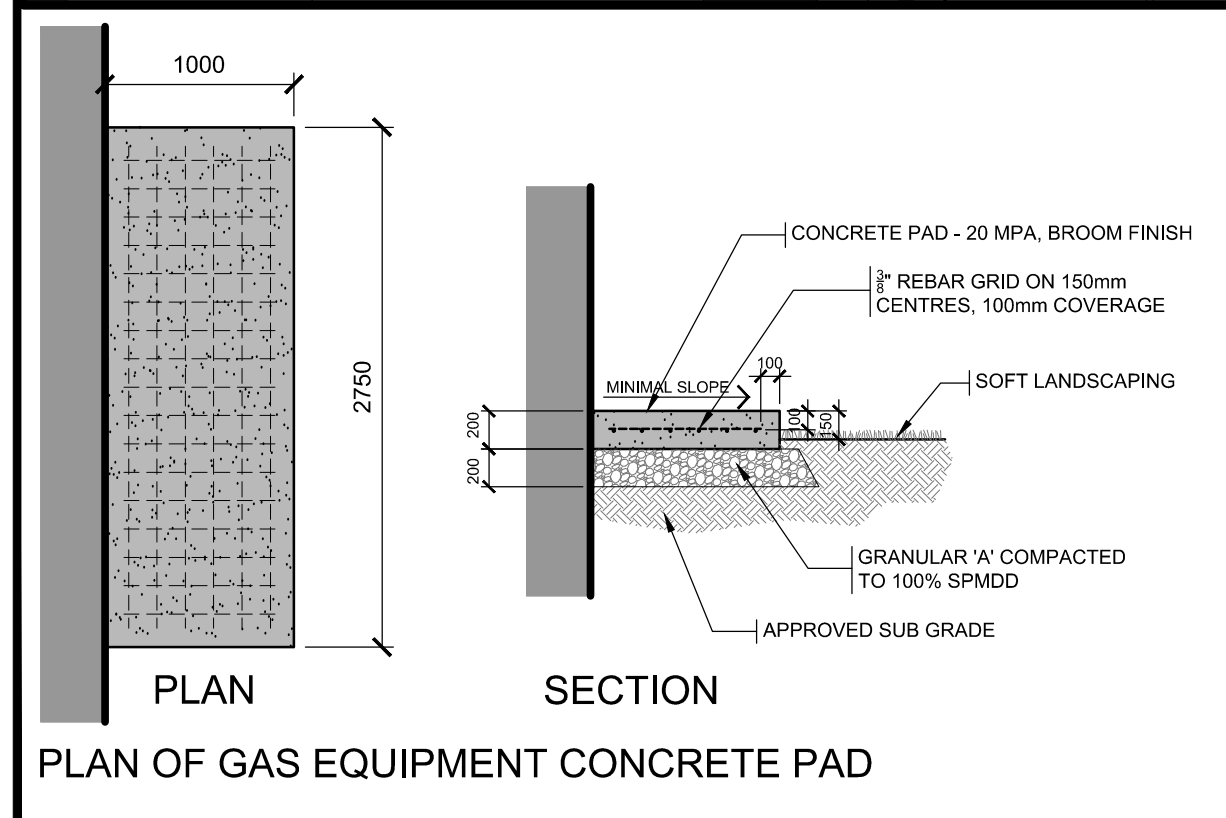
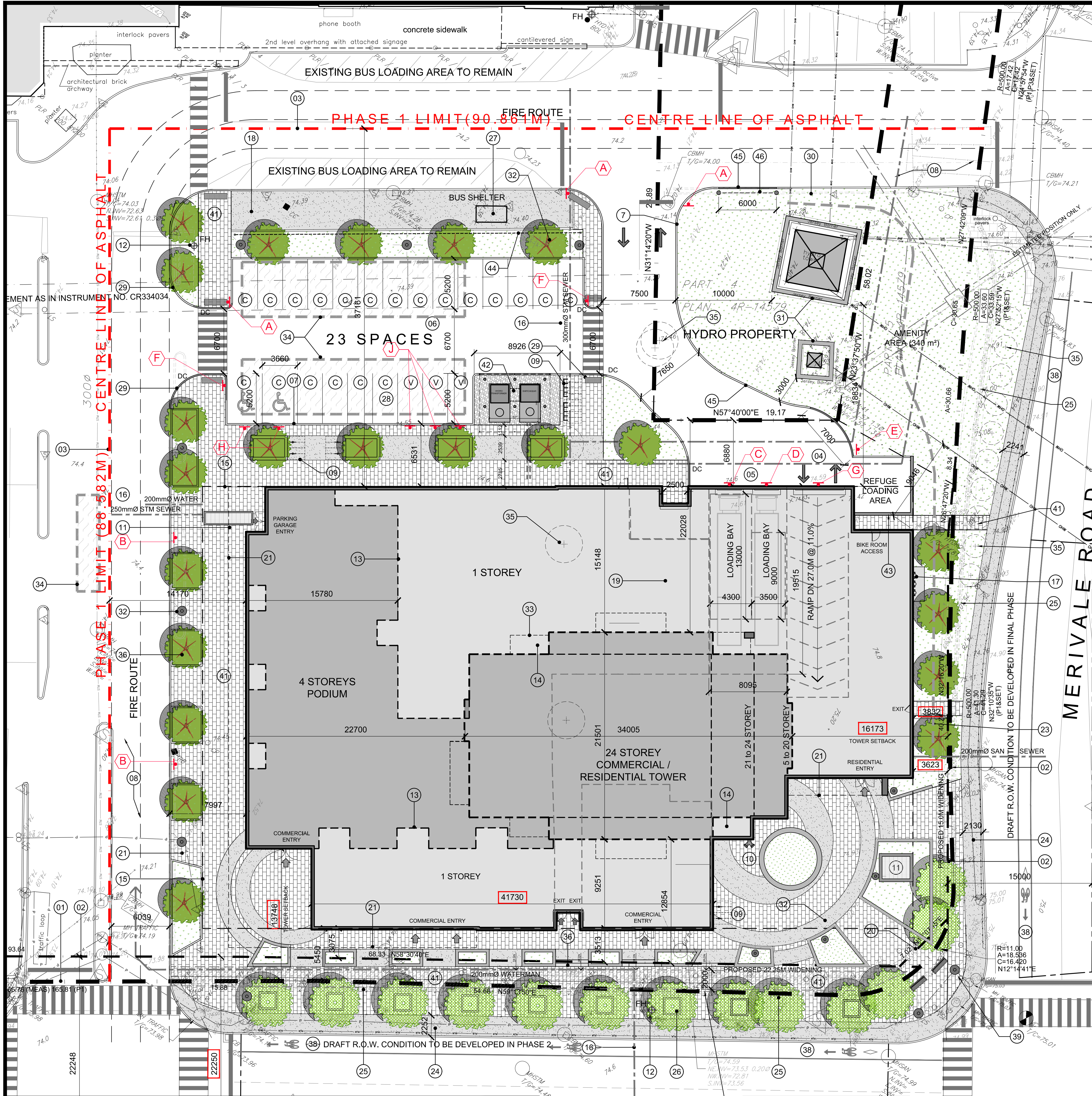
