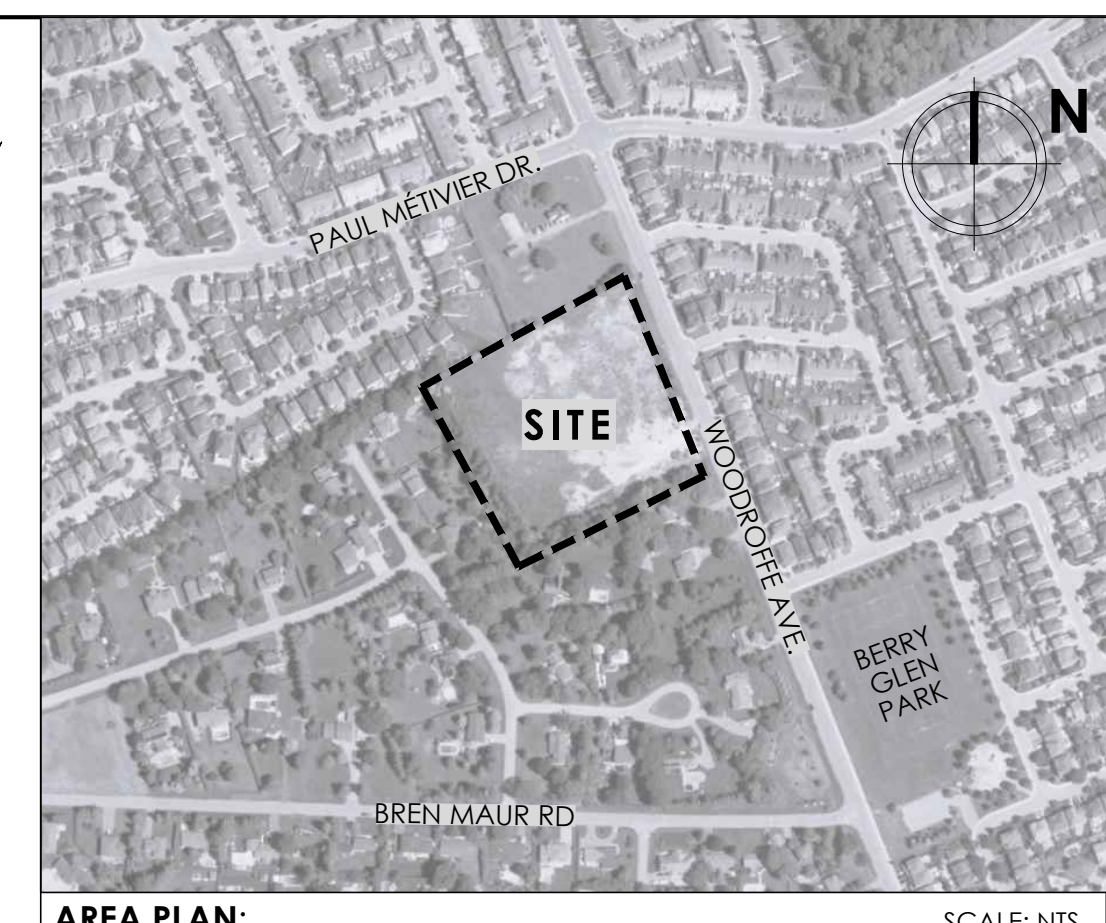
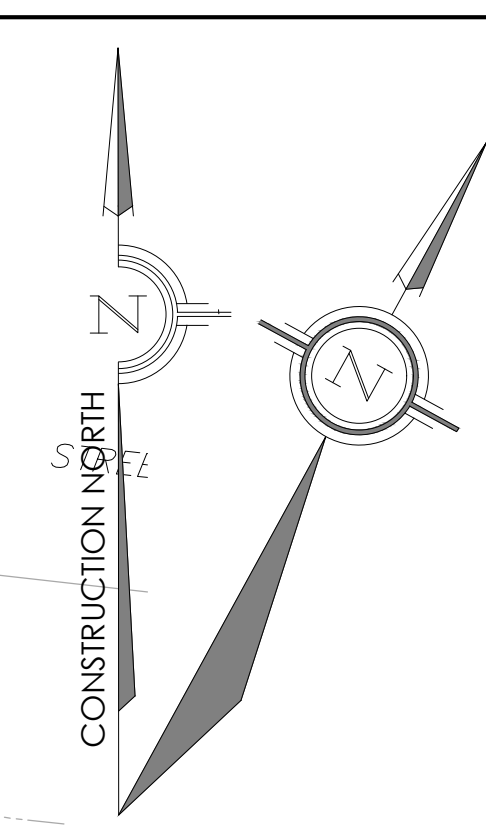
