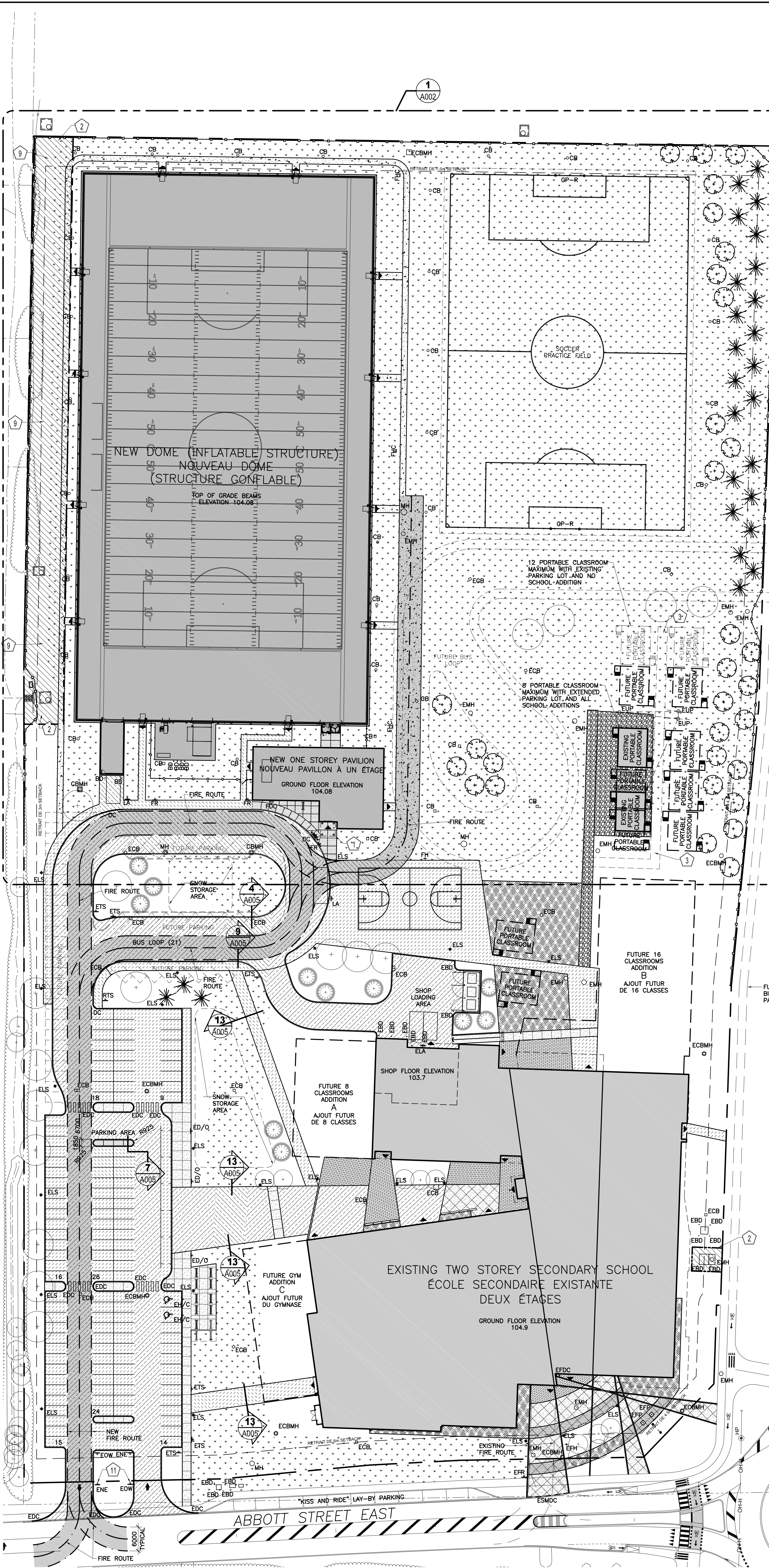
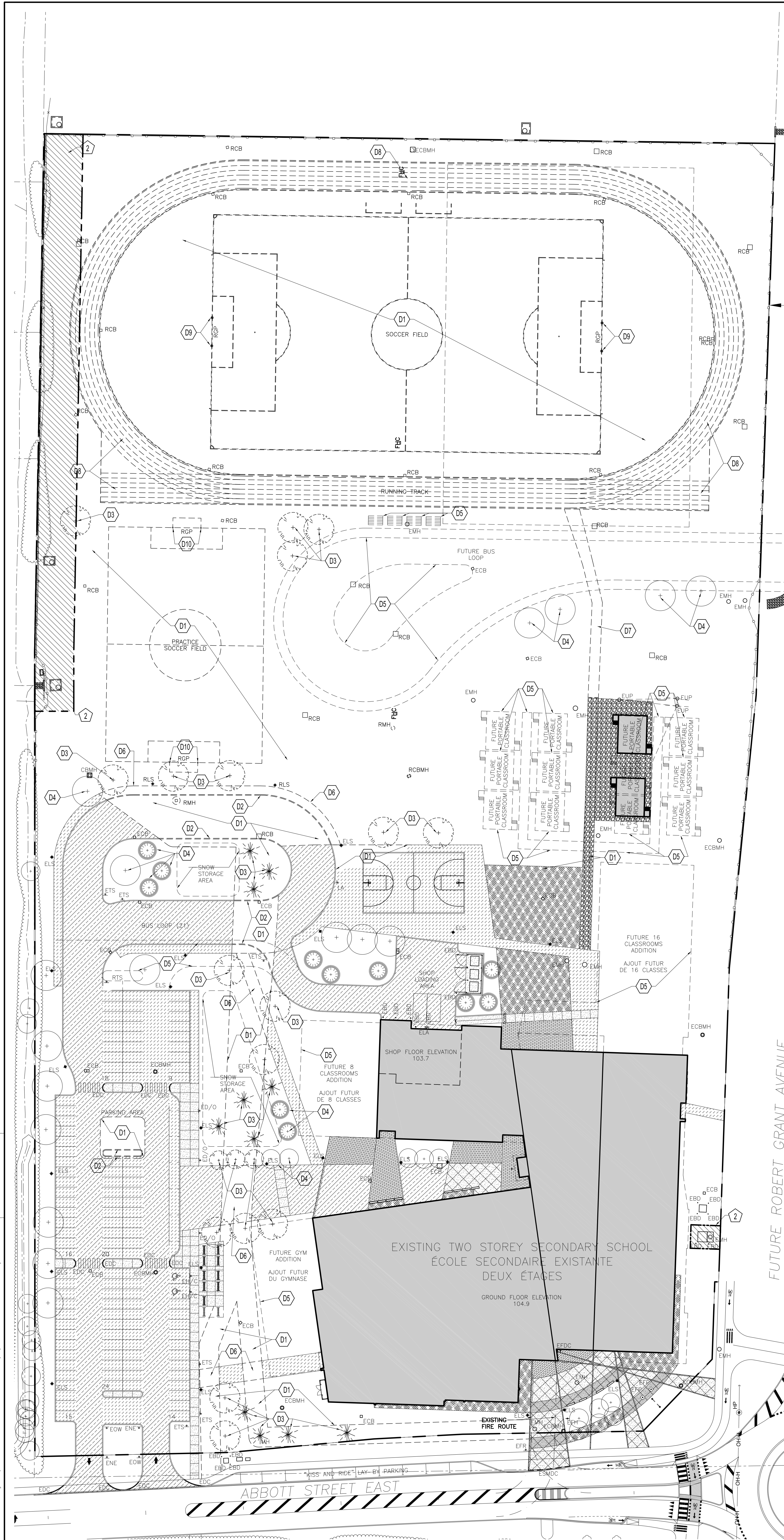




