



ARCHITECTURAL SHEET LIST	
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A1.1	SITE CONTEXT
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A2.3	GROUND FLOOR PLAN
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A4.0	ELEVATIONS (WEST/EAST-FRONT/REAR)
A4.1	ELEVATIONS (NORTH/LEFT)
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A4.3	BUILDING PERSPECTIVE
A5.0	BUILDING SECTIONS
A5.1	BUILDING SECTIONS

RUSSELL DEVELOPMENT

71 RUSSELL AVE

ISSUED FOR SPA COMMENT RESPONSE 04

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ARCHITECTURAL



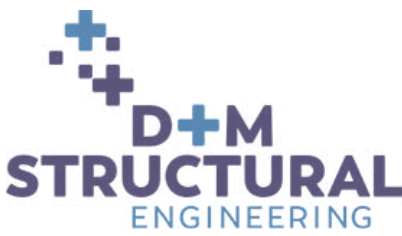
LAWRENCE ARCHITECT INC.
18 DEAKIN ST. SUITE 205
OTTAWA, ONTARIO K2E 8B7
(P) 613 739 7770
(F) 613 739 7703

PLANNING



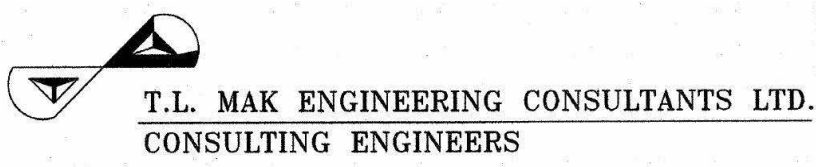
Q9 PLANNING + DESIGN
43 ECCLES ST. UNIT C
OTTAWA, ONTARIO K1R
6S3
(P) 613 850 8345

STRUCTURAL



D+M STRUCTURAL
333 PRESTON ST SUITE 110,
OTTAWA, ON K1S 5N4
(P) 613 651 9490

CIVIL



T. L. MAK ENGINEERING CONSULTANTS LTD
1455 YOUNVILLE DR.
ORLÉANS, ONTARIO K1C 6Z7
(P) 613 837 5516

LANDSCAPE

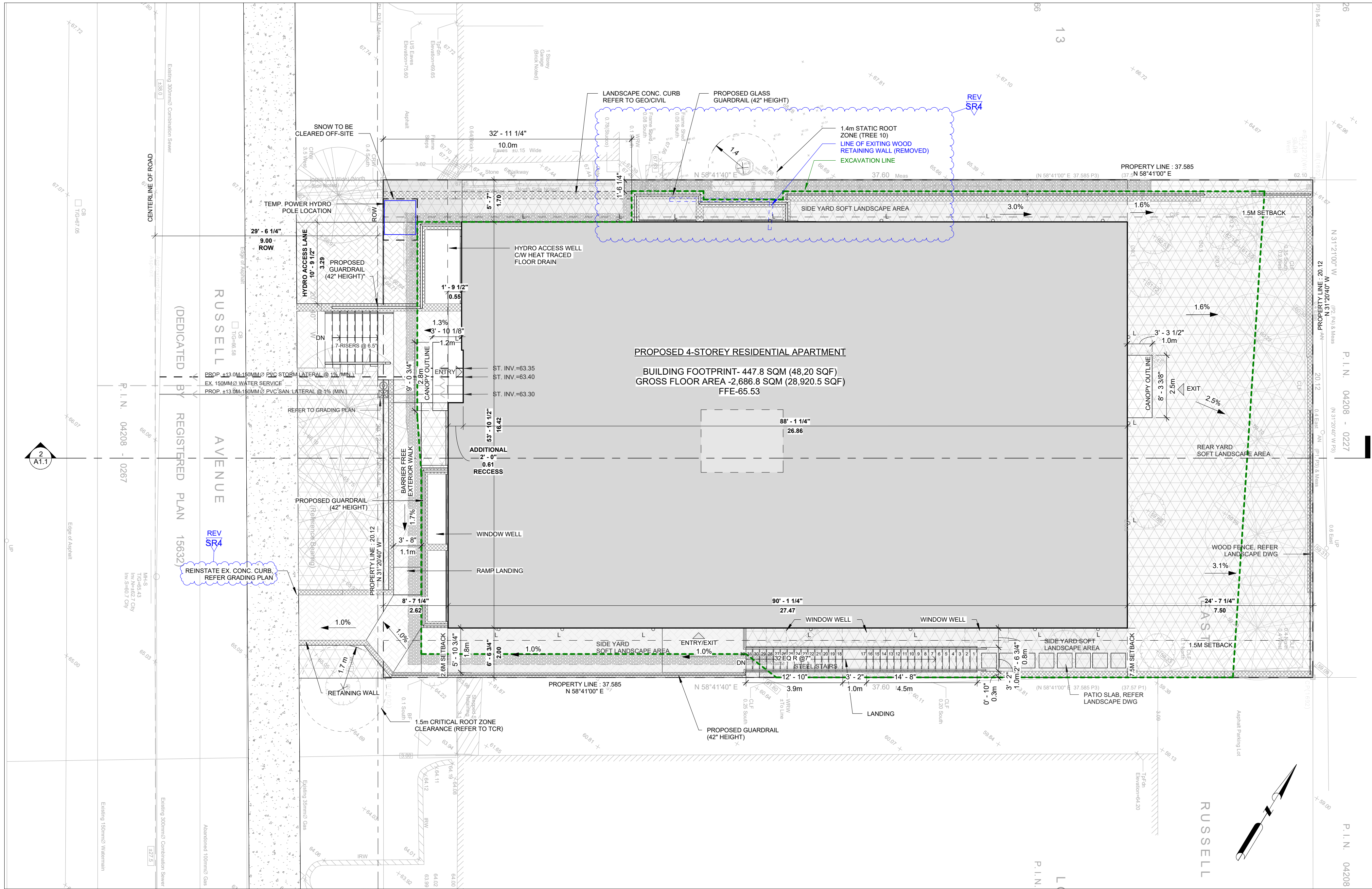


JAMES B LENNOX & ASSOCIATES
3332 CARLING AVE.
OTTAWA, ONTARIO K2H 5A8
(P) 613 722 5168

MECHANICAL /
ELECTRICAL



GOODKEY, WEEDMARK &
ASSOCIATES LTD. (GWAL)
1688 WOODWARD DR.
OTTAWA, ON K2C 3R8
(P) 613 727 5111



1 SITE PLAN*
SCALE 1:100



2 LOCATION PLAN*
SCALE 1" = 80'-0"

SITE PLAN NOTES	
NOTE#	NOTE
(E)AS	EXISTING ASPHALT SURFACE - REFER TO SURVEY
(E)BU	EXISTING BUSHES - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE CURB - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
(E)OHV	EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY
(E)RW	EXISTING RETAINING WALL - REFER TO SURVEY
(E)T	EXISTING TREE - REFER TO SURVEY
(E)TR	EXISTING TREE TO BE REMOVED - REFER TO SURVEY
B	BOLLARD, 6MM X 125MM DIA. X 1050MM PAINTED GALVANIZED STEEL BOLLARD C/W WELDED CAP AND 6MM X 150MM BASE PLATE WITH 4 BOLT HOLES, SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 10MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION.
BFPS	PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 1500MM ABOVE GRADE AND NOT MORE THAN 2000MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN BP PARKING SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE/ FOURQUONNETTE ACCESSIBLE".
BR	BIKE RACK - REFER TO LANDSCAPE
CC	CONCRETE CURB - REFER TO CIVIL
CP	CONCRETE PAD - REFER TO CIVIL
CSW	CONCRETE SIDEWALK - REFER TO CIVIL
CY	CANOPY C/W RECESSED POT LIGHTS - REFER TO ELEC.
GM	GAS METER - REFER TO SITE SERVICING
PMT	PAD MOUNT TRANSFORMER - REFER TO CIVIL
PP	PAINTED PARKING LINES, TYP. - REFER TO CIVIL
RLS	ROOF STORM LINE - REFER TO CIVIL
RW	RETAINING WALL - REFER TO CIVIL
SL	SANITARY LINE - REFER TO CIVIL
STL	STORM LINE - REFER TO CIVIL
TWSI	TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP, RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE. - REFER TO CIVIL
WTS	WATER SERVICE - REFER TO CIVIL
WTSL	WEEPING TILE STORM LINE - REFER TO CIVIL

ZONING PROVISIONS (R4UD(480))	
	NEW OVERHEAD DOOR
	NEW DOOR/ENTRANCE
	BICYCLE PARKING SPACE(1.8Mx0.6M)
	NO PARKING LINES
	NEW SIGN, REFER TO SIGN LEGEND
	FIRE ROUTE SIGN
	STREET LIGHT
	DESIGNATED ACCESSIBLE PARKING SPACE AS PER ADA
	BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWG'S
	PROPERTY LINE
	MINIMUM SETBACKS (ZONING)
	FENCE
	TWO WAY TRAFFIC
	DEPRESSED CURB (DC)
	TACTILE WALKING SURFACE INDICATORS (TWSI)
	NEW CONSTRUCTION
	CONCRETE SIDEWALK
	PROPOSED RETAINING WALL
	SHORING
	PERMEABLE PAVERS (WITH GREY BACKGROUND FOR SIDE YARD) *
	SOFT LANDSCAPE (WITH GREY BACKGROUND FOR SIDE YARD) *
	EXCAVATION LINE
NOTE: *REFER TO LANDSCAPE PLAN	

PROJECT LEGAL DESCRIPTION	
PIN 04208-0265 LOT 14 REGISTERED PLAN 58319	
EAST SIDE OF RUSSELL AVENUE CITY OF OTTAWA	
FARLEY, SMITH & DNIS SURVEYING LTD. FILE NO.: 591-17 DATE: JANUARY, 2018	
PROJECT ZONING REVIEW / STATISTICS	
MUNICIPALITY: MUNICIPAL ADDRESS: REGISTERED OWNER: LOT AREA:	CITY OF OTTAWA 71 RUSSELL AVE, OTTAWA, ON K1N 7X2 JERSEY DEVELOPMENT INC. 756.32 sq.m LOT AREA (TAKEN FROM GEO-OTTAWA PARCEL INFORMATION)
ZONING ANALYSIS OTTAWA ZONE: PROPOSED USE:	RAUD LOW-RISE APARTMENT DWELLING (8 OR MORE UNITS) 4 STOREY APARTMENT BUILDING (28 RESIDENTIAL UNITS)

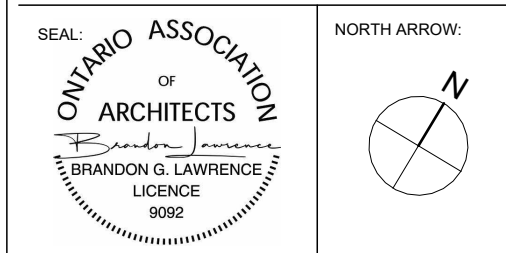
BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	447.8 M ²	4,820 FT ²
GROSS FLOOR AREA:		
BASEMENT	447.8 M ²	4,820 FT ²
SUB-BASEMENT	447.8 M ²	4,820 FT ²
GROUND FLOOR	447.8 M ²	4,820 FT ²
SECOND FLOOR	447.8 M ²	4,820 FT ²
THIRD FLOOR	447.8 M ²	4,820 FT ²
FOURTH FLOOR	447.8 M ²	4,820 FT ²
TOTAL	2,686.8 M ²	28,920 FT ²

ZONING PROVISIONS (R4UD(480))	SECTION	REQUIRED	PROVIDED
MIN. LOT WIDTH	S162, TABLE 162A	15M	20.12M
MIN. LOT AREA	S162, TABLE 162A	450M ²	756.5M ²
MAX. BUILDING HEIGHT	S162, TABLE 162A	14.5M	14.36M
MIN. FRONT YARD SETBACK	S144(1)(A); S162, TABLE 162A	1.4 SO (D) MIN. 1.5 APPLIES	2.62M
MIN. REAR YARD SETBACK TABLE 144A(III)	S143(3)(A)	11.27M (30% OF LOT DEPTH)	7.5M (20.02% OF LOT DEPTH)
MIN. REAR YARD AREA	S143(3)(A)	189.12M ² (25% OF LOT AREA)	151.67M ² (20.04% OF LOT AREA)
MIN. INTERIOR YARD SETBACK	S162, TABLE 162A	1.5M	2.0M, 1.7M
MIN. AREA OF SOFT LANDSCAPING IN REAR YARD	S161(15)(B)(i)	AREA>450M ² : 50% OF REAR YARD AREA	100%
	S161(15)(B)(ii)	MIN. AGGREGATE AREA OF 25M ² , W/ ONE DIMENSION <= 2M	
MIN. LANDSCAPED AREA	S161(8)	226.95M ² (30% OF LOT AREA)	294.6M ² (38.9% OF LOT AREA)
MIN. AGGREGATE FRONT YARD SOFT LANDSCAPED AREA	S161, TABLE 161	10.46M ² (20% FOR LOT WITH FYS 1.5M-3M)	41.9M ² (78.5% OF FRONT YARD AREA)
MIN. FENESTRATION REQUIREMENT	S161(15)(G)	FRONT FACADE: 25% WINDOWS=52.5M ²	29.4%+61.73M ²
MIN. FRONT FACADE ADDITIONAL RECESS	S161(15)(H)	0.6M (MIN. 20% OF FRONT FACADE)	0.61M (28.3M-13.4%), 0.56 (63M-29.9%)
MIN. PARKING SPACE	S106(1)	2.6m (WIDTH) x 5.2m (LENGTH) MAX. WIDTH<3.1M	N/A
UNIT BREAKDOWN	S161(16)	25% 2 BEDROOM UNITS TOTAL UNITS: 28 MIN. 2-BEDROOM UNITS: 7	43% PROVIDED TOTAL 2-BEDROOM UNITS: 12
MAX. DRIVEWAY WIDTH	S139, TABLE 139(3)(ii)	3M, NO DOUBLE DRIVEWAY PERMITTED	N/A
DRIVEWAY SEPARATION FROM INTERIOR LOT LINE	S139, TABLE 139(3)(iii)	0.15M (LANDSCAPED / DECORATIVE BRICK)	N/A
MIN. BICYCLE PARKING	S111, TABLE 111A(8)	14 (0.5 PER DWELLING UNIT)	32
MIN. NUMBER OF PARKING SPACES (RESIDENT)	S110	S1013(A) PARKING ONLY REQUIRED FOR UNITS > 12: 16 UNITS @ 0.5 SPACES PER DU + 8 SPACES	0 SPACES
MIN. NUMBER OF PARKING SPACES (VISITOR)	S102	S 102(2) 0 SPACES <= 12 SPACES TABLE 102 (0.1 SPACES PER DU @ 0.5 UNITS = 1.6 (2 SPACES)	0 SPACES
ENCROACHMENTS: CANOPIES (LOW-RISE, MULTIPLE RESIDENTIAL)	S65(4)(B)(i)	A DISTANCE OF 1/2 THE DEPTH OF THE FRONT, REAR OR CORNER SIDE YARD, BUT NOT CLOSER THAN 0.6 M TO THE LOT LINE	FRONT - 1.2M REAR - 1.0M
ENCROACHMENTS: CANOPIES (LOW-RISE, MULTIPLE RESIDENTIAL)	S65(4)(B)(ii)	1.8 M INTO AN INTERIOR SIDE YARD, BUT NOT CLOSER THAN 0.6 M TO A SIDE LOT LINE	N/A
ENCROACHMENTS: OPEN STAIRWAYS	S65(5)(B)(i)	WHERE AT OR BELOW THE FLOOR LEVEL OF THE FIRST FLOOR: 1. IN THE CASE OF THE INTERIOR SIDE YARD OR REAR YARD: NO LIMIT, AND 2. IN THE CASE OF THE FRONT YARD OR CORNER SIDE YARD: NO CLOSER THAN 0.6 M TO A LOT LINE, AND OTHER CASES: IN THE CASE OF ANY YARD: 1.5 M BUT NOT CLOSER THAN 1 M TO A LOT LINE, EXCEPT THAT, SWITCHBACK STAIRS AND LANDINGS MAY PROJECT 2.2M INTO THE REAR YARD WHERE THESE ARE INTENDED TO PROVIDE A MEANS OF EGRESS FOR DWELLING UNITS LOCATED ON THE SECOND AND HIGHER STOREYS.	2.3M / 7'-9" BEYOND FRONT PROPERTY LINE 0.3M / 1'-1" EXTERIOR FACE OF STAIR TO PROPERTY LINE
ENCROACHMENTS: OPEN STAIRWAYS	S65(4)(B)(ii)		

