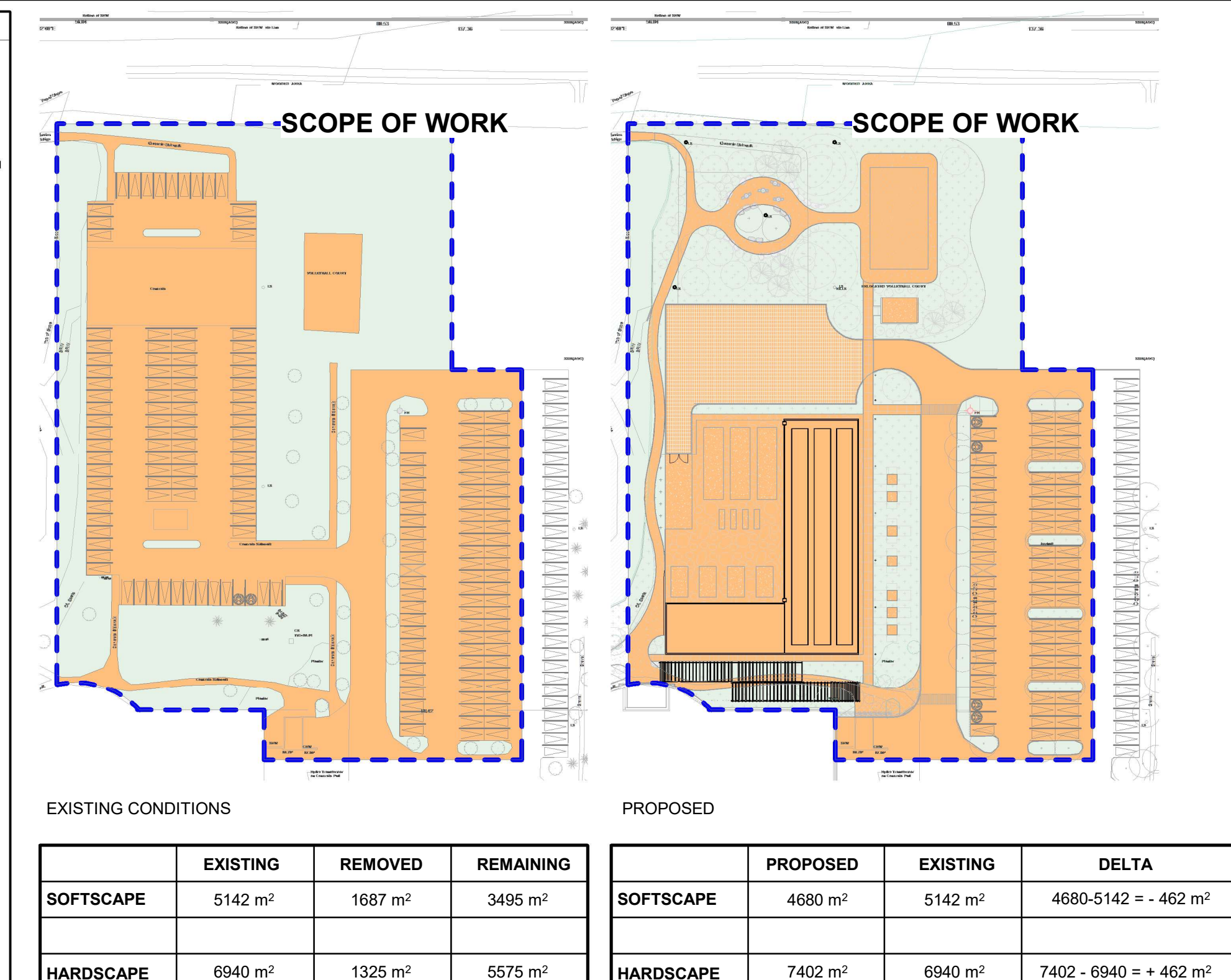
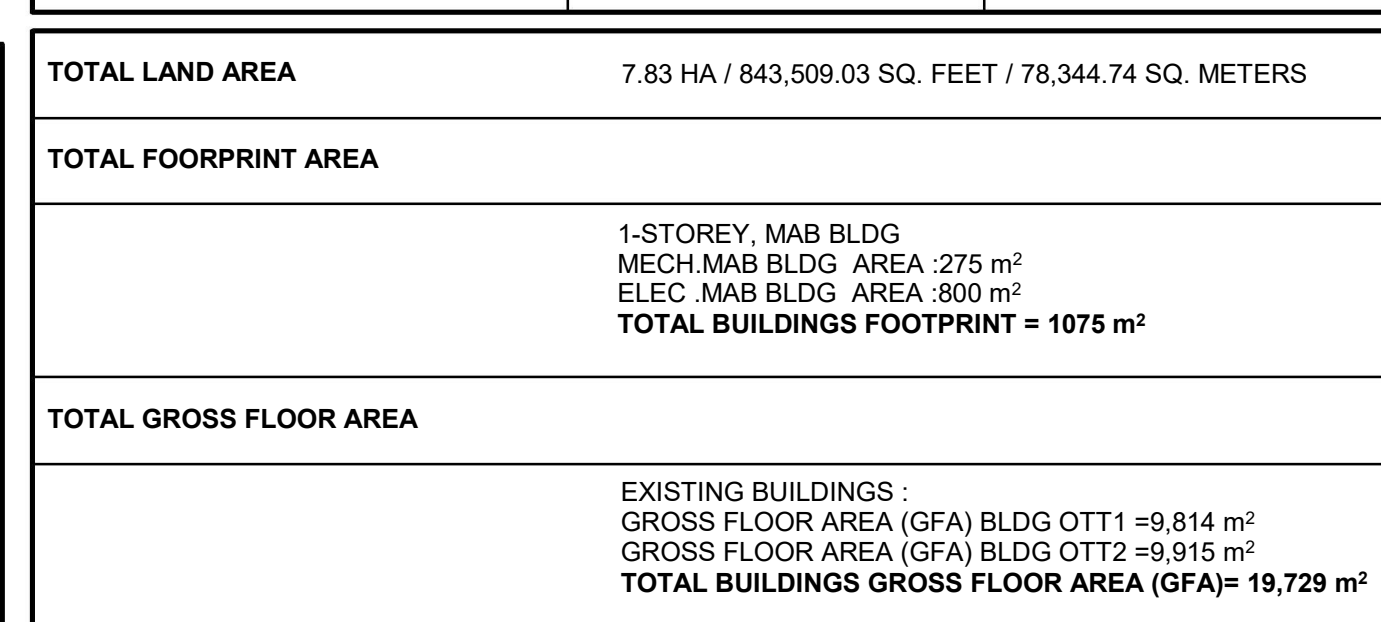