EXISTING SCHOOL + 12 PORTABLES + FOOTBALL DOME		EXISTING SCHOOL + ADDITIONS + 8 PORTABLES + FOOTBALL DOME	
SITE DATA		SITE DATA	
SITE AREA	60,101.4 m ²	SITE AREA	60,101.4 m ²
FOOTPRINT		FOOTPRINT	
EXISTING SCHOOL FOOTPRINT	7,151.6 m ²	SCHOOL W/ ADDITIONS FOOTPRINT	9,703.1 m ²
FUTURE 12 PORTABLES FOOTPRINT	1,584.0 m ²	8 PORTABLES FOOTPRINT	623.6 m ²
NEW FOOTBALL DOME FOOTPRINT	10,166.0 m ²	FOOTBALL DOME FOOTPRINT	10,166.0 m ²
NEW FOOTBALL PAULION FOOTPRINT	1,442.4 m ²	FOOTBALL PAULION FOOTPRINT	1,442.4 m ²
TOTAL FOOTPRINT	18,795.4 m ²	TOTAL FOOTPRINT	21,035.1 m ²
GROSS FLOOR AREA		GROSS FLOOR AREA	
AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)		AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)	
EXISTING SCHOOL GROSS FLOOR AREA	6,707.9 m ²	SCHOOL W/ ADDITIONS GFA	9,802.7 m ²
FUTURE 12 PORTABLES GROSS FLOOR AREA	804.0 m ²	8 PORTABLES GROSS FLOOR AREA	538.6 m ²
NEW FOOTBALL DOME GROSS FLOOR AREA	9,927.8 m ²	FOOTBALL DOME GROSS FLOOR AREA	9,927.8 m ²
NEW FOOTBALL PAULION GROSS FLOOR AREA	1,220.4 m ²	FOOTBALL PAULION GROSS FLOOR AREA	1,220.4 m ²
TOTAL GROSS FLOOR AREA	17,460.1 m ²	TOTAL GROSS FLOOR AREA	20,586.9 m ²
TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY ANNIS O'SULLIVAN VOLLEBEK LTD. (613)727-0850 FAX (613)727-1079		TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY ANNIS O'SULLIVAN VOLLEBEK LTD. (613)727-0850 FAX (613)727-1079	
Job No: 14062-13 CECD P128 CII GO T F2		Job No: 14062-13 CECD P128 CII GO T F2	
LEGAL DESCRIPTION: PART OF LOT 28, CONCESSION 11		LEGAL DESCRIPTION: PART OF LOT 28, CONCESSION 11	
GEOGRAPHIC TOWNSHIP OF GOULBOURN		GEOGRAPHIC TOWNSHIP OF GOULBOURN	
CITY OF OTTAWA		CITY OF OTTAWA	
CITY OF OTTAWA ZONING		CITY OF OTTAWA ZONING	
REQUIRED	PROVIDED	REQUIRED	PROVIDED
MINOR INSTITUTIONAL ZONE I1A		MINOR INSTITUTIONAL ZONE I1A	
LOT AREA	MIN. 400.0m ²	LOT AREA	MIN. 400.0m ²
LOT FRONTAGE	MIN. 15.0m	LOT FRONTAGE	MIN. 15.0m
LOT COVERAGE	MAX. 35%	LOT COVERAGE	MAX. 35%
BUILDING HEIGHT	MAX. 15.0m	BUILDING HEIGHT	MAX. 15.0m
FRONT YARD SETBACK	MIN. 6.0m	FRONT YARD SETBACK	MIN. 6.0m
MID YARD SETBACK	MIN. 7.5m	MID YARD SETBACK	MIN. 7.5m
REAR YARD SETBACK	MIN. 3.0m	REAR YARD SETBACK	MIN. 3.0m
CORNER YARD SETBACK	MIN. 4.5m	CORNER YARD SETBACK	MIN. 4.5m
LANDSCAPING IN PARKING	MIN. 15%	LANDSCAPING IN PARKING	MIN. 15%
	30.9%		42.5%
PARKING CALCULATIONS		PARKING CALCULATIONS	
MOTOR VEHICLE PARKING: EXISTING SCHOOL + DOME		MOTOR VEHICLE PARKING: EXISTING SCHOOL + ADDITION + DOME	
REQUIRED 35 CLASSROOMS + 12 PORTABLES = 47 TOTAL		REQUIRED 59 CLASSROOMS + 8 PORTABLES = 64 TOTAL	
USE	No. CLAS	USE	No. CLAS
MIDDLE SCHOOL	13	MIDDLE SCHOOL	20
MIDDLE SCHOOL PORTABLES	4	MIDDLE SCHOOL PORTABLES	3
HIGH SCHOOL	22	HIGH SCHOOL	39
