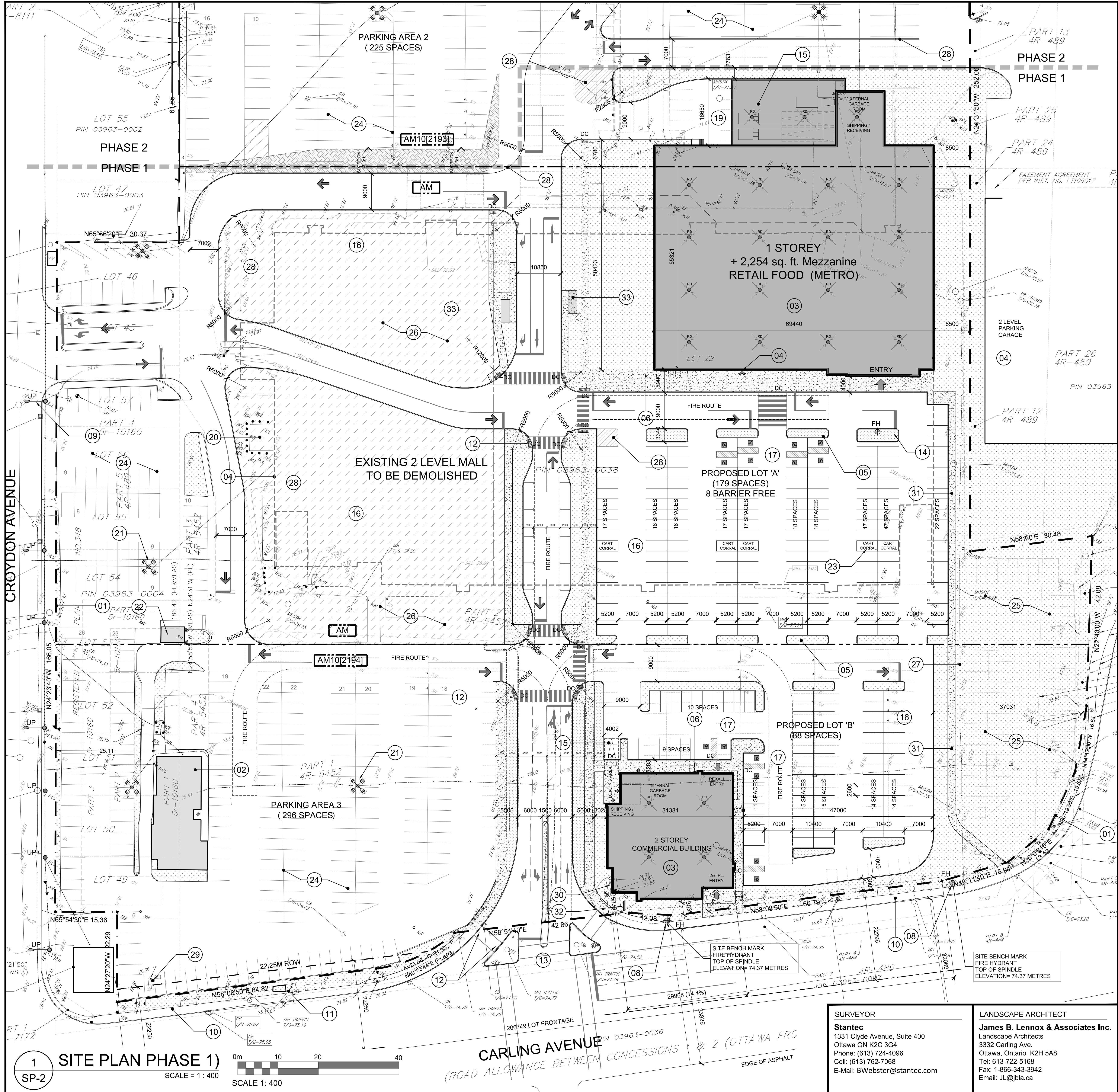




DRAWING NOTES

- PROPERTY LINE
- EXISTING COMMERCIAL BUILDING
- PROPOSED COMMERCIAL BUILDING
- EXISTING 2 LEVEL COMMERCIAL MALL TO BE REMOVED
- LANDSCAPE ISLAND WITH 150mm BARRIER CURB
- BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK
- NOT IN USE
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE - SOME WITH LIGHTS
- EXISTING CONCRETE SIDEWALK WITH STREET CURB
- EXISTING BUS STOP
- TWIST TO BE LOCATED AND INSTALLED AS PER CITY REQUIREMENTS
- EXISTING CONTROLLED INTERSECTION TO REMAIN
- FIRE HYDRANT
- ENCLOSED LOADING SPACE
- STANDARD PARKING SPACE (2.6 X 5.2 M)
- BARRIER FREE PARKING SPACE
- DEPRESSED CURB AND WALK
- ENCLOSED GARBAGE / LOADING BAYS
- EXISTING BUILDING UTILITIES TO BE REMOVED
- EXISTING LIGHT STANDARD TO REMAIN
- EXISTING GARBAGE ENCLOSURE
- CART CORRAL
- EXISTING ASPHALT PARKING LOT TO REMAIN
- EXISTING ASPHALT PARKING LOT TO BE RE-GRADE AS REQUIRED, REPLACE WITH SOFT LANDSCAPING TILL FINAL PHASE IS DEVELOPED
- VACANT AREA LEFT OVER FROM MALL AND RE-GRADING, TO BE CLOSED OFF TILL NEXT PHASE
- REMOVE EX. UNDERGROUND UTILITIES, SEE CIVIL
- PAINTED ISLAND AND OR CURBS
- EXISTING COMMERCIAL SIGN TO REMAIN
- EXISTING COMMERCIAL SIGN TO BE REMOVED
- INTERNAL PEDESTRIAN PATHWAY
- PYLON SIGN
- BUS STOP WITH CONCRETE PAD AS PER CITY DETAILS

SITE PLAN SYMBOLS

- BUILDING OUTLINE
- CONCRETE WALK
- SOFT LANDSCAPING
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- SERVICE DOOR / FIRE EXIT
- PROPERTY LINE
- CHANGE IN ZONING
- PARKING LOT LIGHTING
- BARRIER FREE PARKING SPACE AS PER PARKING BYLAW SECTION 3.1
 - TYPE 'A' = 3.4M X 5.2M
 - TYPE 'B' = 2.4M X 5.2M
 - ACCESSIBLE = 1.5M WIDE