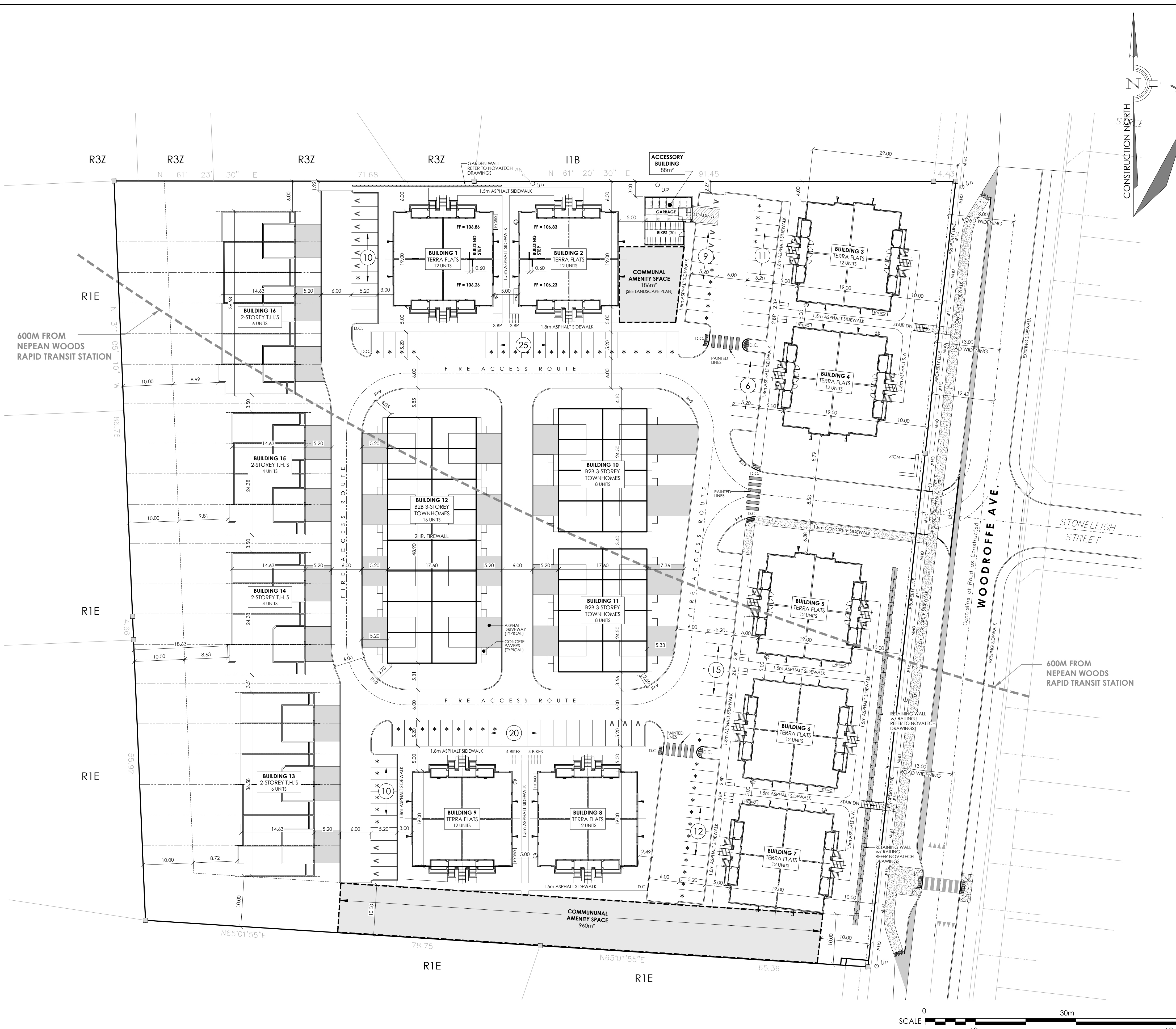