HIGH SCHOOL PORTABLES	8	HIGH SCHOOL PORTABLES	5
ATHLETIC FACILITY	1 SURFACE	ATHLETIC FACILITY	1 SURFACE
4 SPACES		4 SPACES	
TOTAL REQUIRED PARKING SPACES	120 SPACES	TOTAL REQUIRED PARKING SPACES	171 SPACES
TOTAL REQUIRED PARKING SPACES FOR THE PHYSICALLY DISABLED	2 SPACES	TOTAL REQUIRED PARKING SPACES FOR THE PHYSICALLY DISABLED	2 SPACES
PROVIDED SPACES @ 5.2m X 2.6m	120 SPACES	PROVIDED SPACES @ 5.2m X 2.6m	173 SPACES
BARRIER FREE SPACES @ 5.2m X 3.67m	2 SPACES	BARRIER FREE SPACES @ 5.2m X 3.67m	2 SPACES
TOTAL SPACES PROVIDED	122 SPACES	TOTAL SPACES PROVIDED	175 SPACES
BICYCLE PARKING (0.6m X 1.8m)		BICYCLE PARKING (0.6m X 1.8m)	
REQUIRED USE	GROSS AREA	REQUIRED USE	GROSS AREA
SCHOOL	7,511.9m ²	SCHOOL	10,438.7m ²
DOME	10,148.2m ²	DOME	10,148.2m ²
TOTAL REQUIRED PARKING SPACES	83 SPACES	TOTAL REQUIRED PARKING SPACES	112 SPACES
EXISTING SPACES AT SCHOOL	81 SPACES	EXISTING SPACES AT SCHOOL	108 SPACES
NEW SPACES AT DOME	8 SPACES	NEW SPACES AT DOME	8 SPACES
TOTAL SPACES PROVIDED	89 SPACES	TOTAL SPACES PROVIDED	116 SPACES
LOADING SPACES (3.5m X 7.0m)		LOADING SPACES (3.5m X 7.0m)	
REQUIRED USE	GROSS AREA	REQUIRED USE	GROSS AREA
SCHOOL	7,511.9m ²	SCHOOL	10,438.7m ²
DOME	10,148.2m ²	DOME	10,148.2m ²
TOTAL REQUIRED PARKING SPACES	4 SPACES	TOTAL REQUIRED PARKING SPACES	4 SPACES
EXISTING SPACES AT SCHOOL	2 SPACES	EXISTING SPACES AT SCHOOL	2 SPACES
NEW SPACES AT DOME	2 SPACES	NEW SPACES AT DOME	2 SPACES
TOTAL SPACES PROVIDED	4 SPACES	TOTAL SPACES PROVIDED	4 SPACES
GENERAL NOTES		LEGEND	
1. EXTENT OF CONTRACT IS LIMITED TO WITHIN PROPERTY EXCEPT WHERE SHOWN OTHERWISE.		BARRIER FREE PARKING	
2. ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO CITY OF OTTAWA CONSTRUCTION STANDARDS.		EXISTING BOLLARD TO REMAIN	
3. PARKING STALL SIZE: 5.2m x 3.67m		NEW BOLLARD, REFER TO DETAIL 5/A005	
4. FOR LANDSCAPE/PLANTING DETAILS SEE DRAWING AS PREPARED BY JBLA.		EXISTING DEPRESSIONED CURB TO REMAIN	
5. FOR SITE GRADING INFORMATION SEE GRADING & DRAINAGE DRAWING AS PREPARED BY WSP.		NEW DEPRESSIONED CURB	
6. FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY ERM SERVICES, PROJECT NUMBER OT-000242399-40.		SEMI-MOUNTABLE DEPRESSIONED CURB	
7. SLOPES OF CONCRETE/PAVING AT DEPRESSIONED CURBS SHALL NOT EXCEED 5%.		ROAD CENTER LINE	
8. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT/CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.		FIRE ROUTE	
9. FOR SITE SURVEY INFORMATION, SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY ANNIS O'SULLIVAN, VOLLEBEK LTD.		SET BACK LINE	
10. FOR SITE SURVEY INFORMATION, SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY ANNIS O'SULLIVAN, VOLLEBEK LTD.		PROPERTY LOT LINE	
		EASEMENT BOUNDARY	
		FR FIRE ROUTE SIGN (EVERY 25 METRES)	