BUILDING FLOOR STATISTICS-APARTMENT TYPES (TOTAL)				
FLOOR LEVEL	SUITE COUNT	SUITE TYPES	TWO BEDROOM	TWO BED + OFFICE/PANTRY
		ONE BEDROOM		
SUB-BASEMENT	3	2	1	N/A
BASEMENT	5	4	1	N/A
GROUND FLOOR	5	4	1	N/A
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	2	1
FOURTH FLOOR	5	2	2	1
TOTAL	28	16	10	2
SUITE MIX	100%	12/28=57.14%	12/28= 42.86%	

BUILDING FLOOR STATISTICS-APARTMENT TYPES (BARRIER FREE UNITS - OBC 2024 3.8.2.1(7))				
FLOOR LEVEL	SUITE COUNT (B.F. ONLY)	SUITE TYPES	TWO BEDROOM	TWO BED + OFFICE/PANTRY
		ONE BEDROOM		
SUB-BASEMENT	1	1	N/A	N/A
BASEMENT	1	1	N/A	N/A
GROUND FLOOR	1	1	N/A	N/A
SECOND FLOOR	2	N/A	1	1
THIRD FLOOR	2	N/A	1	1
FOURTH FLOOR	2	N/A	1	1
TOTAL	9	3	3	3
SUITE MIX	100%	33.33%	33.33%	33.33%

CLIENT NAME: JERSEY DEVELOPMENTS INC.	
NOTES:	
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18	2026.07.17	ISSUED FOR BP Comments Response 1
17	2026.07.13	ISSUED FOR SPA RESPONSE 3 (SR3)
16	2026.07.08	ISSUED FOR COORDINATION
15	2026.06.26	ISSUED FOR COORDINATION
14	2026.06.11	ISSUED FOR COORDINATION
13	2026.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
12	2026.05.26	ISSUED FOR COORDINATION
11	2026.05.19	ISSUED FOR BUILDING PERMIT
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09	2026.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
08	2026.02.09	ISSUED FOR SPC SUBMISSION
07	2026.01.29	ISSUED FOR COORDINATION
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03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW



205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 6B7
T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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PROJECT:
RUSSELL DEVELOPMENT

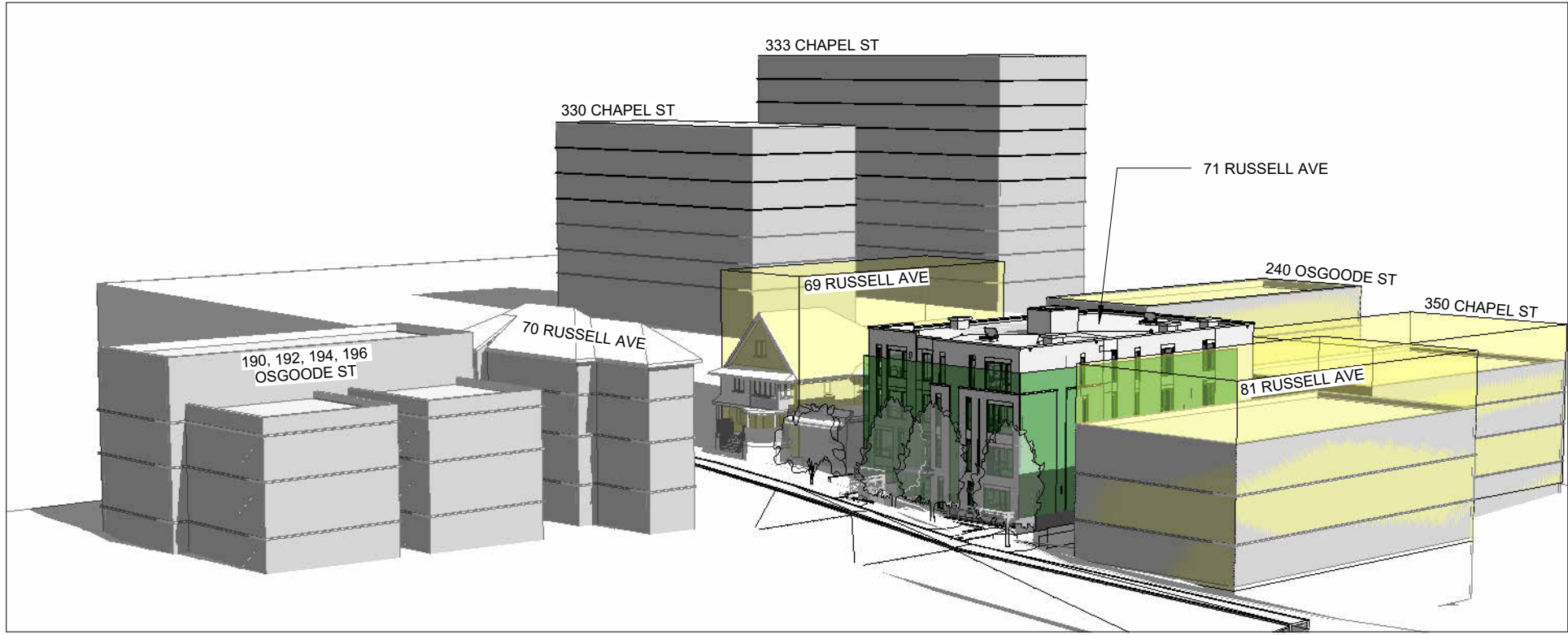
71 RUSSELL AVE
SHEET TITLE:
SITE PLAN

DRAWN BY:
Y.R.

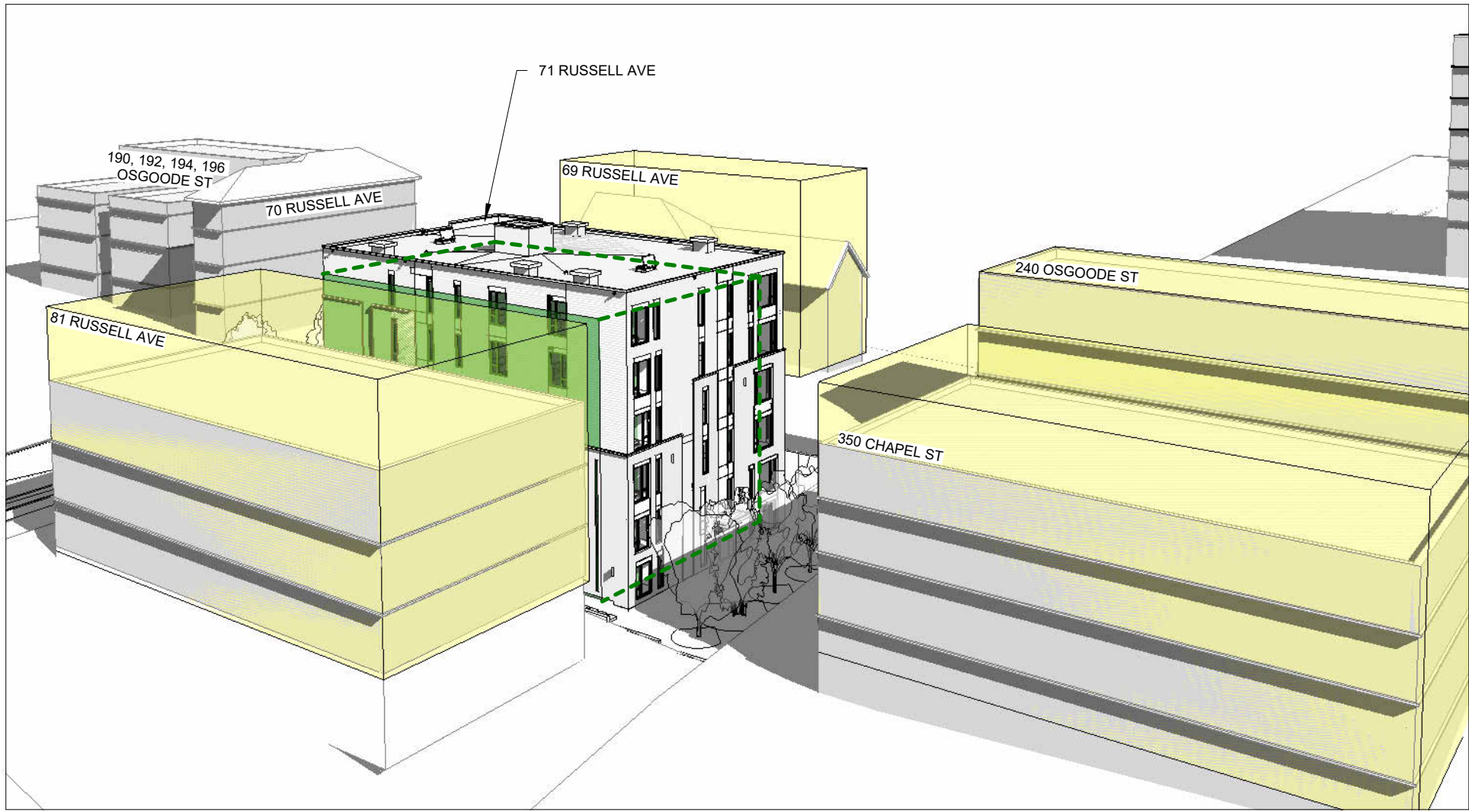
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B.L.

PROJECT DATE:
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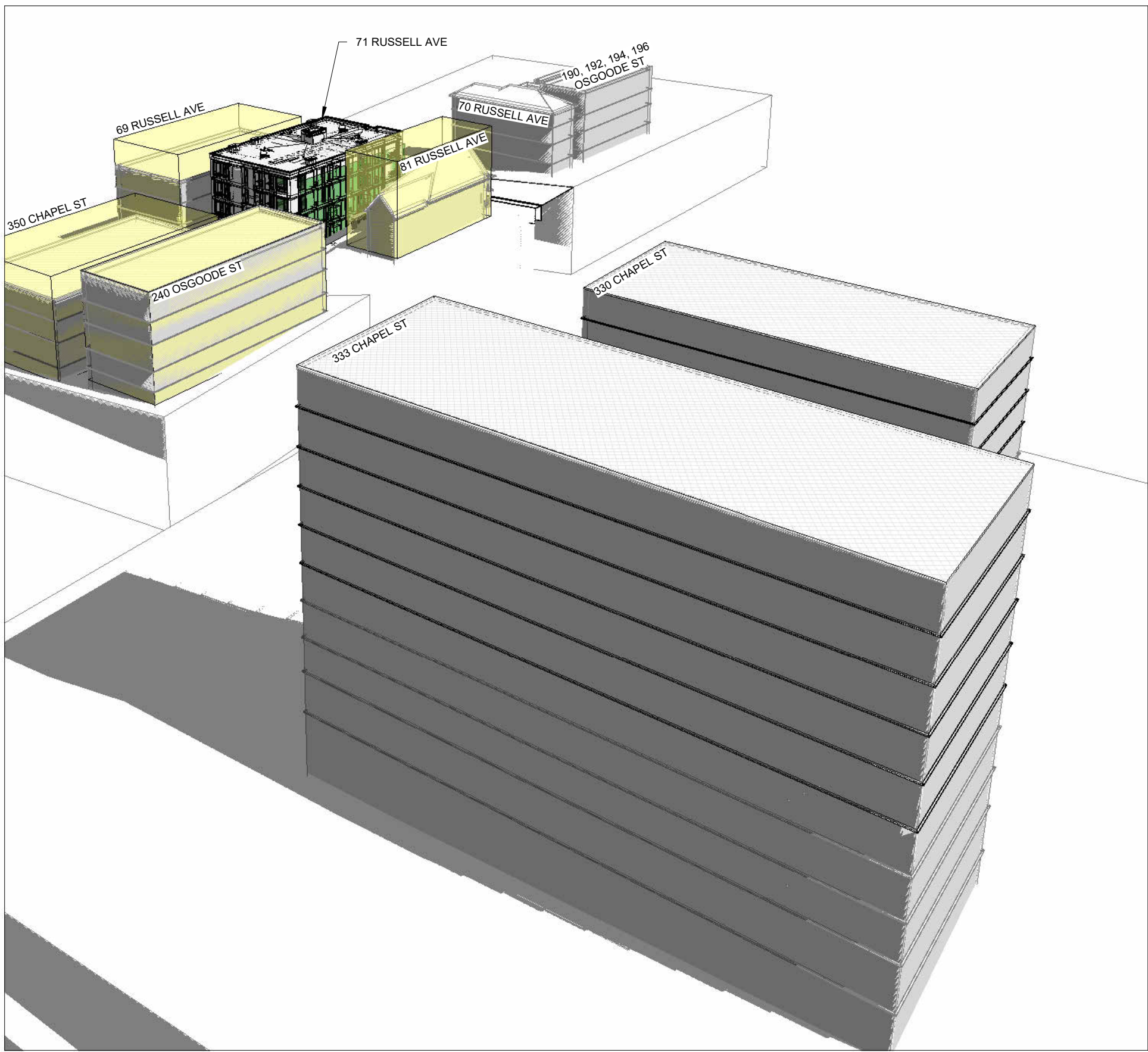
SCALE:
As indicated



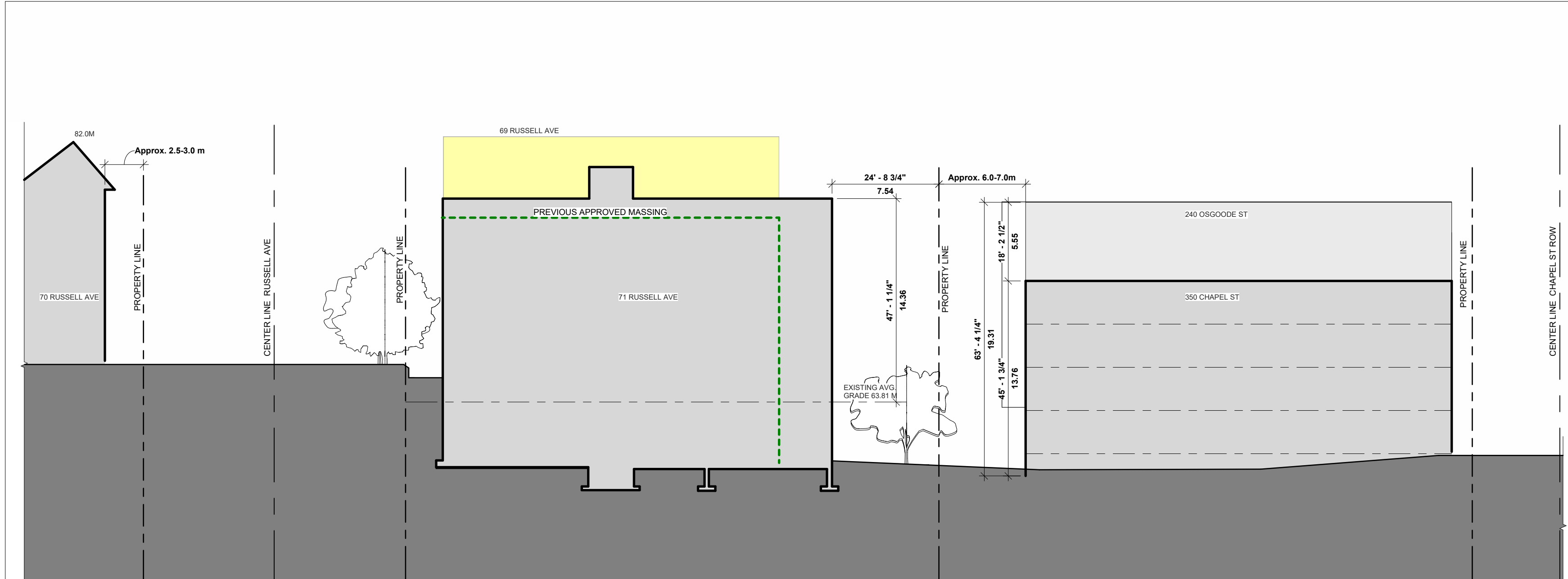
1 Context 1
A1.1 SCALE



5 Context 2
A1.1 SCALE



4 Context 3
A1.1 SCALE



2 SITE SECTION
A1.1 SCALE 1" = 20'-0"

CLIENT NAME:

JERSEY DEVELOPMENTS INC.

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LEGEND

	AS-OF-RIGHT PER ZONING BY-LAW 2026-050
	PREVIOUS APPROVED MASSING



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RUSSELL DEVELOPMENT

71 RUSSELL AVE

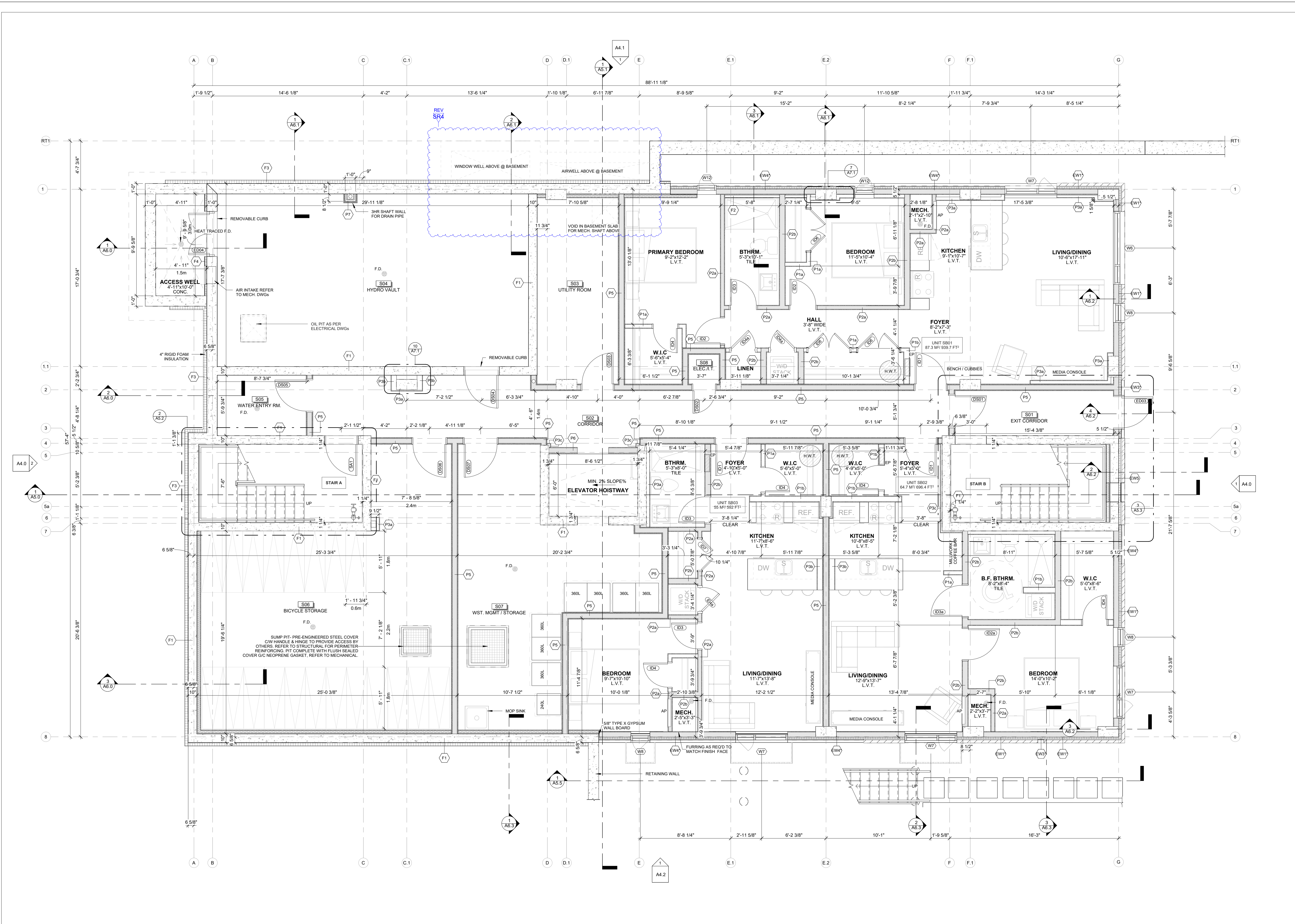
SHEET TITLE:
SITE CONTEXT

DRAWN BY: Y.R.	CHECKED BY: B.L.
PLST DATE: 2026-08-26 3:20:44 PM	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: As indicated

A1.1

APPLICATION # D07-12-26-0014

PLAN # 19441



1
A2.1
SUB-BASEMENT PLAN
SCALE 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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SEAL:
OTAWA ASSOCIATION OF ARCHITECTS
BRANDON G. LAWRENCE
LICENSE
9092

NORTH ARROW:
N

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LAWRENCE ARCHITECTS

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PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE
SHEET TITLE:
SUB-BASEMENT PLAN

DRAWN BY:
Y.R.

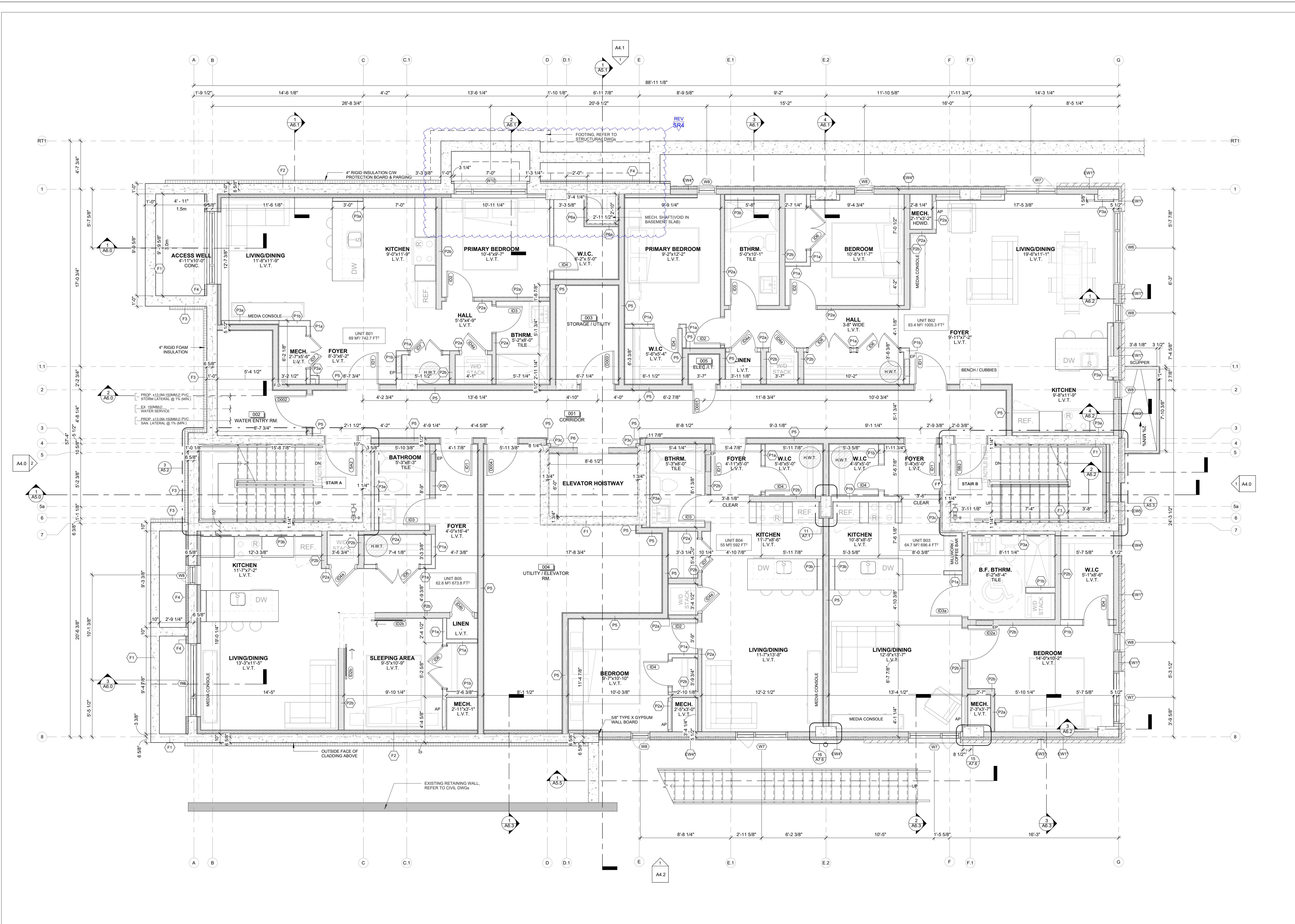
CHECKED BY:
B.L.

PROJECT DATE:
2026-08-26 3:20:45 PM

SCALE:
1/4" = 1'-0"

A2.1
PLAN # 1941

APPLICATION # D07-12-26-0014



1
A2.2
BASEMENT PLAN
SCALE: 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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SEAL:
**OLIVIO ASSOCIATION
OF
ARCHITECTS**
BRANDON G. LAWRENCE
LICENSE
9092

NORTH ARROW:

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No.	DATE	REVISION

**LAWRENCE
ARCHITECTS**

205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 8B7
T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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LAWRENCE ARCHITECT INCORPORATED
REPRODUCTION IS NOT PERMITTED

PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE
SHEET TITLE:
BASEMENT FLOOR PLAN

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PLOT DATE:
2026-08-26 3:20:46 PM

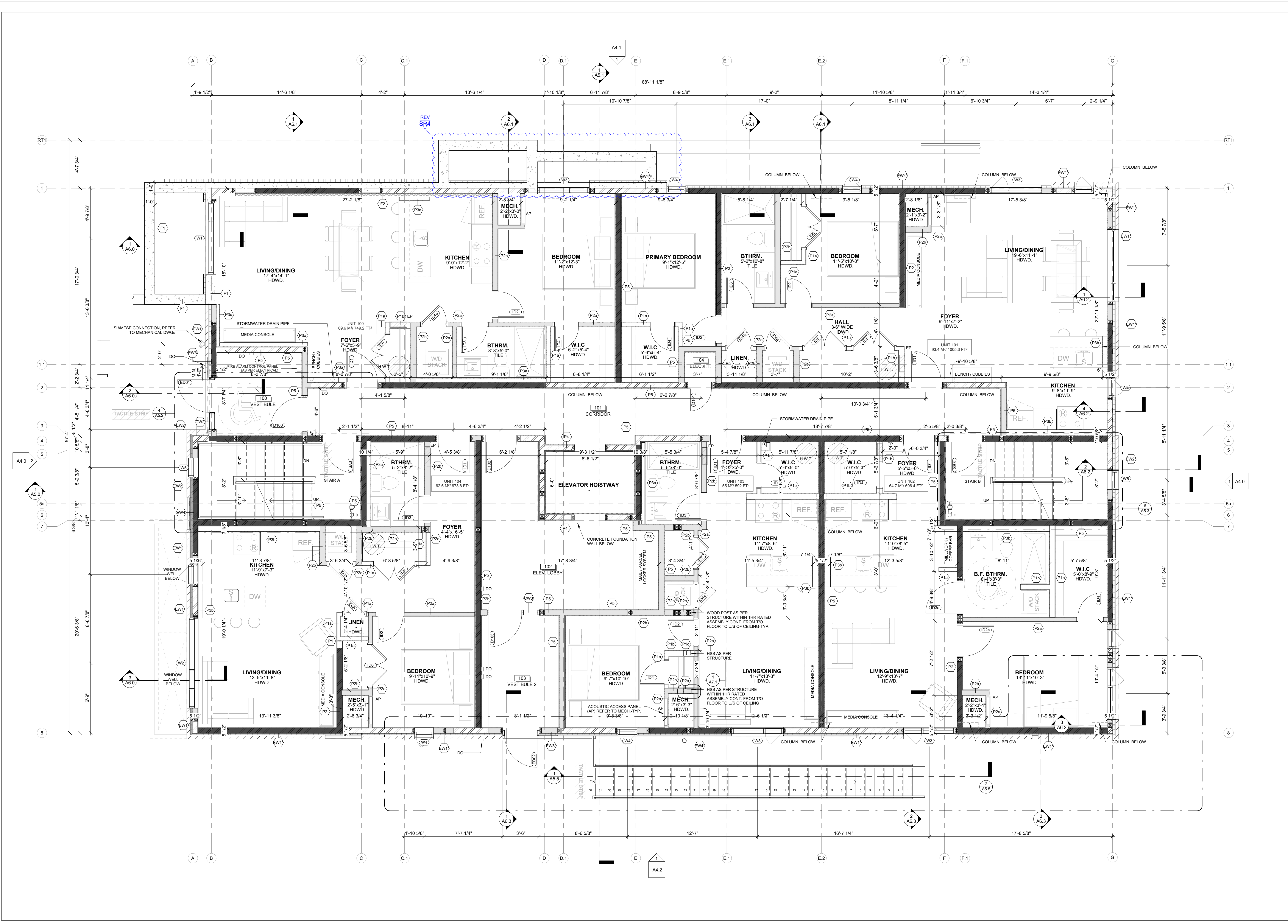
PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:
1/4" = 1'-0"