CLIENT			
			
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OTT02			
		OTT01	
ISSUES			
No.	DESCRIPTION	DATE	
1	ISSUED FOR SPC ROUND 1	2025.12.12	
2	RESPONSE TO SPC ROUND 1 COMMENTS	2026.05.08	
3	RESPONSE TO SPC ROUND 2	2026.06.22	

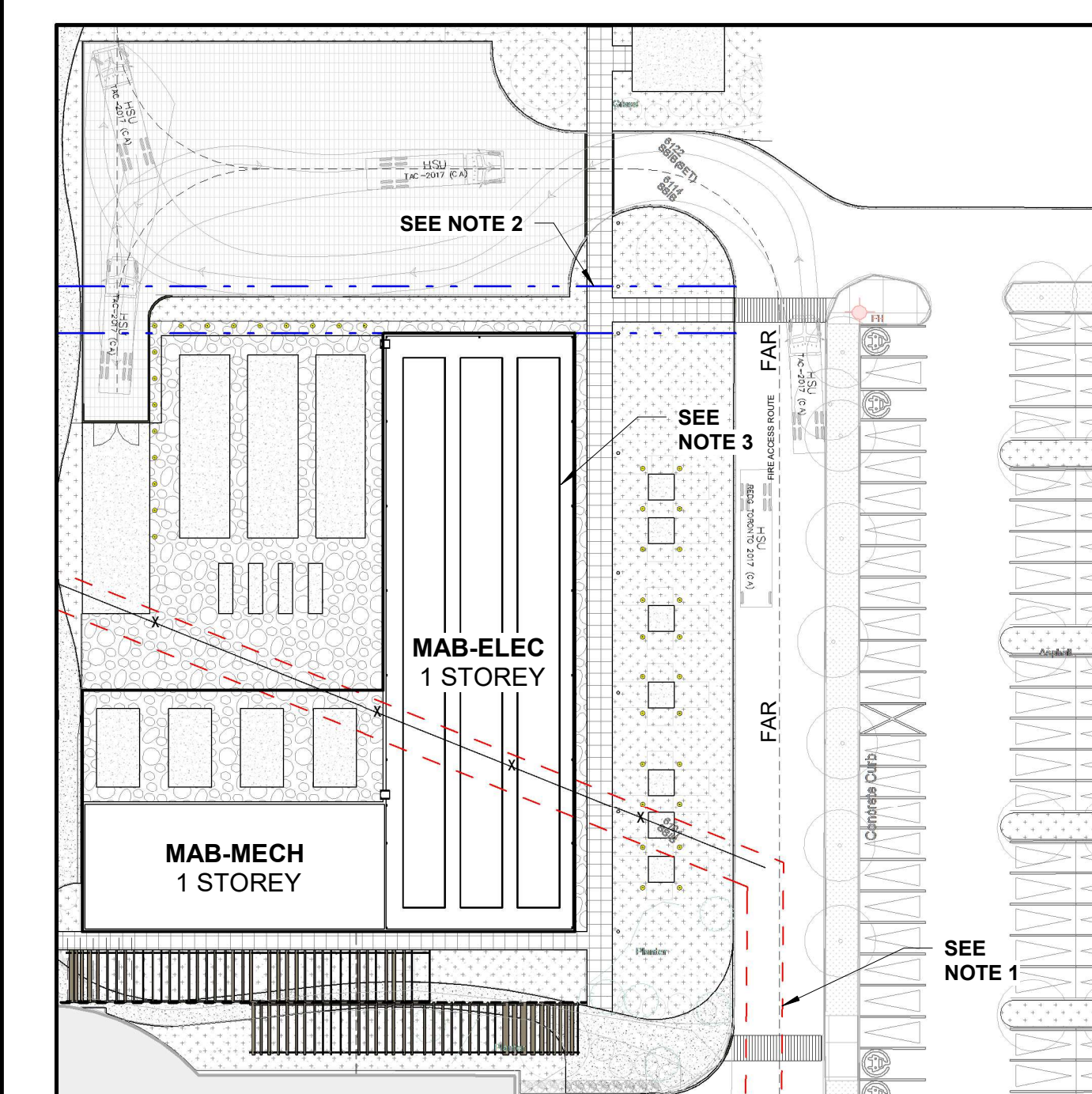


	EXISTING	REMAINING
CAR COUNT	COUNT INDICATES 20 SMALL SPACES, 24 BF SPACES AND 757 PARKING SPACES PRESENT ON SITE	757-101=656
BICYCLE COUNT	20 - EXISTING TO REMAIN	NA

PROPERTY BOUNDARY INFORMATION DERIVED FROM: SURVEY PROVIDED
BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 24, 2025. PLAN
SUBMISSION FORM V-110869



(Top) A landscaped garden foreground leads to the MAB with bronze-toned perforated panels and rooftop mechanical units. A paved service area with a parked truck contrasts with the greenery creating a functional yet natural setting.



2 REFUL & HYDRO OTTAWA VEHICLE AUTO-TURNS
AM-103 Scale: 1 : 500

NOTE 1:

PRIVATE EASEMENT - SEWER LINE RELOCATION & TITLE UPDATE