		EPR EXISTING FIRE ROUTE SIGN TO REMAIN	
		EVC EXISTING HANDPAINTED PARKING SIGN TO REMAIN	
		ED/O EXISTING DROP-OFF SIGN TO REMAIN	
		EDW EXISTING ONE WAY SIGN TO REMAIN	
		ENE EXISTING NO ENTRY SIGN TO REMAIN	
		ELA EXISTING LOADING AREA SIGN TO REMAIN	
		LA NEW LOADING AREA SIGN	
		ETS EXISTING MISC. TRAFFIC SIGN TO REMAIN	
		RSP RELOCATE EXISTING MISC. TRAFFIC SIGN	
		RSP REMOVE OR RELOCATE EXISTING GOAL POSTS	
		GPR RELOCATED EXISTING GOAL POSTS	
		ELS EXISTING LIGHT STANDARD TO REMAIN	
		RSL REMOVE EXISTING LIGHT STANDARD	
		SIB IRON BAR (REFER TO SURVEY)	
		EFPD EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN	
		FDC NEW FIRE DEPARTMENT CONNECTION (REFER TO MECHANICAL)	
		ETH EXISTING FIRE HYDRANT TO REMAIN	
		PH NEW FIRE HYDRANT (REFER TO CIVIL)	
		EMH EXISTING MAN HOLE TO REMAIN	
		EMH REMOVE EXISTING MAN HOLE (REFER TO CIVIL)	
		EMH NEW MAN HOLE (REFER TO CIVIL)	
		CIB EXISTING CATCH BASIN TO REMAIN	
		CIB REMOVE EXISTING CATCH BASIN (REFER TO CIVIL)	
		CB NEW CATCH BASIN (REFER TO CIVIL)	
		EFP EXISTING FLAG POLE TO REMAIN	
		EUP EXISTING UTILITY POST	
		FHC FIRE HOSE CABINET (REFER TO MECHANICAL)	
		EXISTING UTILITY PAVES TO REMAIN	
		EXISTING HEAVY DUTY ASPHALT PAVING TO REMAIN	
		EXISTING LIGHT DUTY ASPHALT PAVING TO REMAIN	
		EXISTING CONCRETE WALK TO REMAIN	
		EXISTING CRUSHED STONE PATHWAY TO REMAIN	
		EXISTING MULCH TO REMAIN	
		NEW TYPE 1 ASPHALT - HEAVY DUTY (REFER TO SPEC.)	
		NEW TYPE 2 ASPHALT - LIGHT DUTY (REFER TO SPEC.)	
		NEW CONCRETE WALK	
		NEW CRUSHED STONE PATHWAY	
		NEW GRASS (REFER TO LANDSCAPE)	
		EXISTING EASEMENT (REFER TO SURVEY)	
		EXTENT OF FIRE ROUTE PART OF SEPARATE PRICE SP-2	
SITE PLAN NOTES		LEGEND (CONT'D)	
1. REMOVE EXISTING ASPHALT PAVING (INCLUDING GRANULAR BASE), SAND AND EXISTING GRASS, TOPSOIL AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION		EXISTING TREES TO BE REMOVED OR TRANSPLANTED (REFER TO LANDSCAPE)	
2. REMOVE EXISTING CONCRETE CURB		NEW TREES (REFER TO LANDSCAPE)	
3. EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE		EXISTING TREES TO REMAIN (REFER TO LANDSCAPE)	
4. EXISTING TREE TO REMAIN, PROVIDE TEMPORARY TREE PROTECTION FENCE AS PER DETAIL 22/A006. ALSO REFER TO LANDSCAPE DRAWING			
5. FUTURE ITEM SHOWN ON SITE PLAN CONTROL DRAWINGS			
6. REMOVE EXISTING ASPHALT SIDEWALK			
7. REMOVE EXISTING CRUSHED STONE PATH			
8. REMOVE EXISTING STONE DUST RUNNING TRACK AND EDGING			
9. REMOVE AND RELOCATE EXISTING GOAL POST, CUT GOAL POST FLUSH WITH TOP OF FOUNDATION, REMOVE FOUNDATION			
10. REMOVE EXISTING GOAL POST, CUT GOAL POST FLUSH WITH TOP OF FOUNDATION AND TURN OVER TO OWNER, REMOVE FOUNDATION			
SITE PLAN DEMOLITION - SITE PLAN AGREEMENT 2015-03-20		SITE PLAN	
1:500		1:500	