A2.2
PLAN # 1941

APPLICATION # D07-12-26-0014



1
A2.3
GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

NOTES:
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3) DO NOT SCALE DRAWINGS.
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5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

WALL HATCH LEGEND

- REFER TO SHEET A0.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- REFER TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

INSULATED WALL

NON-INSULATED WALL

ENGINEERED SHEAR WALL

LOADBEARING WALL

SEAL:
OLYMPIA ASSOCIATION OF ARCHITECTS
BRANDON G. LAWRENCE
LICENSE
9092

NORTH ARROW
N

19	2026.08.26	ISSUED FOR SPA RESPONSE 4 (SR4)
18	2026.07.17	ISSUED FOR BP Comments Response 1
17	2026.07.13	ISSUED FOR SPA RESPONSE 3 (SR3)
16	2026.07.08	ISSUED FOR COORDINATION
15	2026.06.26	ISSUED FOR COORDINATION
14	2026.06.11	ISSUED FOR COORDINATION
13	2026.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
12	2026.05.26	ISSUED FOR COORDINATION
11	2026.05.19	ISSUED FOR BUILDING PERMIT
10	2026.05.05	ISSUED FOR COORDINATION
09	2026.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
08	2026.02.09	ISSUED FOR SPC SUBMISSION
07	2026.01.29	ISSUED FOR COORDINATION
06	2025.12.23	ISSUED FOR COORDINATION
05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

No. DATE REVISION

LAWRENCE ARCHITECTS

205-18 DEAKIN STREET
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K2E 8B7

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PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE

SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY:
Y.R.

PLIST DATE:
2026-08-26 3:20:48 PM

JOB NUMBER:
LA-1158-25

CHECKED BY:
B.L.

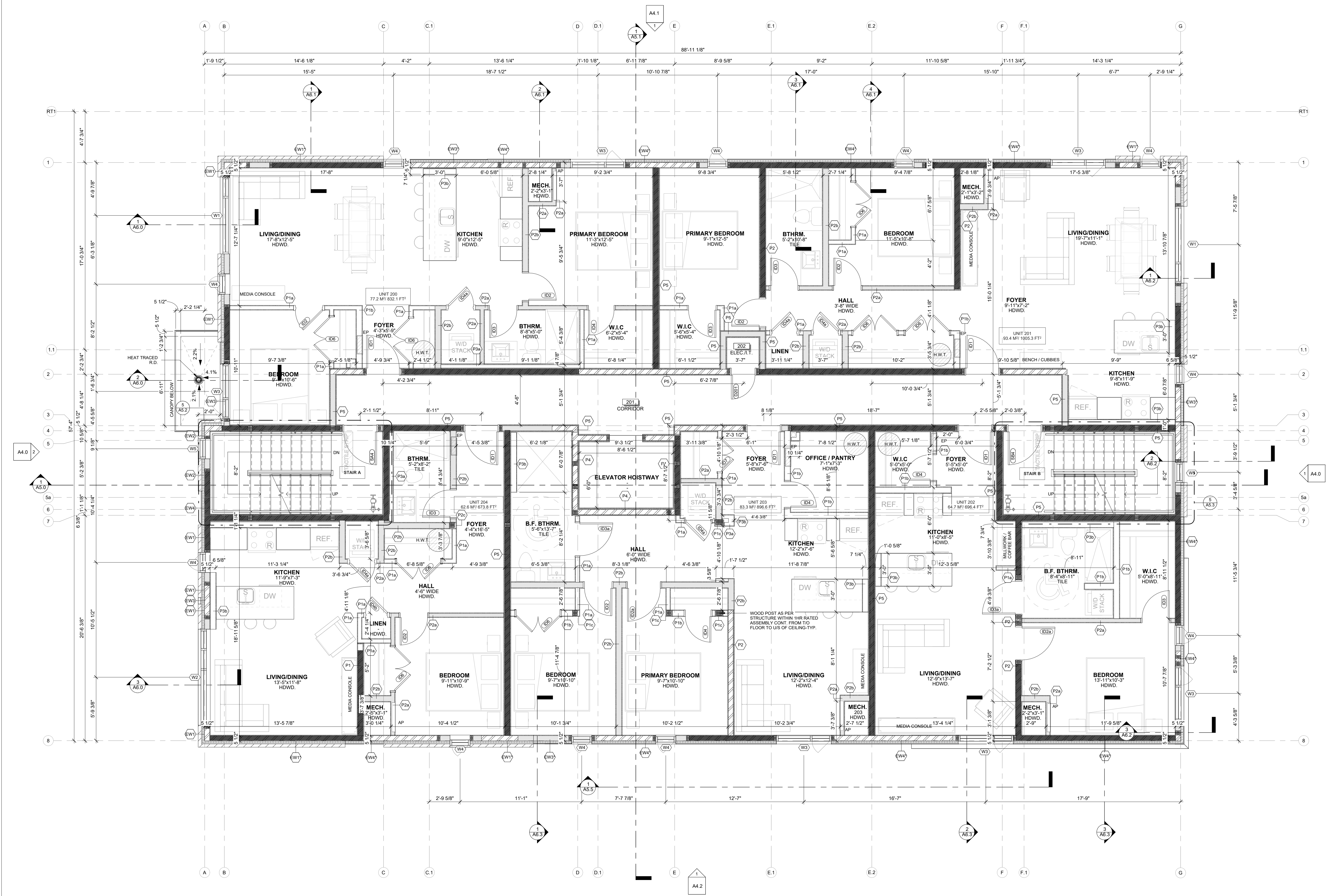
PROJECT DATE:
24-06-2025

SCALE:
As indicated

A2.3

PLAN # 1941

APPLICATION # D07-12-26-0014



1
A2.4 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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WALL HATCH LEGEND

- REFER TO SHEET A6.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- REFER TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

INSULATED WALL

NON-INSULATED WALL

ENGINEERED SHEAR WALL

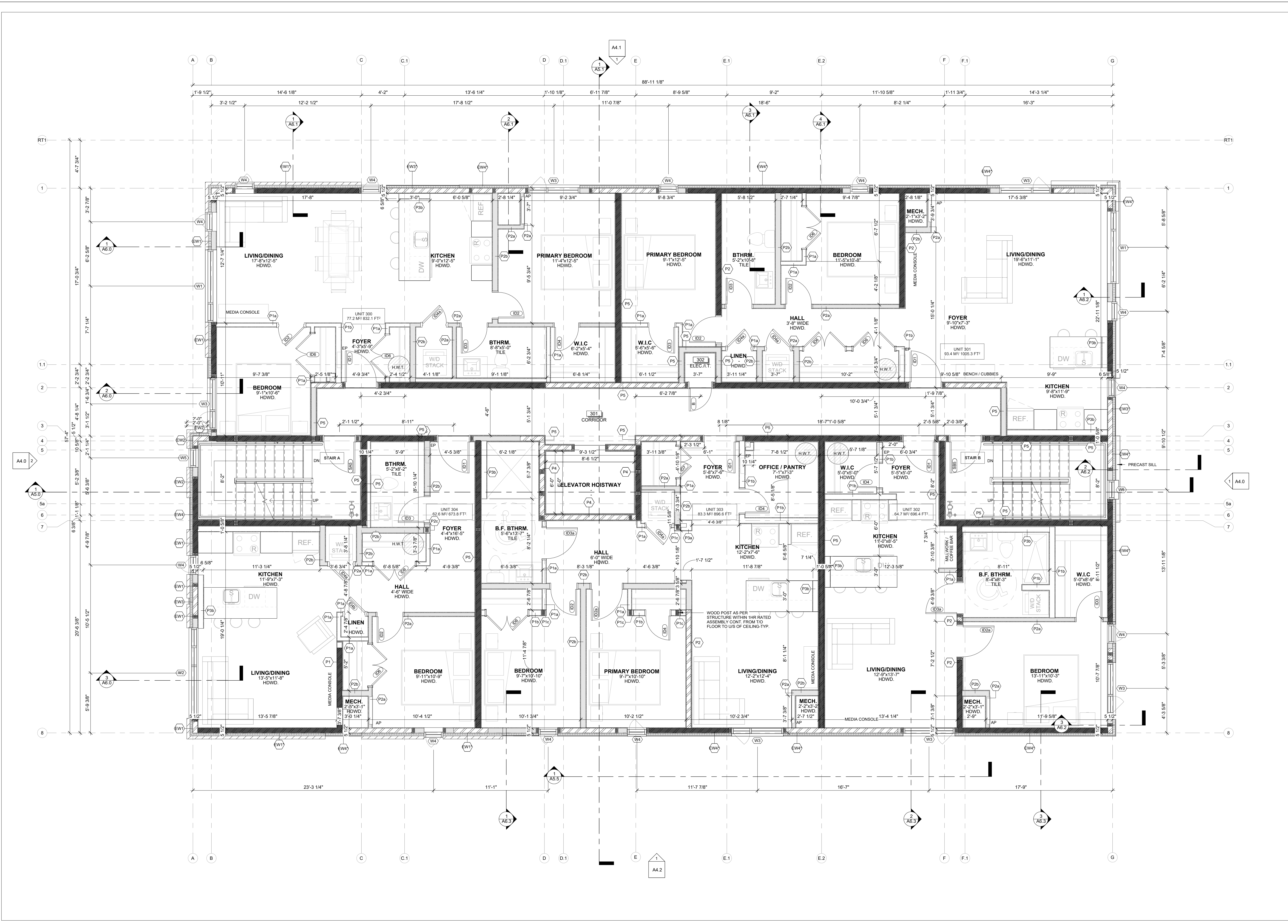
LOADBEARING WALL

SEAL: NORTH ARROW:

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No.	DATE	REVISION

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PROJECT:
RUSSELL DEVELOPMENT
71 RUSSELL AVE
SHEET TITLE:
SECOND FLOOR PLAN
DRAWN BY:
Y.R.
CHECKED BY:
B.L.
PLOT DATE:
2026-08-26 3:20:51 PM
PROJECT DATE:
24-06-2025
JOB NUMBER:
LA-1158-25
SCALE:
As indicated

A2.4
PLAN # 19441
APPLICATION # D07-12-26-0014



1
A2.5
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

JERSEY DEVELOPMENTS INC.

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INSULATED WALL
NON-INSULATED WALL
ENGINEERED SHEAR WALL
LOADBEARING WALL

SEAL: ARCHITECTS

NORTH ARROW:

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17	2026.07.13	ISSUED FOR SPA RESPONSE 3 (SR3)
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No.	DATE	REVISION

LAWRENCE ARCHITECTS

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PROJECT:
RUSSELL DEVELOPMENT

SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PLIST DATE:
2026-08-26 3:20:53 PM

PROJECT DATE:
24-06-2025

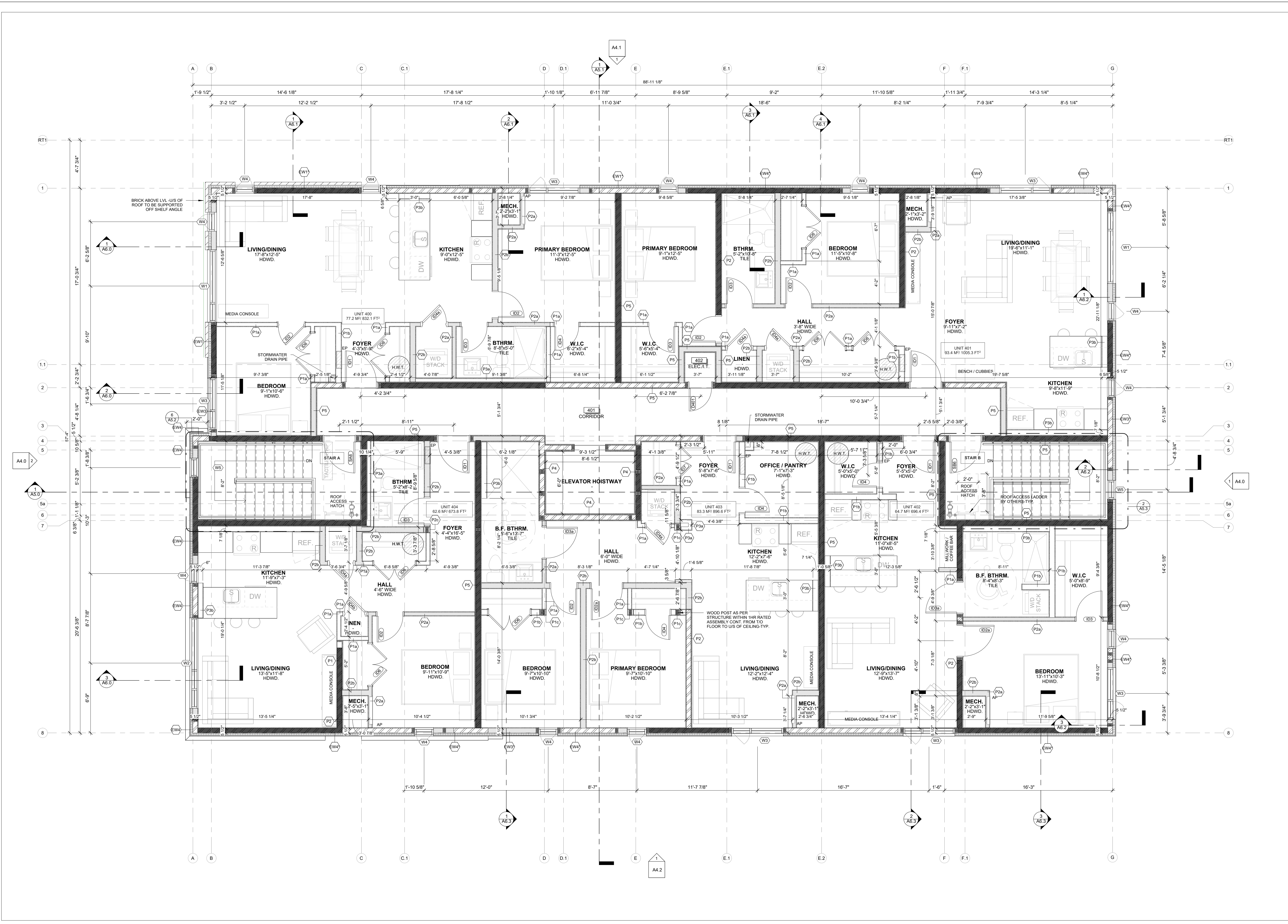
JOB NUMBER:
LA-1158-25

SCALE:
As indicated

A2.5

PLAN # 1941

APPLICATION # D07-12-26-0014



1
A2.6
FOURTH FLOOR PLAN
SCALE 1/4" = 1'-0"

JERSEY DEVELOPMENTS INC.