- BUILDING ROOF DRAINS

PROJECT DEVELOPER

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LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF LOTS 45, 46, 50 TO 57 INCLUSIVE AND PART OF LOT 49, REGISTERED PLAN NO. 348 AND PART OF LOT 48, REGISTERED PLAN NO. 311 AND PART OF LOTS 22 & 23, CONCESSION 1 (OTTAWA FRONT) (GEOGRAPHIC TOWNSHIP OF NEPEAN) CITY OF OTTAWA

CIVIL ENGINEER

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LANDSCAPE ARCHITECT

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URBAN PLANNER

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PROJECT INFORMATION

ZONING AM10(2193) - AM10(2194) - AM

SITE AREA 65,502 sq. m. (705,057) sq. ft.

BUILDING HEIGHT VARIES WITH MAXIMUM 30.0 M

PROJECT STATISTICS

BUILDING HEIGHT	11.5 M
BUILDING FRONTAGE	14.4%
PARKING LOT LANDSCAPE AREA	13.76%
LOADING SPACE - COMMERCIAL RETAIL FOOD	2
LOADING SPACE - COMMERCIAL RETAIL / OFFICE	1
GLAZING ALONG THE FRONTAGE	52%
CARLING AVENUE FRONTAGE	206.749 M
RICHMOND ROAD FRONTAGE	226.786 M

GROSS BUILDING - AREAS

(CITY OF OTTAWA'S DEFINITION)

EXISTING AREAS

MALL - LEASABLE RETAIL	23,203.7 sq. m. (248,762) sq. ft.
MALL - OFFICE	2,566.5 sq. m. (27,626) sq. ft.
BLDG. 3 - WENDY'S	339.7 sq. m. (3,657) sq. ft.
BLDG. 4 - PIZZA PIZZA	325.2 sq. m. (3,500) sq. ft.
TOTAL AREA	26,435.1 sq. m. (284,549) sq. ft.

PROPOSED AREAS

BLDG. 1 - METRO COMMERCIAL FOOD	2,630.0 sq. m. (28,310) sq. ft.
BLDG. 2 - GROUND FL. COMMERCIAL RETAIL	753.0 sq. m. (8,105) sq. ft.
BLDG. 2 - SECOND FL. COMMERCIAL OFFICE	809.7 sq. m. (8,718) sq. ft.
BLDG. 3 - EXISTING WENDY'S	339.7 sq. m. (3,657) sq. ft.
BLDG. 4 - PIZZA PIZZA	325.2 sq. m. (3,500) sq. ft.
TOTAL AREA	4,857.6 sq. m. (52,287) sq. ft.

GROSS LEASABLE FLOOR AREA

(CITY OF OTTAWA'S DEFINITION)

PROPOSED AREAS

BLDG. 1 - METRO COMMERCIAL FOOD	3,137.3 sq. m. (33,770) sq. ft.
BLDG. 2 - GROUND FL. COMMERCIAL RETAIL	791.5 sq. m. (8,520) sq. ft.
BLDG. 2 - SECOND FL. COMMERCIAL OFFICE	789.9 sq. m. (8,600) sq. ft.
BLDG. 3 - EXISTING WENDY'S	339.7 sq. m. (3,657) sq. ft.
BLDG. 4 - PIZZA PIZZA	325.2 sq. m. (3,500) sq. ft.
TOTAL AREA	5,392.6 sq. m. (58,045) sq. ft.

LOT COVERAGE

PAVED SURFACE =	50,583 sq. m.	77.23%
BUILDING FOOTPRINT =	5,903 sq. m.	9.01%
LANDSCAPE OPEN SPACE =	9,016 sq. m.	13.76%
TOTAL =	65,502 sq. m.	100.0%

CAR PARKING - EXISTING SITE

EXISTING TOTAL ON SITE (June 2018)	1,150
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CAR PARKING - TOTAL SITE

REQUIRED BY ZONING BY-LAW		
METRO	2,630.0 sq. m. (28,310) sq. ft. - AREA 'Z' NOT REQUIRED	0
RETAIL - RECALL	753.0 sq. m. (8,105) sq. ft. - AREA 'Z' NOT REQUIRED	0
OFFICE	809.7 sq. m. (8,718) sq. ft. - AREA 'Z' NOT REQUIRED	0
WENDY'S	339.7 sq. m. (3,657) sq. ft. - AREA 'Z' NOT REQUIRED	0
PIZZA PIZZA	325.2 sq. m. (3,500) sq. ft. - AREA 'Z' NOT REQUIRED	0
TOTAL		0

MAXIMUM PARKING - AREA B, SCHEDULE 1

SHOPPING CENTER	2,857.6 sq. m. (30,877) sq. ft.	-3.6 PER 100m² OF G.F.A.	175
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PROVIDED

EXISTING AREA '1'	225
EXISTING AREA '2'	250
EXISTING AREA '3'	296
PROPOSED LOT 'A'	179
PROPOSED LOT 'B'	88
PROPOSED LOT 'C' - CLOSED OFF	0
PROPOSED LOT 'D' - CLOSED OFF	0
TOTAL	1,038

BICYCLE PARKING

REQUIRED

METRO	2,630.0 sq. m. (28,310) sq. ft.	-1.0 PER 500m² OF G.F.A.	6
RETAIL - RECALL	753.0 sq. m. (8,105) sq. ft.	-1.0 PER 500m² OF G.F.A.	2
OFFICE	809.7 sq. m. (8,718) sq. ft.	-1.0 PER 500m² OF G.F.A.	2
WENDY'S	339.7 sq. m. (3,657) sq. ft.	-1.0 PER 500m² OF G.F.A.	1
PIZZA PIZZA	325.2 sq. m. (3,500) sq. ft.	-1.0 PER 500m² OF G.F.A.	1
TOTAL			11

PROVIDED

METRO	10
RETAIL - RECALL	4
OFFICE	4
WENDY'S	4
PIZZA PIZZA	4
TOTAL	22

NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

DETAIL NUMBER

TITLE

SCALE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

REVISIONS:

No.	DESCRIPTION	DATE
1	REVISED AS PER SPC 1st ROUND COMMENTS	July 8, 19
2	REVISED AS PER SPC 1st ROUND COMMENTS	May 31, 19
3	ISSUED FOR SITE PLAN CONTROL	Dec. 19, 18
4	ISSUED TO CONSULTANTS	Sept 7, 18

ARCHITECT SEAL:

ARCHITECTS
RICK L. LAHEY
LICENCE #2725

SEAL DATE: STAMP DATE

CLIENT:

RIO CAN

ARCHITECT:

rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

LINCOLN FIELDS
2525 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN
PHASE #1

DRAWN: RV

CHECKED: RV

SCALE: 1:400

SHEET No.

PROJECT No. 1803

SP-2