**AREA PLAN:** SCALE: NTS

**SITE INFORMATION:**  
SITE AREA = 2.37ha (5.85 Acres.)  
ZONING: R1VV(636)  
PROPOSED ZONING: R47 PUD

|                                            |                               |                          |
|--------------------------------------------|-------------------------------|--------------------------|
| LOT WIDTH (MIN.):                          | 18.00 m                       | 157.39 m                 |
| LOT AREA (MIN.):                           | 1,400 m <sup>2</sup>          | 23,661.35 m <sup>2</sup> |
| BUILDING HEIGHT (MAX.):                    | TOWNHOUSE: 10.00 m            | 9.37 m                   |
|                                            | STACKED DWELLING: 11.00 m     | 10.02 m                  |
| FRONT YARD (MIN.):                         | 3.00 m                        | 10.00 m                  |
| REAR YARD (MIN.):                          | 6.00 m                        | 18.63 m                  |
| INTERIOR SIDE YARD (MIN.):                 | TOWNHOUSE: 1.50 m (1ST 21.0m) | 4.00 m                   |
|                                            | STACKED DWELLING: 6.00 m      | 6.00 m                   |
| ACCESSORY BLDG. SIZE (MAX.):               | 55.00 m <sup>2</sup>          | 88.00 m <sup>2</sup>     |
| ACCESSORY BLDG. HEIGHT (MAX.):             | 3.60 m                        | 3.545 m                  |
| ACCESSORY BLDG. INTERIOR SIDE YARD (MIN.): | 6.00 m                        | 3.00 m                   |

**UNIT COUNTS:**

|                   | TERRA FLATS           | 828 TOWNS | 2-STORY TOWNS |
|-------------------|-----------------------|-----------|---------------|
| BUILDING 1=       | TERRA FLATS           |           |               |
| BUILDING 2=       | TERRA FLATS           |           |               |
| BUILDING 3=       | TERRA FLATS           |           |               |
| BUILDING 4=       | TERRA FLATS           |           |               |
| BUILDING 5=       | TERRA FLATS           |           |               |
| BUILDING 6=       | TERRA FLATS           |           |               |
| BUILDING 7=       | TERRA FLATS           |           |               |
| BUILDING 8=       | TERRA FLATS           |           |               |
| BUILDING 9=       | TERRA FLATS           |           |               |
| BUILDING 10=      | 828 3-STORY TOWNHOMES | 8 UNITS   |               |
| BUILDING 11=      | 828 3-STORY TOWNHOMES | 8 UNITS   |               |
| BUILDING 12=      | 828 3-STORY TOWNHOMES | 16 UNITS  |               |
| BUILDING 13=      | 2-STORY TOWNHOMES     |           | 6 UNITS       |
| BUILDING 14=      | 2-STORY TOWNHOMES     |           | 4 UNITS       |
| BUILDING 15=      | 2-STORY TOWNHOMES     |           | 4 UNITS       |
| BUILDING 16=      | 2-STORY TOWNHOMES     |           | 6 UNITS       |
| TOTAL =           | 108 UNITS             | 32 UNITS  | 20 UNITS      |
| TOTAL ALL UNITS = | 160 UNITS             |           |               |

**RESIDENT PARKING REQUIRED:**

| AREA 'X' (WITHIN 600m (800m WALKING) TO RAPID TRANSIT)               | AREA 'C'                                                            | TOTAL     |
|----------------------------------------------------------------------|---------------------------------------------------------------------|-----------|
| TERRA FLATS [60 UNITS]<br>PARKING REQUIRED= 0.5/ d.u. = 30 SPACES    | TERRA FLATS [48 UNITS]<br>PARKING REQUIRED= 1.2/ d.u. = 58 SPACES   | 88 SPACES |
| 828 TOWNHOMES [13 UNITS]<br>PARKING REQUIRED= 0.75/ d.u. = 10 SPACES | 828 TOWNHOMES [19 UNITS]<br>PARKING REQUIRED= 1.0/ d.u. = 19 SPACES | 29 SPACES |
| TOWNHOMES [6 UNITS]<br>PARKING REQUIRED= 0.75/ d.u. = 5 SPACES       | TOWNHOMES [14 UNITS]<br>PARKING REQUIRED= 1.0/ d.u. = 14 SPACES     | 19 SPACES |
| TOTAL RESIDENT PARKING REQ.:                                         | 136 SPACES                                                          |           |