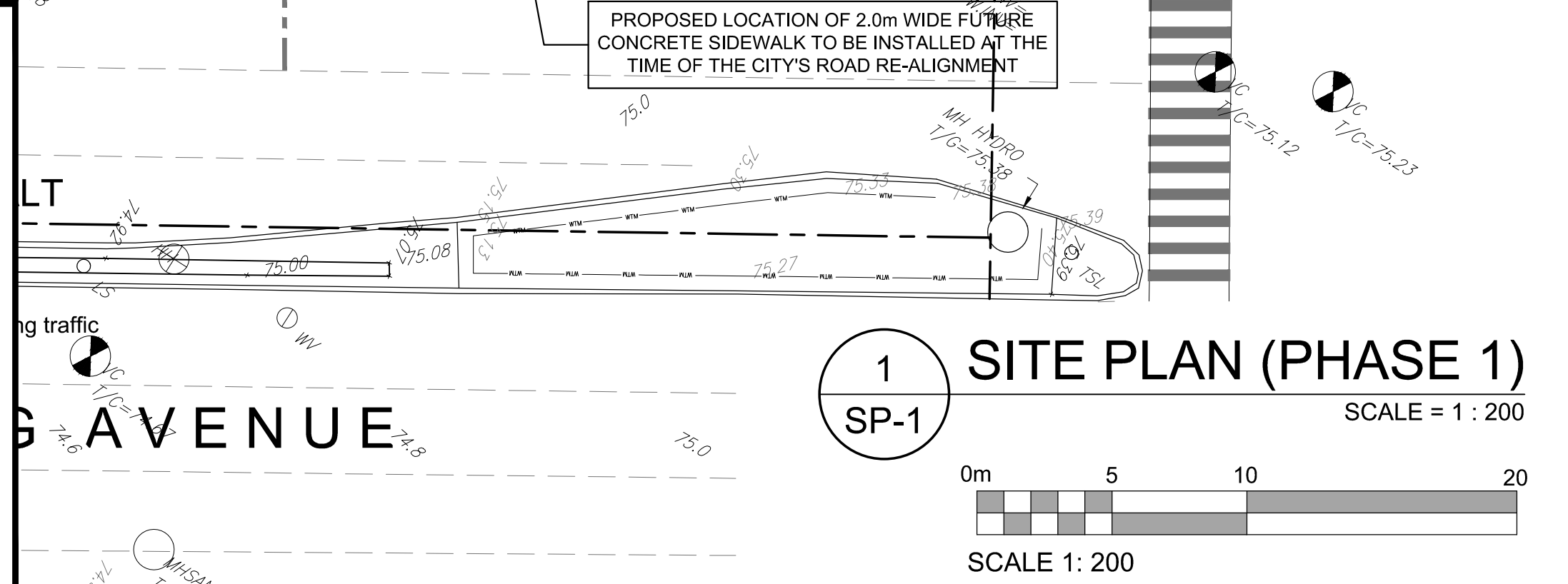