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NON-INSULATED WALL

ENGINEERED SHEAR WALL

LOADBEARING WALL

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No.	DATE	REVISION

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PROJECT:
RUSSELL DEVELOPMENT
71 RUSSELL AVE
SHEET TITLE:
FOURTH FLOOR PLAN

DRAWN BY:
Y.R.

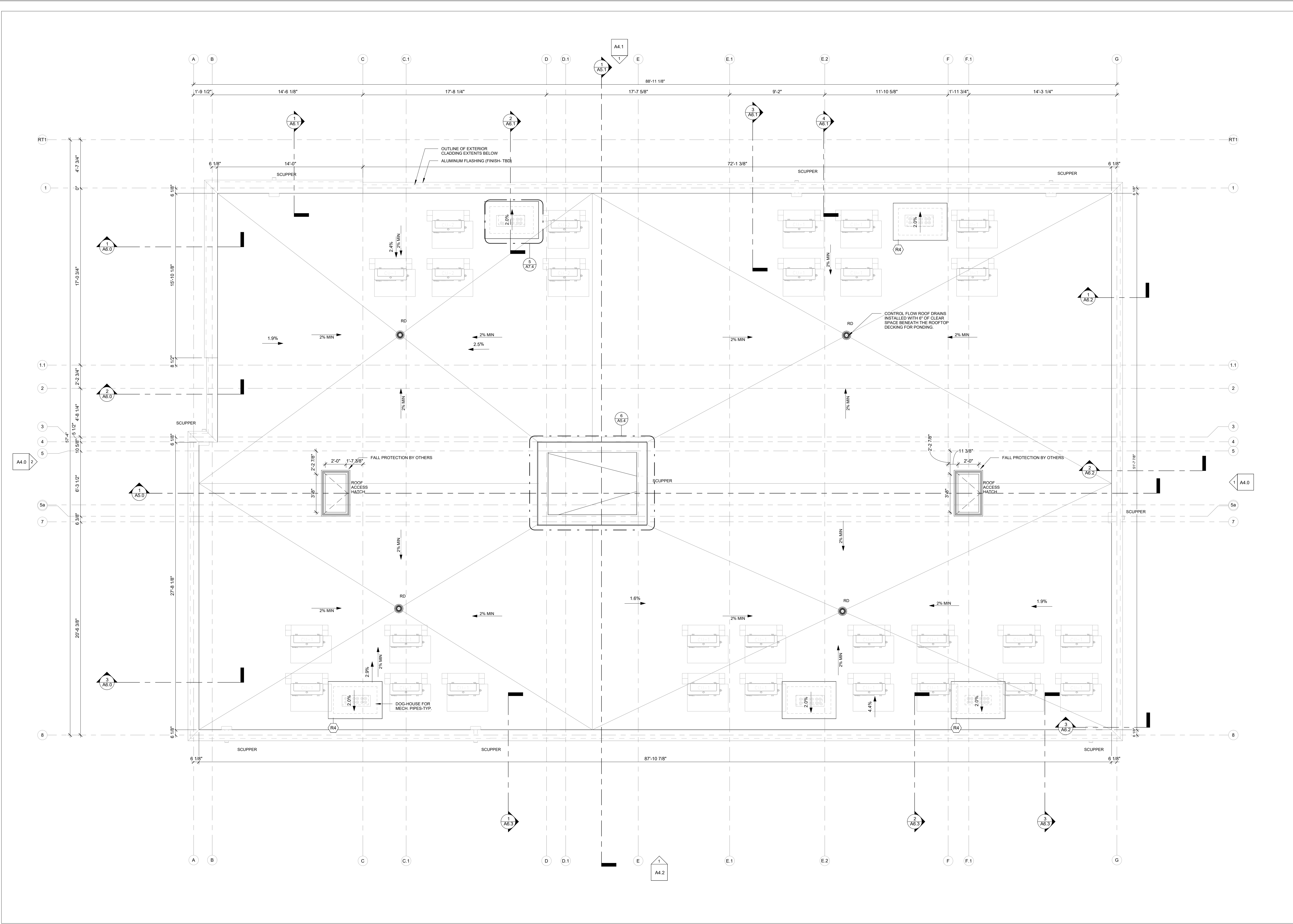
CHECKED BY:
B.L.

PROJECT DATE:
2026-08-26 3:20:56 PM

SCALE:
As indicated

A2.6
PLAN # 19441

APPLICATION # D07-12-26-0014



1
A2.7 ROOF PLAN
SCALE: 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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SEAL:
**OLYMPIA ASSOCIATION
OF
ARCHITECTS**
Brandon G. Lawrence
BRANDON G. LAWRENCE
LICENSE
9092

NORTH ARROW:

19	2026.08.26	ISSUED FOR SPA RESPONSE 4 (SR4)
18	2026.07.17	ISSUED FOR BP Comments Response 1
17	2026.07.13	ISSUED FOR SPA RESPONSE 3 (SR3)
16	2026.07.08	ISSUED FOR COORDINATION
15	2026.06.26	ISSUED FOR COORDINATION
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13	2026.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
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11	2026.05.19	ISSUED FOR BUILDING PERMIT
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07	2026.01.29	ISSUED FOR COORDINATION
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05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW
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**LAWRENCE
ARCHITECTS**

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PROJECT:
RUSSELL DEVELOPMENT
71 RUSSELL AVE
SHEET TITLE:
ROOF PLAN

DRAWN BY:
Y.R.
PLOT DATE:
2026-08-26 3:20:56 PM
JOB NUMBER:
LA-1158-25

CHECKED BY:
B.L.
PROJECT DATE:
24-06-2025
SCALE:
1/4" = 1'-0"

A2.7

PLAN # 19441

APPLICATION # D07-12-26-0014

CLIENT NAME:

JERSEY DEVELOPMENTS INC.

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FRR LEGEND

- FS FS FIRE SEPERATION (0HR FRR)
- 60 60 1HR FRR
- 120 120 2HR FRR
- TRAVEL DISTANCE
- FIRE HOSE CABINET
- FIRE EXTINGUISHER
- RECESSED FIRE EXTINGUISHER
- FIRE ALARM MANUAL PULL STATION
- EXIST SIGN
- EMERGENCY LIGHT HEADS
- BATTERY POWERED EMERGENCY LIGHT
- FIRE ALARM SMOKE DETECTOR
- FIRE ALARM - COMBINATION HORN/STROBE - WALL MTD
- STANDPIPE/65MM HOSE CONNECTION DRAIN RISER

FIRE LIFE SAFETY PLAN NOTES

1. WALLS ABOVE DOORS TO MATCH WALL ASSEMBLY ADJACENT TO DOOR UNLESS NOTED OTHERWISE.
2. REFER TO ELECTRICAL & MECHANICAL DWG'S FOR EMERGENCY LIGHTING, EXIT SIGNAGE, FIRE EXTINGUISHER/CABINET, AND FIRE ALARM PLACEMENT & INFORMATION.



19	2026.08.26	ISSUED FOR SPA RESPONSE 4 (SR4)
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PROJECT:
RUSSELL DEVELOPMENT

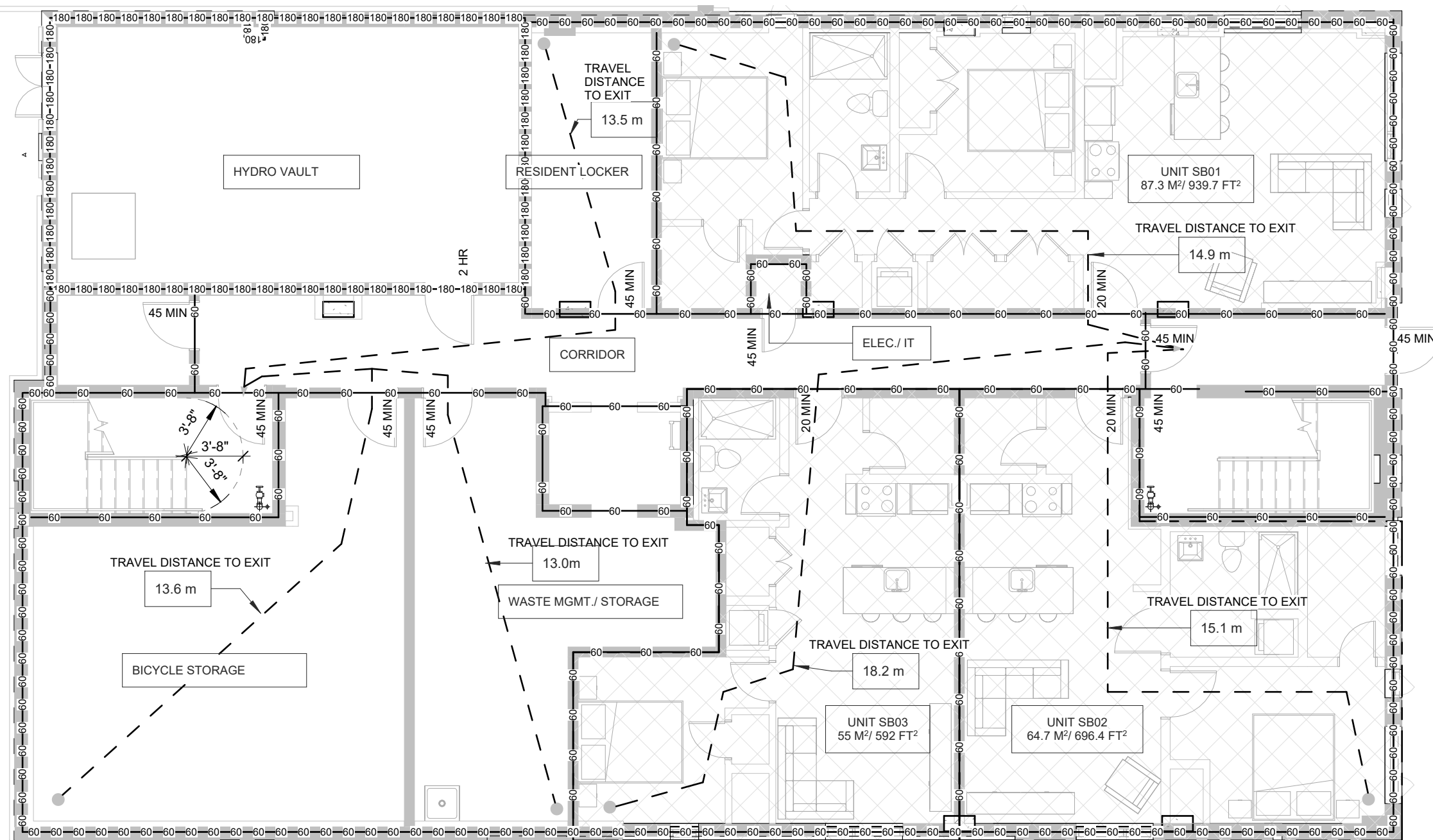
71 RUSSELL AVE

SHEET TITLE:
FIRE SAFETY PLANS

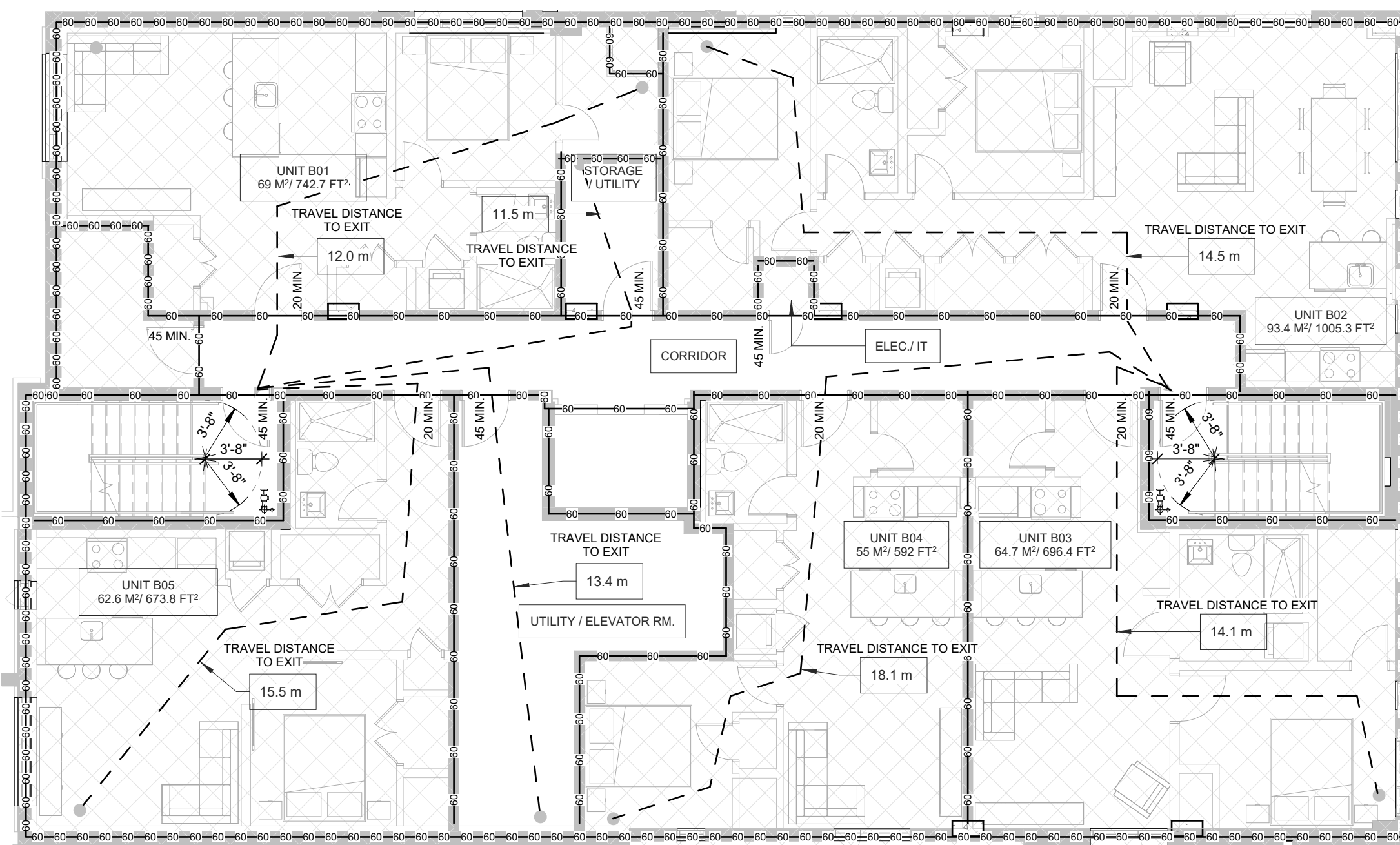
DRAWN BY: Y.R.	CHECKED BY: B.L.
PLST DATE: 2026-08-26 3:20:59 PM	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: As indicated

A2.8

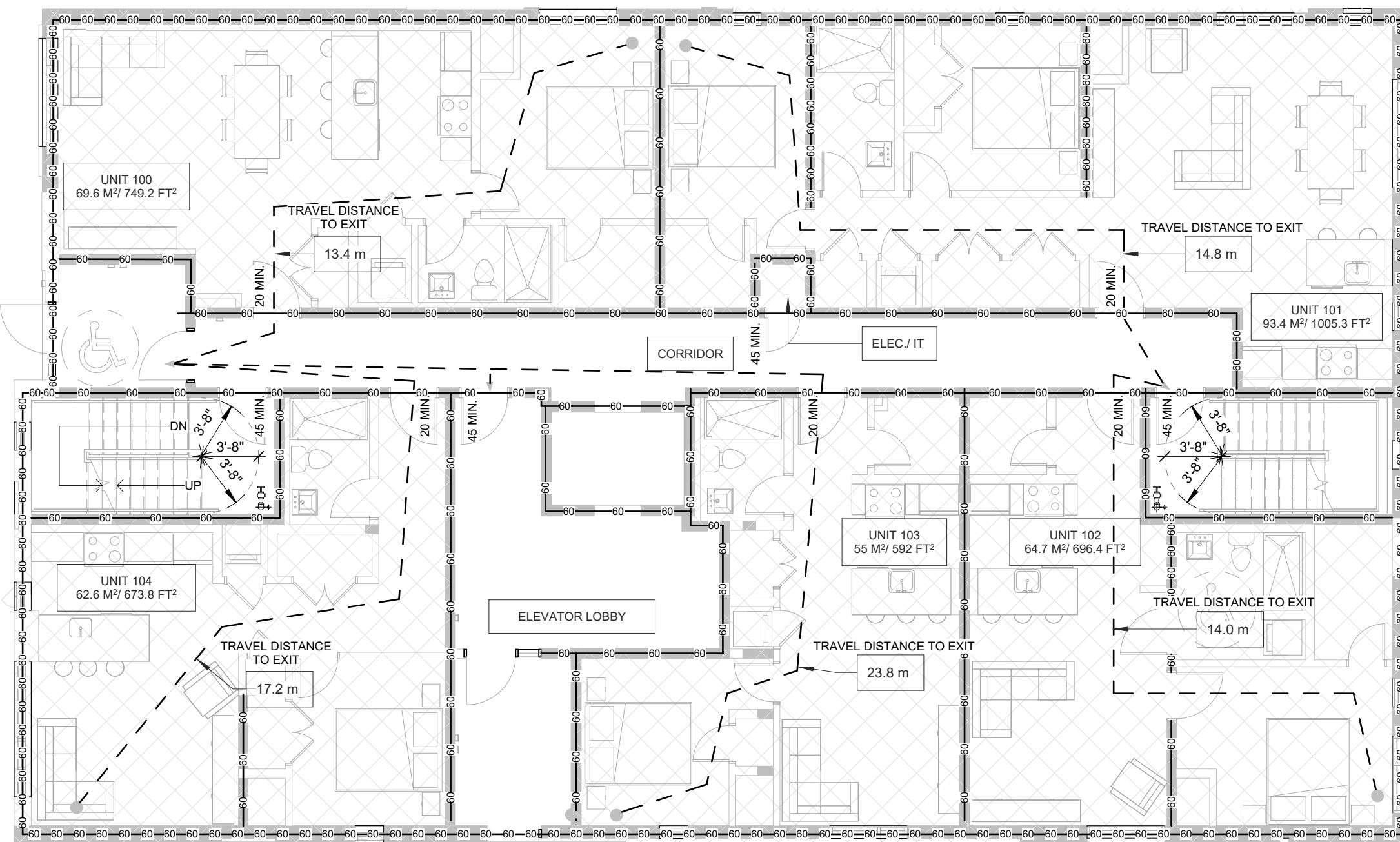
APPLICATION # D07-12-26-0014



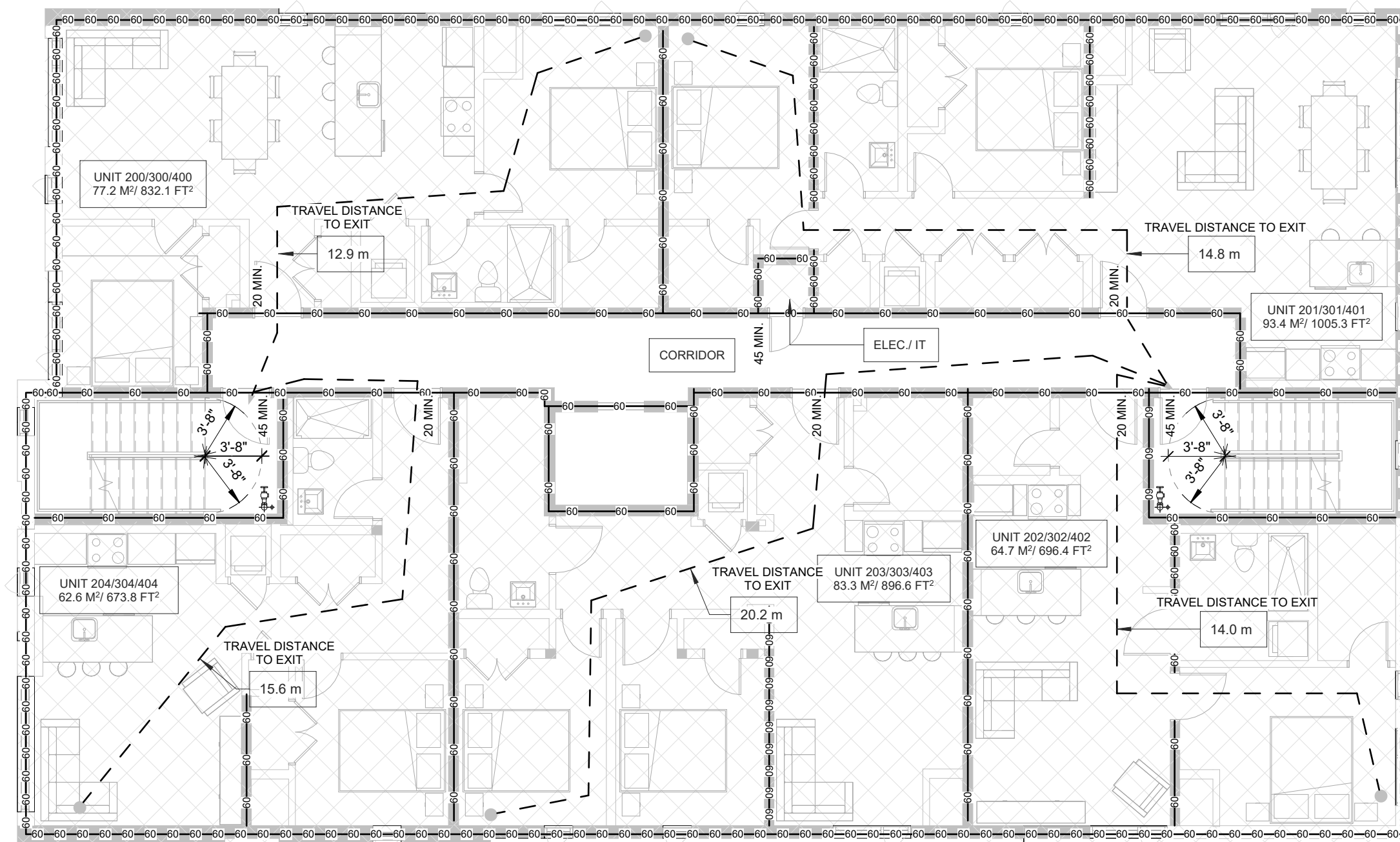
1
A2.8 SUB-BASEMENT
SCALE 1/8" = 1'-0"



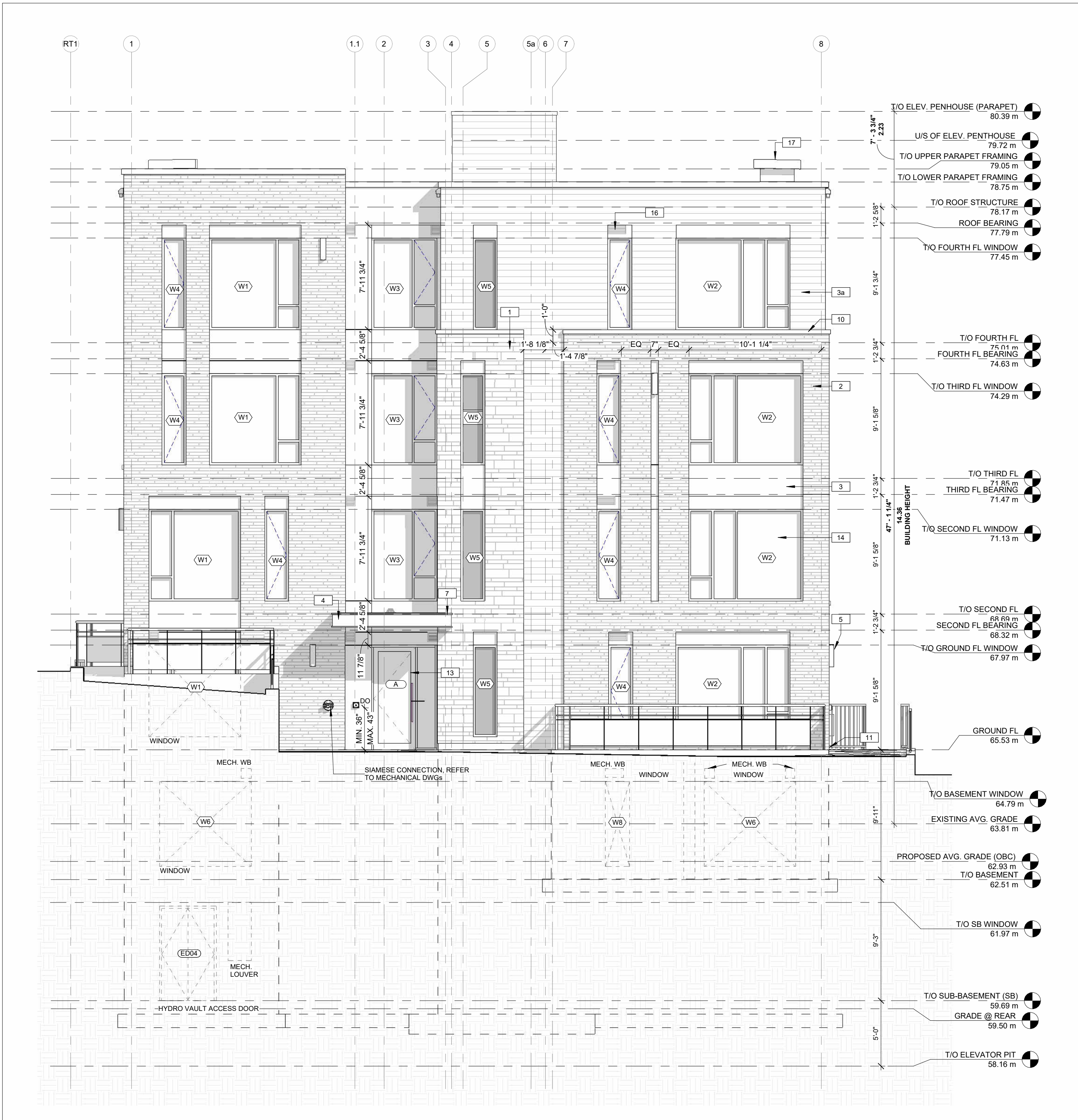
2
A2.8 T/O BASEMENT
SCALE 1/8" = 1'-0"



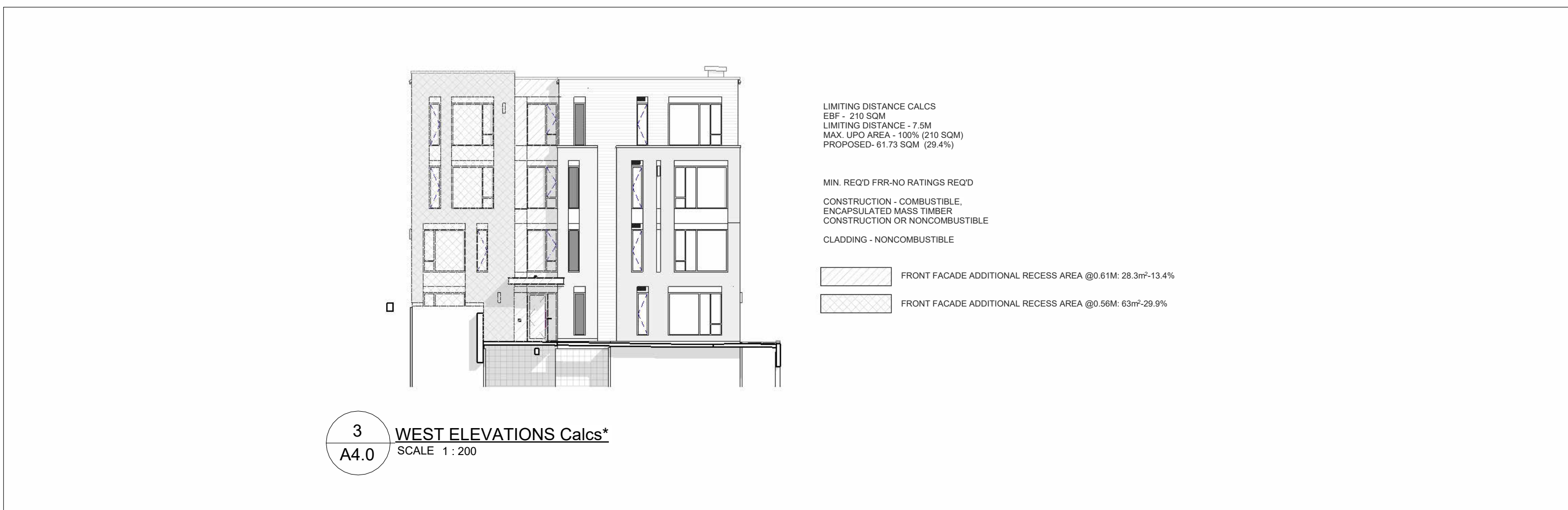
3
A2.8 GROUND FLOOR
SCALE 1/8" = 1'-0"



4
A2.8 2-4 Floors
SCALE 1/8" = 1'-0"



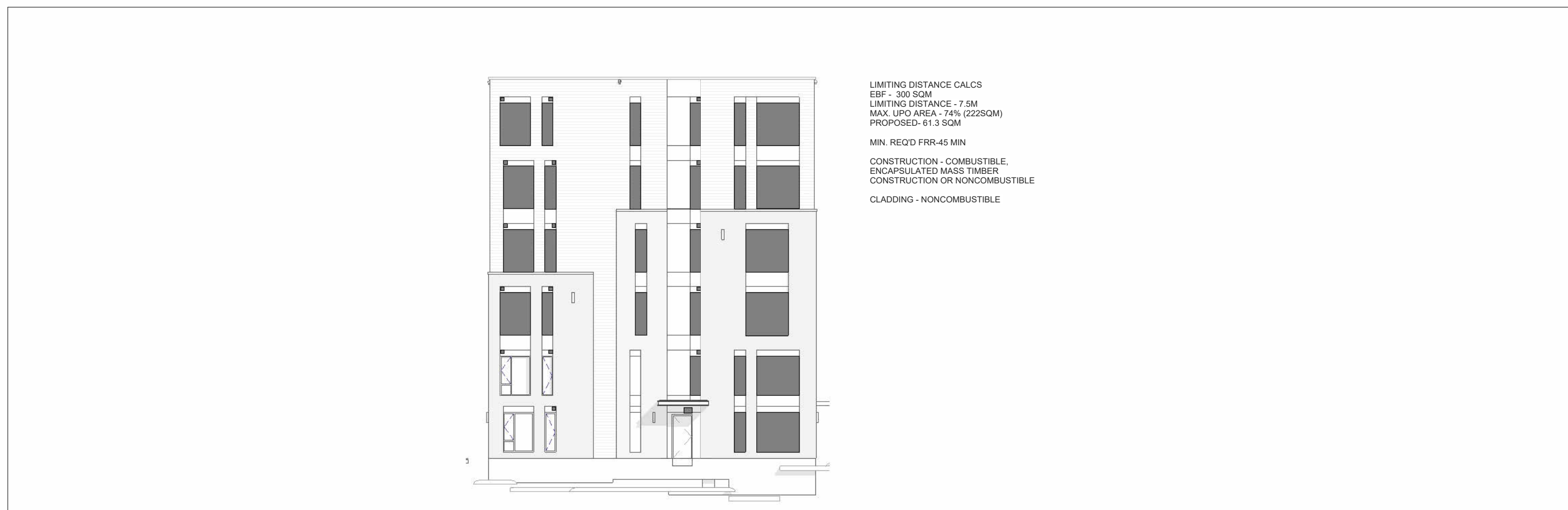
2 WEST ELEVATIONS (FRONT)*
SCALE 3/16" = 1'-0"



3 WEST ELEVATIONS Calcs*
SCALE 1 : 200



1 EAST ELEVATION (REAR)*
SCALE 3/16" = 1'-0"

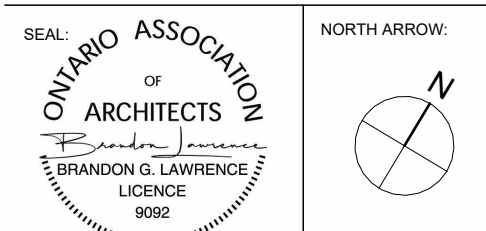


4 EAST ELEVATION CALCS*
SCALE 1 : 200

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

- NOTES:
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KEYNOTES-ELEVATION	
1	STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR-GREIGE
2	BRICK MASONRY VENEER BY "GLEN-GERY" COSMOPOLITAN-MOUNTAIN SHADOW (NORMAN-11 5/8"), COLOUR-TBD
3	ALUCOBOND ACM PANELS WITH REVEAL, COLOUR-MATCH TEXTURED COFFEE/CHAMPAGNE WAVE. SEE ELEVATIONS
3a	LUX METAL SIDING, COLOUR-TEXTURED COFFEE (METALLIC)
3b	LUX METAL SIDING, COLOUR-CHAMPAGNE WAVE (METALLIC)
4	PRE-FINISHED ALUMINUM FASCIA (COLOUR - BLACK) CW RAISED PROFILE & SOFFIT, LONGBOARD COLOUR - DARK NATIONAL WALNUT
5	WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
6	PRE-FINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
7	SUSPENDED CANOPY ROOF AREA CW PREFIN. METAL CAP FLASHING @ EDGE
10	4" HT. PRE-CAST CONCRETE SILL
11	CEMENT PARING FOR EXPOSED FOUNDATION WALLS TO MIN. 8" BELOW GRADE
13	ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
14	VINYL WINDOW - BLACK
14a	SPRINKLER PROTECTED ALUMINUM WINDOW REFER MECH. DWGS
16	MECH. WALL BOX-REFER MECH. DWGS (FINISH-TBD)
17	MECH. DOORHOUSE-REFER MECH. DWGS



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15	2026.06.26	ISSUED FOR COORDINATION
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13	2026.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
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11	2026.05.19	ISSUED FOR BUILDING PERMIT
10	2026.05.05	ISSUED FOR COORDINATION
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03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW
No.	DATE	REVISION



205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 8B7

T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE
SHEET TITLE:
**ELEVATIONS
(WEST/EAST-FRONT/REAR)**

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PLOT DATE:
2026-08-26 3:21:03 PM

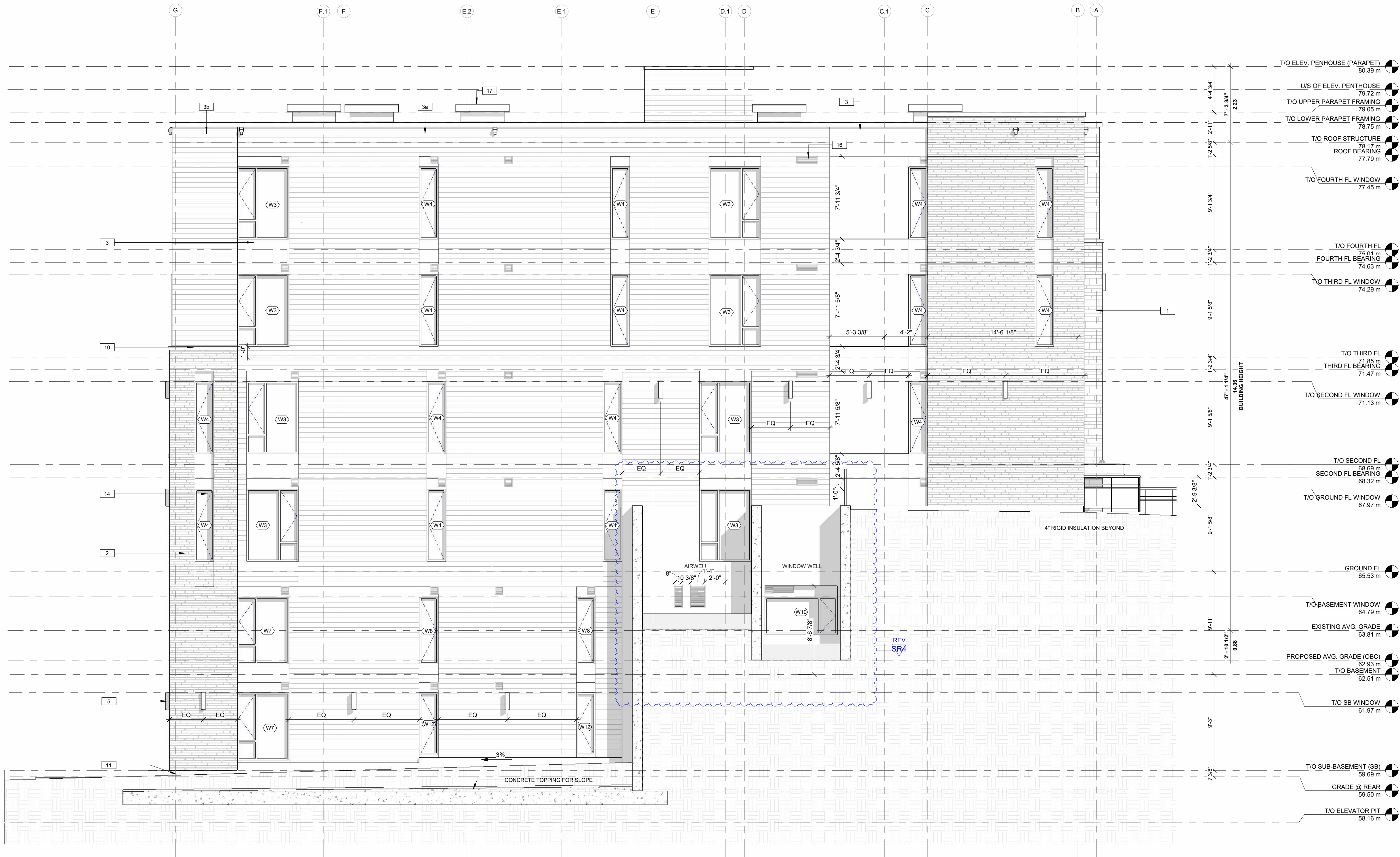
PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:
As indicated

A4.0

APPLICATION # D07-12-26-0014



1
A4.1 NORTH ELEVATION (LEFT SIDE)*
SCALE 3/16" = 1'-0"

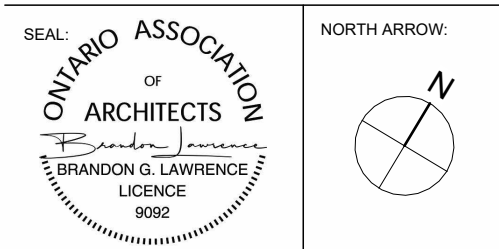


2
A4.1 NORTH ELEVATION Calcs*
SCALE 1:200

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
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 - 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

KEYNOTES-ELEVATION	
1	STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR-GREIGE.
2	BRICK MASONRY VENEER BY "GLEN-GERY", COSMOPOLITAN-MOUNTAIN SHADOW (NORMAN-11 5/8"); COLOUR-TBD
3	ALUCOBOND ACM PANELS WITH REVEAL, COLOUR-MATCH TEXTURED COFFEE/CHAMPAGNE WAVE. SEE ELEVATIONS
3a	LUX METAL SIDING, COLOUR-TEXTURED COFFEE (METALLIC)
3b	LUX METAL SIDING, COLOUR-CHAMPAGNE WAVE (METALLIC)
4	PRE-FINISHED ALUMINUM FASCIA (COLOUR - BLACK) CW RAISED PROFILE & SOFFIT, LONGBOARD COLOUR - DARK NATIONAL WALNUT
5	WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
6	PRE-FINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS (W/ MIN. 4" PROJECTION)
7	SUSPENDED CANOPY ROOF AREA C/W PREFIN. METAL CAP FLASHING @ EDGE
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14	VINYL WINDOW - BLACK
14a	SPRINKLER PROTECTED ALUMINUM WINDOW REFER MECH. DWGS
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07	2026.01.29	ISSUED FOR COORDINATION
06	2025.12.23	ISSUED FOR COORDINATION
05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW
No.	DATE	REVISION



205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 6B7
T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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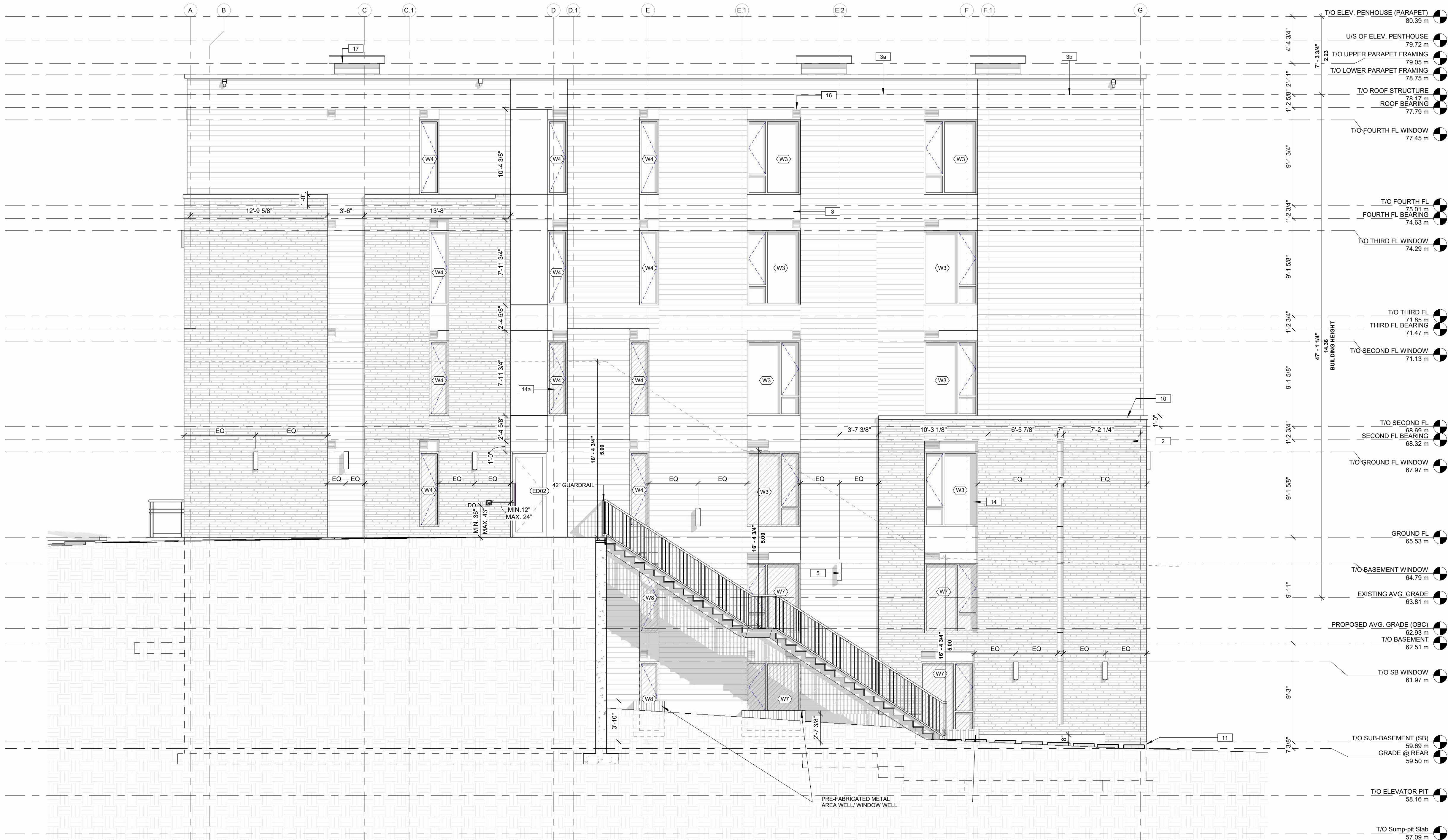
PROJECT:
RUSSELL DEVELOPMENT
71 RUSSELL AVE
SHEET TITLE:
ELEVATIONS (NORTH/LEFT)

