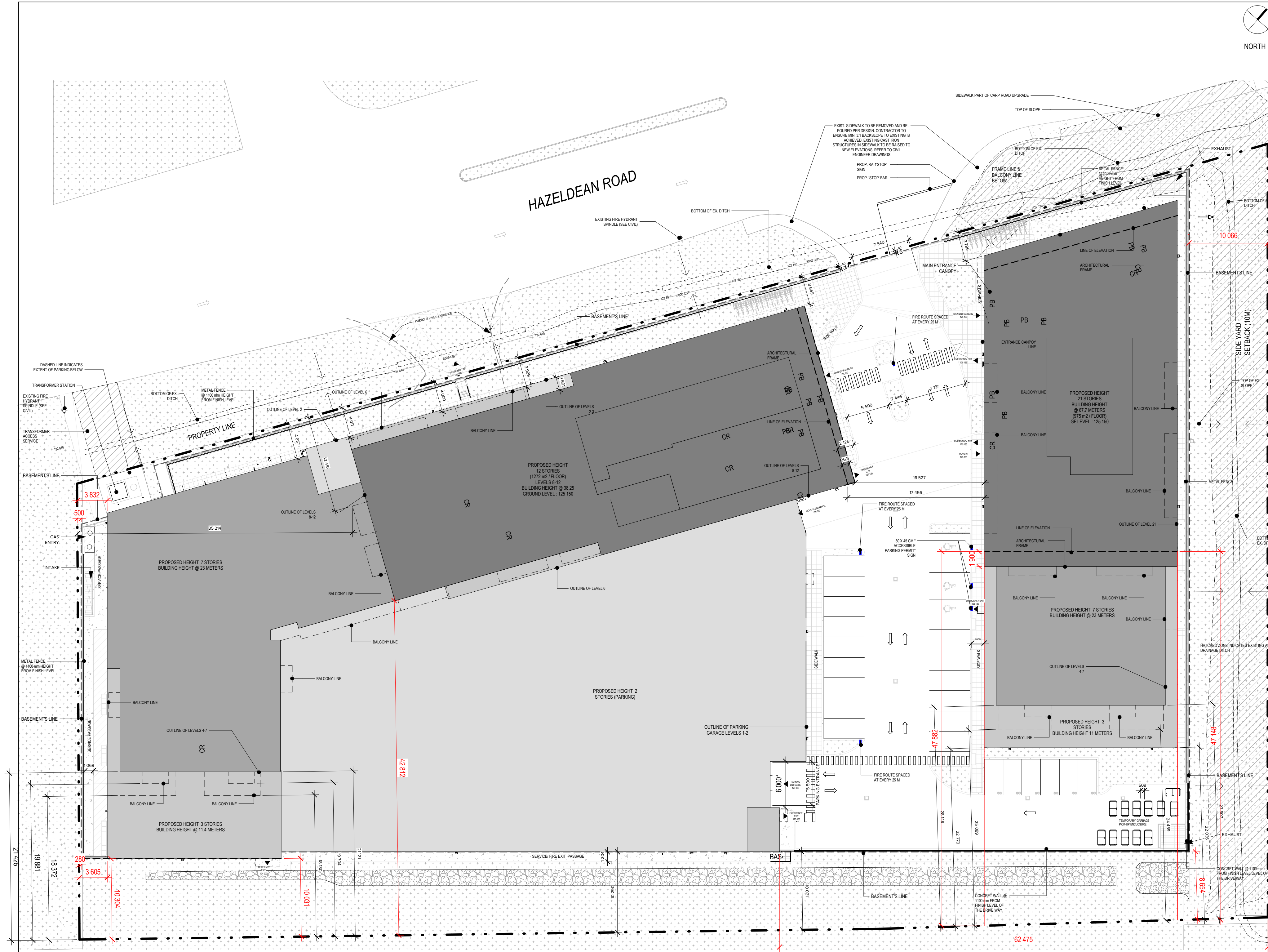