CONSEIL DES ÉCOLES CATHOLIQUES DU CENTRE-EST

Le meilleur conseil qu'on puisse vous donner

APPROVED ☐ REFUSED ☐

THIS DAY OF , 20

DERRICK MOODIE

MANAGER, DEVELOPMENT REVIEW - WEST, PLANNING, INFRASTRUCTURE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

LES IDÉES, CONCEPTS, DISPOSITIONS ET PLANS MONTRÉS OU REPRÉSENTÉS PAR CE Dessin Appartiennent à EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET SONT ÉLÉMENTS, ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PRÉSENT PROJET. ILS NE DOIVENT PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À QU'ILS QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC.

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L'ENTREPRENEUR DOIT VÉRIFIER TOUTES LES DIMENSIONS SUR PLACE ET INFORMER L'ARCHITECTE DE TOUT ÉCART AVANT LE DÉBUT DES TRAVAUX. NE PAS MESURER LES DESSINS À L'ÉCHELLE.

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS

EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.

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PROJET/TITLE/TITRE DU PROJET: ÉCOLE SECONDAIRE CATHOLIQUE PAUL-DESMARAIS - DOME

5315 ABBOTT STREET OTTAWA, ON

CONSEIL DES ÉCOLES CATHOLIQUES DU CENTRE-EST 4000, RUE LABELLE, OTTAWA, ON K1J 1A1

DRAWING/TITLE/TITRE DU DESSIN

SITE PLAN

SCALE: ÉCHELLE: 1:500 PROJ. NO.: 1714 REVISION: 1

DRAWN BY: J.S.R. DRAWING/DESSIN: J.J.

CHECKED BY: J.J.

DATE: JULY 2017 ACO FILE/FICHER: 1714-A001.DWG

A001

007-12-18-0026 PLAN #17627