DRAWN BY:
Y.R.
PLOT DATE:
2026-08-26 3:21:07 PM
JOB NUMBER:
LA-1158-25

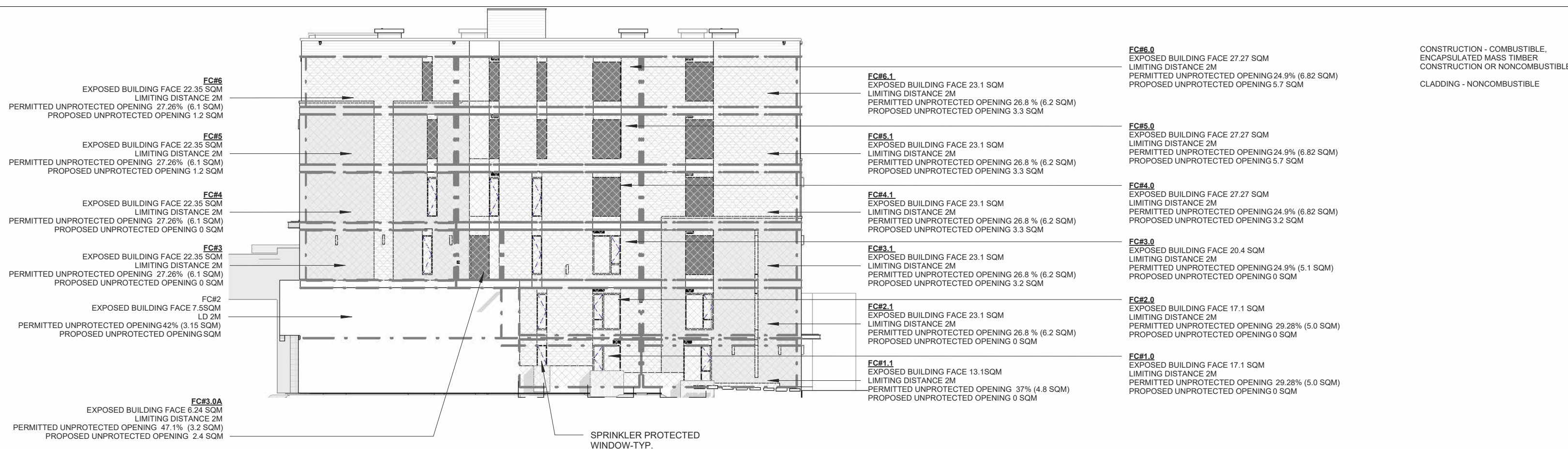
CHECKED BY:
B.L.
PROJECT DATE:
24-06-2025
SCALE:
As indicated

A4.1

APPLICATION # D07-12-26-0014



1 SOUTH ELEVATION (RIGHT SIDE)*
SCALE 3/16" = 1'-0"



2 SOUTH ELEVATION Calcs*
SCALE 1: 200

CLIENT NAME:

JERSEY DEVELOPMENTS INC.

NOTES:

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KEYNOTES-ELEVATION

- 1 STONE MASONRY VENEER BY "ARRIS-CRAFT - FRESCO", COLOUR-GREIGE
- 2 BRICK MASONRY VENEER BY "GLEN-GERY", COLOUR-MOUNTAIN SHADOW (NORMAN-11 5/8"), COLOUR-TBD
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- 3a LUX METAL SIDING, COLOUR-TEXTURED COFFEE (METALLIC)
- 3b LUX METAL SIDING, COLOUR-CHAMPAGNE WAVE (METALLIC)
- 4 PREFINISHED ALUMINUM FASCIA (COLOUR - BLACK) C/W RAISED PROFILE & SOFFIT, LONGBOARD COLOUR - DARK NATIONAL WALNUT
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- 14 VINYL WINDOW - BLACK
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No.	DATE	REVISION
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11	2026.05.19	ISSUED FOR BUILDING PERMIT
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03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW



205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 6B7

T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE
SHEET TITLE:
ELEVATIONS (SOUTH / RIGHT)

DRAWN BY:
Y.R.
PROJECT DATE:
2026-08-26 3:21:09 PM
JOB NUMBER:
LA-1158-25

CHECKED BY:
B.L.
PROJECT DATE:
24-06-2025
SCALE:
As indicated

A4.2

APPLICATION # D07-12-26-0014



1
A4.3 FRONT PERSPECTIVE 1
SCALE



3
A4.3 FRONT PERSPECTIVE 2
SCALE



2
A4.3 REAR PERSPECTIVE 1
SCALE



4
A4.3 REAR PERSPECTIVE 2
SCALE

CLIENT NAME:

JERSEY DEVELOPMENTS INC.

NOTES:

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NORTH ARROW:



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No.	DATE	REVISION



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PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE

SHEET TITLE:
BUILDING PERSPECTIVE

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PLOT DATE:
2026-08-26 3:21:16 PM

PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:

A4.3

APPLICATION # D07-12-26-0014

PLAN # 19441

CLIENT NAME:

JERSEY DEVELOPMENTS INC.

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PROJECT:
RUSSELL DEVELOPMENT

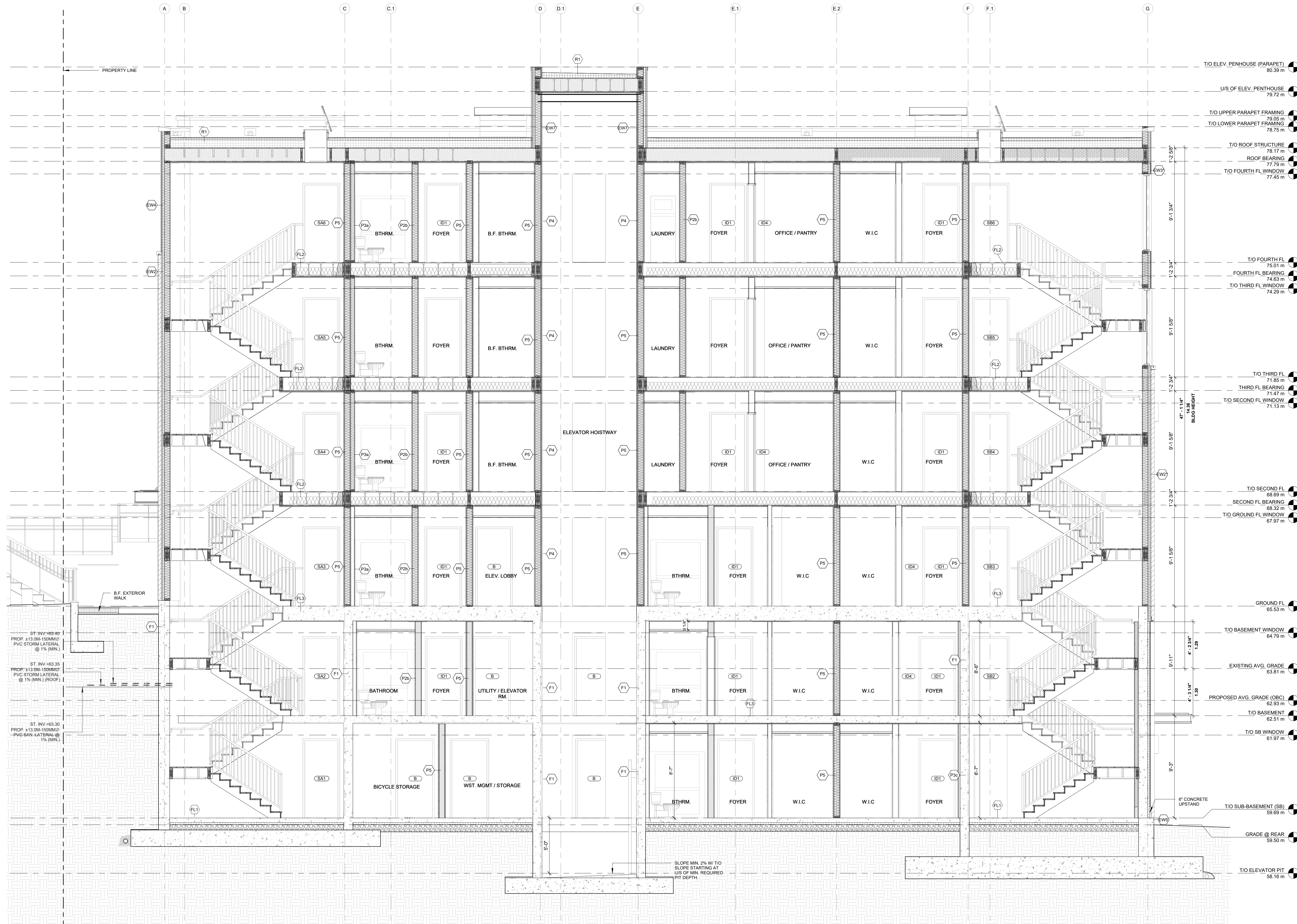
71 RUSSELL AVE

SHEET TITLE:
BUILDING SECTIONS

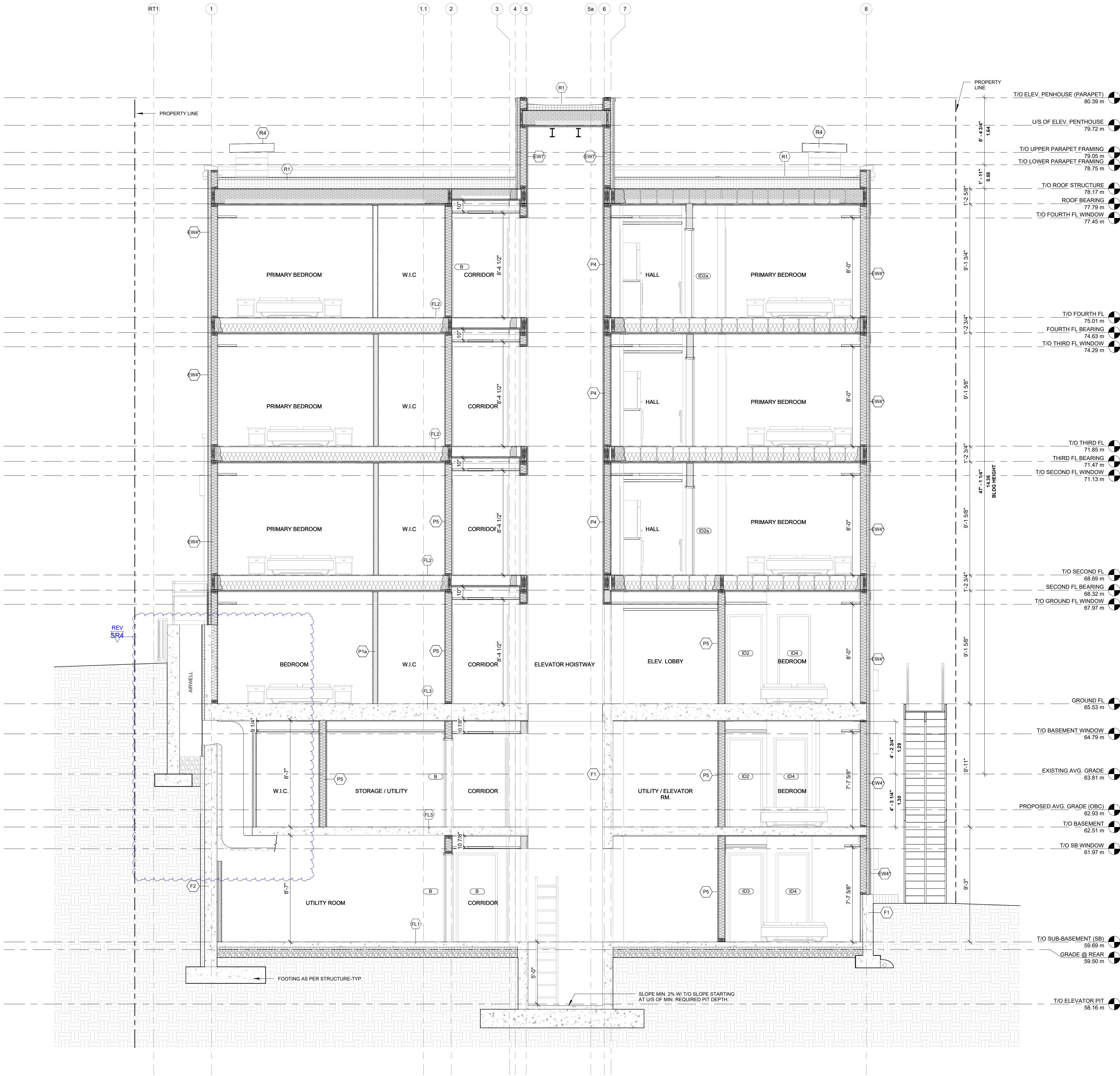
DRAWN BY: Y.R.	CHECKED BY: B.L.
PLST DATE: 2026-08-26 3:21:18 PM	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: 1/4" = 1'-0"

A5.0

APPLICATION # D07-12-26-0014



1
A5.0
BUILDING SECTION (LONG.)
SCALE 1/4" = 1'-0"

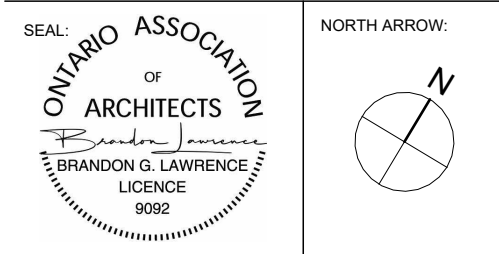


1
A5.1 BUILDING SECTION (SHORT)
SCALE 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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01	2025.11.13	ISSUED FOR REVIEW
No.	DATE	REVISION



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PROJECT:
RUSSELL DEVELOPMENT

71 RUSSELL AVE

SHEET TITLE:
BUILDING SECTIONS

DRAWN BY: Y.R.	CHECKED BY: B.L.
PLST DATE: 2026-08-26 3:21:19 PM	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: 1/4" = 1'-0"

A5.1

APPLICATION # D07-12-26-0014