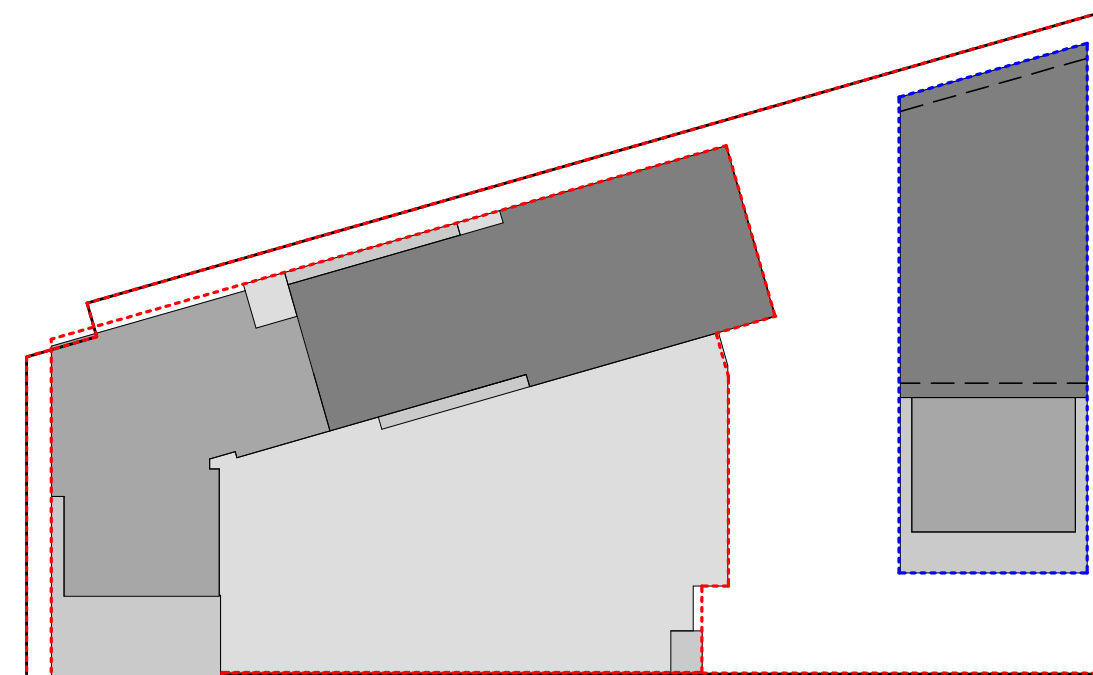