SITE SIGNAGE	
A	STOP SIGN
B	FIRE ROUTE - NO PARKING
C	COMMERCIAL LOADING BAY
D	RESIDENTIAL LOADING BAY
E	REFUGE PICK UP - NO DUMPING
F	NO HEAVY TRUCKS BEYOND THIS POINT 'EMERGENCY VEHICLES EXEMPT'
G	LOW HEAD ROOM (MAX HEIGHT)
H	HANDICAPPED PARKING
J	VISITOR PARKING SPOT

NOTE: - ALL SIGNAGE TO BE MOUNTED A MINIMUM OF 2.0M HT. TO LOWEST POINT ON POST.
- OVERHEAD SIGNS TO BE MOUNTED AT LOWEST EDGE OF BUILDING ABOVE



LEGAL DESCRIPTION

TOPOGRAPHIC PLAN of
LOTS 45, 46, 50 TO 57 INCLUSIVE AND
PART OF LOT 49
REGISTERED PLAN NO. 348 AND PART OF
LOT 48, NO. 311 AND PART OF LOTS 22 & 23
CONCESSION 1 (OTTAWA FRONT)
(GEOGRAPHIC TOWNSHIP OF NEPEAN)
CITY OF OTTAWA

PROJECT DEVELOPER

RioCan
Real Estate Investment Trust
2300 Yonge Street, Suite 500,
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CIVIL ENGINEER

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120 Iber Road, Unit 203
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LANDSCAPE ARCHITECT

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Ottawa, Ontario K2H 5A8
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Fax: 1-866-343-3942
Email: JL@jbla.ca

SURVEYOR

Stantec
1331 Clyde Avenue, Suite 400
Ottawa ON K2C 3G4
Phone: (613) 724-4096
Cell: (613) 762-7068
E-Mail: BWBester@stantec.com

KEY MAP

DRAWING NOTES

- PROPERTY LINE
- PROPOSED ROAD WIDENING
- PHASING LINE
- PARKING GARAGE ENTRY DRIVEWAY / RAMP WITH TRENCH DRAIN
- GARAGE / LOADING BAY ENTRY
- COMMERCIAL / VISITOR ASPHALT PARKING LOT
- 150mm BARRIER CURB
- EXISTING SITE ENTRY TO REMAIN
- BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK
- SIAMSE CONNECTION
- AIR INTAKE / EXHAUST GRILL
- FIRE HYDRANT
- OUTLINE OF PODIUM LEVELS ABOVE
- OUTLINE OF TOWER LEVELS ABOVE
- OUTLINE OF UNDERGROUND PARKING LEVELS
- PROPOSED LOCATION OF UNDERGROUND UTILITIES
- GAS REGULATOR / METER EQUIPMENT AREA
- EX. CONCRETE SIDEWALK WITH STREET CURB TO BE REBUILT
- EXISTING 1 STOREY BUILDING TO BE REMOVED
- 5.0 x 5.0m SITE TRIANGLE
- CANOPY ABOVE GROUND FLOOR
- SITE FURNITURE - SEE LANDSCAPE PLAN
- SWALE - SEE CIVIL PLAN
- EXISTING CITY SIDEWALK
- EXISTING WALL / FENCE TO BE REMOVED
- EXISTING CITY TREES TO REMAIN
- EXISTING BUS STOP / SHELTER TO REMAIN
- STANDARD PARKING SPACE 2.6 x 5.2 m
- DEPRESSED CURB WITH TWSI AS REQUIRED
- EXISTING PARKING LOT / CURBS / ISLANDS / LIGHTS POLES. TO BE REMOVED
- EXISTING HYDRO TOWER WITH CONCRETE BARRIERS AT BASE
- LIGHT STANDARD
- BALCONY ABOVE
- STORM WATER STORAGE SYSTEM
- EXISTING TREE TO BE REMOVED
- LOW STEP, MAXIMUM HEIGHT 190mm
- EXISTING BLACK METAL CITY BENCH
- BICYCLE LANE
- STREET / SIDEWALK LIGHTING
- DISABLED PARKING SPACE 3.66 x 5.2 m
- 2.0M WIDE PEDESTRIAN - HARD SURFACE WALK
- HYDRO TRANSFORMER / EQUIPMENT
- RETAINING WALL, UNDER 0.6 m
- 1.2 m HT. BLACK METAL PICKET FENCE
- DEPRESSED CURB
- BOLLARD WITH BAR STYLE GATE

PROJECT INFORMATION	
ZONING	AM10(2393) S368
SITE AREA	36,896 sq. m. (397,145) sq. ft.
BUILDING HEIGHT	AREA 'A' = 24 STOREYS AREA 'B' = 36 STOREYS
AMENITY AREA - 6m ² PER UNIT	1,216 sq. m.
PROJECT STATISTICS - PHASE 1 ONLY	
SITE AREA	7,191.2 sq. m. (77,405) sq. ft.
BUILDING HEIGHT	(78.0 M) 24 STOREYS
AVERAGE MEAN GRADE	(GEO. ELEV.) 74.80
GROSS BUILDING - AREAS	
(CITY OF OTTAWA'S DEFINITION)	
PARKING LEVELS (2 LEVELS U/G)	0.0 sq. m. (000) sq. ft.
GROUND FLOOR	1,804.1 sq. m. (19,419) sq. ft.
2nd to 4th FLOOR	3 x 1,045.0 sq. m. 3 x (11,243) sq. ft.
5th FLOOR	0.0 sq. m. (0) sq. ft.
6th to 10th FLOOR	5 x 510.9 sq. m. 5 x (5,496) sq. ft.
11th to 20th FLOOR	10 x 515.05 sq. m. 10 x (5,544) sq. ft.
21st & 22nd FLOOR	2 x 460.8 sq. m. 2 x (4,968) sq. ft.
23rd & 24th FLOOR	2 x 393.8 sq. m. 2 x (4,239) sq. ft.
MECHANICAL FLOOR	0.0 sq. m. (000) sq. ft.
TOTAL AREA	14,532.8 sq. m. (154,492) sq. ft.
UNIT STATISTICS	
STUDIO UNIT	13
1 BEDROOM UNIT	135
2 BEDROOM UNIT	65
TOTAL	213
COMMERCIAL RETAIL	1,612.3 sq. m. (17,359) sq. ft.
COMMERCIAL RESTAURANT	191.8 sq. m. (2,065) sq. ft.
AMENITY AREA	
EXTERIOR COMMUNAL AT GRADE	340.0 sq. m. 3,660 sq. ft.
5th FLOOR COMMUNAL AMENITY ROOM	460.0 sq. m. 4,960 sq. ft.
5th FLOOR COMMUNAL ROOF TOP PATIO	640.0 sq. m. 6,940 sq. ft.
PRIVATE BALCONIES	1,505.0 sq. m. 16,200 sq. ft.
TOTAL =	2,945.0 sq. m. 31,760 sq. ft.
REQUIRED - 6.0M ² PER UNIT (213) =	1,278.0 sq. m. 13,796 sq. ft.
REQUIRED COMMUNAL @ 50% =	690.0 sq. m. 7,428 sq. ft.
LOT COVERAGE	
PAVED SURFACE =	1,849.9 sq. m. 25.7%
BUILDING FOOTPRINT =	2,830.0 sq. m. 39.3%
LANDSCAPE OPEN SPACE =	2,512.3 sq. m. 35.0%
TOTAL =	7,191.2 sq. m. 100.0%
CAR PARKING - PROVIDED	
RESIDENTIAL UNITS	0.61 per UNIT
RESIDENTIAL VISITOR	0.1 per UNIT
COMMERCIAL RETAIL	3.24 per 1,000 sq. ft.
COMMERCIAL CAFÉ	64
TOTAL	208
STANDARD PARKING SPACE	2.6 x 5.2 m
SMALL CAR PARKING SPACE	2.4 x 4.6 m
HANDICAPPED SPACE	3.66 x 5.2 m

NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

SAIDE SAYAH
MANAGER, CENTRAL BRANCH
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA
APPROVED
By Saide Sayah at 12:19 pm, Sep 24, 2020

REVISED AS PER CITY COMMENTS	July 7, 20
GARAGE DRIVE WAY ADJUSTMENT (HONI)	May 21, 20
ISSUED FOR ASI #007	May 12, 20
ISSUED FOR REVIEW	May 6, 20
REVISED HYDRO CLEARANCES	Apr. 8, 20
ISSUED FOR CONSTRUCTION	Mar. 5, 20
ISSUED FOR TENDER # 4	Jan. 17, 20
ISSUED FOR PUBLIC MEETING	Oct. 31, 19
ISSUED FOR CONCRETE & REBAR TENDER	Oct. 18, 19
GENERAL REVISION - NOT ISSUED	Oct. 9, 19
ISSUED FOR SPC ROUND #4 COMMENTS	Sept. 10, 19
ISSUED FOR BUILDING PERMIT	Sept. 3, 19
ISSUED FOR EXCAVATION PERMIT	Aug. 22, 19
ISSUED FOR EXC. / ELEV. / R.A. TENDER	Aug. 22, 19
HYDRO CHANGES	Aug. 15, 19
ISSUED FOR SPC ROUND #3 COMMENTS	July 17, 19
ISSUED FOR 33% REVIEW	June 7, 19
UPDATED ZONING STAT SHEETS	June 3, 19
ISSUED FOR SPC ROUND #1 COMMENTS	Mar. 22, 19
ISSUED FOR HYDRO EM STUDY	Mar. 14, 19
ISSUED FOR CONSULTANT COORDINATION	Feb. 28, 19
ISSUED FOR COMMUNITY MEETING	Jan. 09, 19
ISSUED FOR SITE PLAN CONTROL	Oct. 31, 18
ISSUED FOR ZONING AMENDMENT	Dec. 21, 15

ARCHITECT SEAL:
ARCHITECT: **RLA / ARCHITECTURE**
RODERICK LOHTEY ARCHITECT INC.
56 beech street, ottawa, ontario K1S 3J6
1.613.724.9932 1.613.724.1209 rla@architecture.ca

PROJECT TITLE:
WESTGATE
1309 CARLING AVENUE

SHEET TITLE:
SITE PLAN
PHASE 1
WESTGATE LANDS

DRAWN:
RV
SCALE:
1:200
PROJECT NO:
1807

CHECKED:
R.V.
SHEET No.
SP-1