**VISITOR PARKING REQUIRED:**

| AREA 'X' (NONE REQUIRED FOR FIRST 12 UNITS)<br>(NONE REQUIRED FOR UNITS WITH DRIVEWAYS) | AREA 'C'                                                          |
|-----------------------------------------------------------------------------------------|-------------------------------------------------------------------|
| TERRA FLATS [60 UNITS - (12)]<br>PARKING REQUIRED= 0.1/ d.u. = 5 SPACES                 | TERRA FLATS [48 UNITS]<br>PARKING REQUIRED= 0.2/ d.u. = 10 SPACES |
| TOTAL VISITOR PARKING REQ.:                                                             | 15 SPACES                                                         |

**PARKING PROVIDED:**

|                                                                                                                           |  |
|---------------------------------------------------------------------------------------------------------------------------|--|
| TERRA FLATS [108 UNITS]<br>PARKING REQUIRED = 88<br>TOTAL PROVIDED = 103 RESIDENT + 15 VISITOR                            |  |
| 828 TOWNHOMES [32 UNITS]<br>PARKING REQUIRED = 29 SPACES<br>TOTAL PROVIDED = 64 SPACES (DRIVEWAYS/ GARAGES)               |  |
| TOWNHOMES [20 UNITS]<br>PARKING REQUIRED = 19 SPACES<br>TOTAL PROVIDED = 40 SPACES (DRIVEWAYS/ GARAGES)                   |  |
| PARKING SPACE DIMENSIONS ARE 2.4m X 5.2m STANDARD.<br>PARKING SPACES MARKED WITH * ARE 2.4m X 5.2m (59 SPACES) (50% max.) |  |

**BICYCLE PARKING REQUIREMENTS:**

|                                                                                                                                                                                                                          |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| BICYCLE PARKING REQUIRED= 0.5/d.u. x 108 d.u. = 54 SPACES<br>BICYCLE PARKING PROVIDED = 57 SPACES (30 INDOORS, 27 SURFACE)                                                                                               |  |
| ALL EXTERIOR BIKE SPACES ARE 0.60m X 1.80m HORIZONTAL w/ MIN. 1.50m ACCESS AISLE.<br>ALL INTERIOR BIKE SPACES ARE 0.50m X 1.50m VERTICAL w/ MIN. 1.50m ACCESS AISLE.<br>PROVIDE FIXED PARKING RACKS FOR ALL BIKE SPACES. |  |

**AMENITY SPACE REQUIREMENTS:**

|                                                                                   |  |
|-----------------------------------------------------------------------------------|--|
| AMENITY SPACE REQUIRED = 6m <sup>2</sup> / d.u. x 108 d.u. = 648m <sup>2</sup>    |  |
| 50% COMMUNAL AMENITY AREA REQUIRED = 324m <sup>2</sup>                            |  |
| COMMUNAL AMENITY AREA PROVIDED = 1,146m <sup>2</sup>                              |  |
| PRIVATE AMENITY AREA PROVIDED = 432m <sup>2</sup> (4m <sup>2</sup> /BALCONY/d.u.) |  |
| TOTAL AMENITY AREA PROVIDED = 1,578m <sup>2</sup>                                 |  |

**LEGEND/ ABBREVIATIONS:**

|                                        |                                     |                              |
|----------------------------------------|-------------------------------------|------------------------------|
| D.C. DEEPRESSED CURB                   | ⊗ GAS METERS LOCATION               | ⊗ LIGHT STANDARD             |
| CRW CONCRETE RETAINING WALL            | ⊗ WATER/ SANITARY CONNECTION        | ⊗ WALL MOUNTED LIGHT FIXTURE |
| W.I. WROUGHT IRON                      | ⊗ TACTILE WALKING SURFACE INDICATOR | ⊗ TRANSFORMER                |
| TWSI TACTILE WALKING SURFACE INDICATOR | ⊗ SIAMENSE CONNECTIONS              | ⊗ TWSI                       |
| CONC. CONCRETE                         | ⊗ FIRE HYDRANT                      | ⊗ BICYCLE PARKING (BP) SPACE |
| ASPH. ASPHALT                          |                                     | ⊗ VISITOR PARKING SPACE      |

**NOTE:**  
SITE PLAN TO BE READ IN CONJUNCTION WITH:  
- SITE SERVICING AND GRADING PLANS PREPARED BY NOVATECH ENGINEERING CONSULTANTS.  
- LANDSCAPE PLAN PREPARED BY JAMES B. LENNOX AND ASSOCIATES INC.  
**NOTE:**  
SITE BOUNDARIES DERIVED FROM: PLAN 4R-37128  
PLAN OF SURVEY OF PART OF LOT 12 CONCESSION 2 (INDIEAU FRONT)  
Geographic Township of Nepean CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

**M. David Blakely**  
Architect Inc.

2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

**GENERAL NOTES:**  
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.  
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.  
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND PRESENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.  
4. DO NOT SCALE DRAWINGS.  
5. THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.  
6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

**OWNER:** PHOENIX HOMES  
18A BENTLEY AVE.  
OTTAWA, ON K2E 6T8  
(613) 723-7227

**ARCHITECT:** M. DAVID BLAKELY ARCHITECT INC.  
2200 PRINCE OF WALES DR., SUITE 101  
OTTAWA, ON K2E 6Z9  
(613) 226-8811

**CIVIL ENGINEER:** NOVATECH ENGINEERING CONSULTANTS  
240 MICHAEL COWPLAND DR. SUITE 101  
KANATA, ON K2M 0H7  
(613) 254-9443

**LANDSCAPE ARCHITECT:** NOVATECH ENGINEERING CONSULTANTS  
240 MICHAEL COWPLAND DR. SUITE 101  
KANATA, ON K2M 0H7  
(613) 254-9443

**SURVEYOR:** ANNIS O'SULLIVAN VOLLEBEK LTD.  
14 CONCORSE GATE, SUITE 500  
NEPEAN, ON K2E 7S6  
(613) 727-0850

SEAL

**ONTARIO ASSOCIATION OF ARCHITECTS**

**M. DAVID BLAKELY**  
LICENCE 3658

| NO.  | DATE (D/M/Y) | DESCRIPTION                                   | REVISIONS |
|------|--------------|-----------------------------------------------|-----------|
| 12.  | 17/08/24     | AS PER GRADING/ FOR RESUBMISSION              | MB        |
| 11.  | 06/08/24     | REVISED RETAINING WALLS AS PER GRADING        | MB        |
| 10.  | 29/04/24     | AS PER CIVIL/ LANDSCAPE, FOR RESUBMISSION     | MB        |
| 9.   | 29/04/24     | AS PER CIVIL/ LANDSCAPE, FOR RESUBMISSION     | MB        |
| 8.   | 01/04/24     | REVISED ENTRANCE WIDTH/ AS PER CIVIL          | MB        |
| 7.   | 23/10/25     | SITE INFO REVISED                             | MB        |
| 6.   | 22/10/25     | 2-STORY T.H.S REVISED/ FOR COORDINATION       | MB        |
| 5.   | 17/09/25     | ROAD WIDENING AS PER SURVEY/ FOR COORDINATION | MB        |
| 4.   | 15/09/25     | AS PER CLIENT                                 | MB        |
| 3.   | 16/07/25     | REVISED AS PER CLIENT/ FOR REVIEW             | MB        |
| 2.   | 01/04/25     | AS PER CITY COMMENTS/ FOR COORDINATION        | MB        |
| 1.   | 24/09/24     | FOR REVIEW                                    | MB        |
| NO.  | DATE (D/M/Y) | DESCRIPTION                                   | REVISIONS |
| INT. |              |                                               |           |

| NO.  | DATE | DESCRIPTION | REVISIONS |
|------|------|-------------|-----------|
| 24.  |      |             |           |
| 23.  |      |             |           |
| 22.  |      |             |           |
| 21.  |      |             |           |
| 20.  |      |             |           |
| 19.  |      |             |           |
| 18.  |      |             |           |
| 17.  |      |             |           |
| 16.  |      |             |           |
| 15.  |      |             |           |
| 14.  |      |             |           |
| 13.  |      |             |           |
| INT. |      |             |           |

PROJECT: 3400 WOODROFFE AVE.  
PLANNED UNIT DEVELOPMENT  
OTTAWA, ONTARIO

CLIENT: PHOENIX HOMES  
18A Bentley Ave Ottawa, ON K2E 6T8

DRAWING TITLE: **SITE PLAN**

DATE: SEPT. 2024  
DRAWN BY: mdb

SCALE: 1 : 400  
CHECKED: MDB

SHEET NO.: **SP1**