1 SITE PLAN - SPA
A-025
SCALE: 1 : 300

CONSTRUCTION PHASE DIAGRAM



CLIENT
FELIX ALLAIRE
4329163 CANADA INC.
6310 HAZELDEAN ROAD
P.O. BOX 1791
STITTSVILLE, ON K2S 1B4

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FOTENN PLANNING
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ACDF ARCHITECTURE
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CIVIL ENGINEER
MAXIME LONGTIN
5430 CANOTEK RD, OTTAWA, ON
SURVEYOR

PROJECT DESCRIPTION:	
PROPOSED DESIGN	2 RESIDENTIAL BUILDING
BUILDING 01 (A)	12 STORY
BUILDING 02 (B)	21 STORY
LOCAL AUTHORITY	CITY OF OTTAWA
PLAN NUMBER	04753.0270, 0271, 0272
MUNICIPAL ADDRESS	6310 HAZELDEAN ROAD
LEGAL DESCRIPTION	Part of lot 22, concession 12, Geographic Township of Goulbourn, city of Ottawa
SITE INFORMATION:	
LOT AREA	12,014 m ²
LOT FRONTAGE	152m
LOT DEPTH	78.5m
BUILDINGS INFORMATION:	
BUILDING AREA 01 (A)	5,030 m ²
BUILDING AREA 02 (B)	1,325 m ²
BUILDING FLOOR AREA (ABOVE GRADE)	
BUILDING 01 (A) PROPOSED USE:	HIGH-RISE DWELLING UNITS
BUILDING 02 (B) PROPOSED USE:	HIGH-RISE DWELLING UNITS
BUILDING 01 (A) NUMBER OF UNITS	248
BUILDING 02 (B) NUMBER OF UNITS	209
TOTAL NUMBER OF UNITS	457
PROJECT ZONING BY LAW AND APPLICABLE BUILDING CODE:	
ZONING TABLE	AM52102/5501 Provisions
MINIMUM LOT AREA	No minimum
Table 185	154 m
MINIMUM LOT WIDTH	No minimum
Table 185	154 m
MINIMUM FRONT YARD SETBACK	0.2 m
Schedule 501	Building 01 (A): 0.3 m Building 02 (B): 0.3 m
MINIMUM INTERIOR SIDE YARD	EAST: 10 m WEST: 0.2 m
Schedule 501	Building 01 (A) (East): N/A Building 01 (A) (West): 0.2 m Building 02 (B) (East): 10.2 m Building 02 (B) (West): N/A
MINIMUM REAR YARD	8.2 metres for the first 63 metres from the eastern property line, and 10 metres for the remainder of the rear lot line
Schedule 501	
MINIMUM BUILDING HEIGHT	Area A: 41 m Area B: 67.7 m Area C: 24 m Area D: 11.5 m Area E: 1.4 m Area F: no buildings are permitted
Schedule 501	Area A: 38.5 m Area B: 65.37 m Area C: 23.28 m Area D: 11.4 m Area E: 1.8 m Area F: no building
MAXIMUM FLOOR SPACE INDEX	N/A
AMENITY AREA	Total 6 m ² / Dwelling unit (2,736 m ²)
Building 01	Building 01 (A) Private Amenities: 1191.51 m ²
Approximate Building Mid-High Rise	Building 02 (B) Private Amenities: 2415.29 m ²
Communal: 50% of the required total amenity area (1,388 m ²)	Total Private Amenities: 3606.8 m ²
	Internal Communal Amenities: 726.3 m ²
	External Communal Amenities: 2363.3 m ²
	Total Communal Amenities: 3089.3 m ²
	12014 m ²
MINIMUM LOT AREA FOR HIGH-RISE BUILDINGS	1800 m ²
Section 77	
Area B: Schedule 402	
MINIMUM INTERIOR SIDE AND REAR YARD SETBACK	11.5 m
Section 77	
Area B: Schedule 402	
MINIMUM SEPARATION DISTANCE BETWEEN TOWERS ON THE SAME LOT	16.5 m
Urban Exception 2102	
ORNAMENTAL ELEMENTS SUCH AS BALCONIES, CORNICES, CORNICES, PARAPETS AND PILASTERS	ornamental elements such as sills, belt courses, cornices, parapets and pilasters to project 2.2 metres, but no closer than 0.5 m to a lot line;
Table 665.1	Building 01 (A): 0.9 m Building 02 (B): 1.9 m
MINIMUM VEHICLE PARKING SPACE RATE	0.75 spaces/ unit (343 spaces)
Urban Exception 2102	465 spaces
VEHICLE PARKING SIZE	2.6 wide x 5.2 m long Fifty percent of spaces may be reduced to 2.4 x 4.8 m for compact cars
Section 2102	451 (2.6 x 5.2 m), includes visitors 92 (2.4 x 4.8 m), 7 (Accessible type A) and 7 (Accessible type B) Total 537
MINIMUM VISITORS PARKING SPACE	0.2 spaces/ unit (91 spaces)
Section 106	92 spaces (2.6 x 5.2 m)
MINIMUM AISLE AND DRIVEWAY SIZE	Driveway Width: Minimum 6m, maximum 18 m Minimum Aisle Width: 6 m
Section 107	6 m
MINIMUM LANDSCAPING PROVISIONS FOR PARKING LOTS	15% of the area of any parking lot provided as perimeter of interior landscape area, 1.5 m landscape buffer
Section 110	Provided
OUTDOOR REFUSE	Located 3 m (minimum) from a lot line; Screened from view by an opaque screen with a height of 2 m
Section 110	East setback 12.6 m South/East setback 9 m
MINIMUM BICYCLE PARKING SPACE RATE	1 Space dwelling unit (457 spaces)
Section 111	471 spaces
LOCATION OF BICYCLE PARKING SPACES	A maximum of 50% of the required bicycles spaces or 15 spaces which ever is greater may be in a landscape area
Section 111	
MINIMUM BICYCLE PARKING SPACE PROVISIONS	Table 111B, Subsections 111B(8), (9), (10), and (11) do not apply. Staked, vertical, horizontal bicycle parking is permitted. Aisle width: 1.5 m
Section 111	Compliant Aisle: 1.5 m provided

PROJECT STATISTICS:	
GFA Calculation - (Zoning by Law Part 1- Definitions)	
Building 01:	
GROUND FLOOR	1065 m ²
2 nd FLOOR	1257 m ²
3 rd FLOOR	1681 m ²
4 th FLOOR	1917 m ²
5 th FLOOR	1904 m ²
6 th FLOOR	1886 m ²
7 th FLOOR	1880 m ²
8 th FLOOR	1040.30 m ²
9 th FLOOR	1040.30 m ²
10 th FLOOR	1040.30 m ²
11 th FLOOR	1040.30 m ²
12 th FLOOR	1040.30 m ²
TOTAL	16,802 m ²
Building 02:	
GROUND FLOOR	850 m ²
2 nd FLOOR	1,142 m ²
3 rd FLOOR	1,196 m ²
4 th FLOOR	1,048 m ²
5 th FLOOR	1,050 m ²
6 th FLOOR	1,050 m ²
7 th FLOOR	1,050 m ²
8 th FLOOR	787 m ²
9 th FLOOR	787 m ²
10 th FLOOR	787 m ²
11 th FLOOR	787 m ²
12 th FLOOR	787 m ²
13 th FLOOR	787 m ²
14 th FLOOR	787 m ²
15 th FLOOR	787 m ²
16 th FLOOR	787 m ²
17 th FLOOR	787 m ²
18 th FLOOR	787 m ²
19 th FLOOR	787 m ²
20 th FLOOR	787 m ²
21 st FLOOR	787 m ²
TOTAL	18,404 m ²
UNIT MIX:	
BUILDING 01 (A)	STUDIO
BUILDING 01 (A)	1 BEDROOM
BUILDING 01 (A)	2 BEDROOMS
BUILDING 01 (A)	3 BEDROOMS
TOTAL	67
TOTAL	106
TOTAL	173
TOTAL	34
CAR PARKING BREAKDOWN:	
REGULAR PARKING 2.6 X 5.2 m	359
SMALL PARKING (COMPACT) 2.4 X 4.8 m	92
ACCESSIBLE TYPE A 3.0 X 5.2 m	7
ACCESSIBLE TYPE B 2.5 X 5.2 m	7
VISITORS PARKING 2.6 X 5.2 m	92
TOTAL	557
BICYCLE BREAKDOWN:	
INTERIOR BICYCLE SPACE	447
EXTERIOR BICYCLE SPACE	24
TOTAL	471

THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF ALL CONSTRUCTION AND SITE LAYOUT DIMENSIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY IRREGULARITY, OMISSION OR DIVERGENCE BETWEEN THESE DOCUMENTS, THOSE OF THE OTHER PROFESSIONALS, AND THE CONDITIONS OBSERVED ON SITE. NO DIMENSION SHALL BE SCALED FROM THE DRAWINGS.

ALL CONSTRUCTION WORK MUST COMPLY WITH THE CURRENT EDITION OF THE LOCAL/PROVINCIAL CONSTRUCTION CODE WHERE THE CONSTRUCTION IS TAKING PLACE.

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FAX: 613-727-5115
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LEROUX + CYR
Solutions structurales

LEROUX + CYR
130 BOUL. HENRI-BOURASSA EST
(438) 381-7773
MONTREAL (QC), H3L 1B7

5	SPA REVISION 05		2026-08-21
4	SPA REVISION 04		2026-06-04
3	SPA REVISION 03		2026-03-11
2	SPA REVISION 02		2026-01-26
1	SPA REVISION 01		2025-11-05
NO.	ÉMISSION	DATE	PAR

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DRAWING
SITE PLAN

SCEAU ASSOCIATION OF ARCHITECTS
JOAN RENAUD
LICENCE 10089

DOSSIER / NUMBER
25-1839
DESSIN / DRAWING NO
A-025
DATE
JULY 2026
ÉCHELLE / SCALE
As indicated
DESIGNER PAR / DRAWN BY
VERIFIER PAR / VERIFIED BY
FM FM

5

FILE NUMBER D07-12-25-0121 PLAN NUMBER 19408