BACKGROUND: THE SUBJECT PROPERTY CONTAINS A PRIVATE EASEMENT BETWEEN TWO PARCELS, ONE OF WHICH IS THE OWNER OF THE PROPERTY. THIS EASEMENT CURRENTLY ACCOMMODATES A SEWER LINE FROM THE SUBJECT PROPERTY TO THE SEWER MAINS LOCATED UNDER THE REVEALED DRIVEWAY. IF THE SEWER LINE ALIGNMENT WILL CHANGE, THE EXISTING EASEMENT WILL NEED TO BE LIFTED AND REINSTATEMENT TO BE REQUIRED TO RECTIFY THE NEW LOCATION. THIS PROCESS REQUIRES A NEW AGREEMENT TO BE EXECUTED BETWEEN THE TWO PARTIES, INCORPORATING THE UPDATED SEWER EASEMENT DETAILS.

PER THE CITY'S REQUEST: IT IS UNDERSTOOD THAT THIS IS A PRIVATE EASEMENT, NOT ONE HELD BY THE CITY OF OTTAWA. HOWEVER, AS PART OF THE CITY'S CONDITIONS OF APPROVAL, WRITTEN CONFIRMATION FROM BOTH PARTIES TO THE EASEMENT IS REQUIRED TO SUPPORT THE PROPOSED LIFTING AND REINSTATEMENT. CONFIRMATION WILL BE PROVIDED FOR SPC #2.

NOTE 2:
PROPOSED RELOCATED EASEMENT – SEE CIVIL DRAWINGS. TWO OPTIONS PRESENTED TO CITY STAFF IN OCT. 2025. RECOMMENDED OPTION PRESENTED FOR SPC #1.

NOTE 3:

PROPOSED WAD CONTENT:

