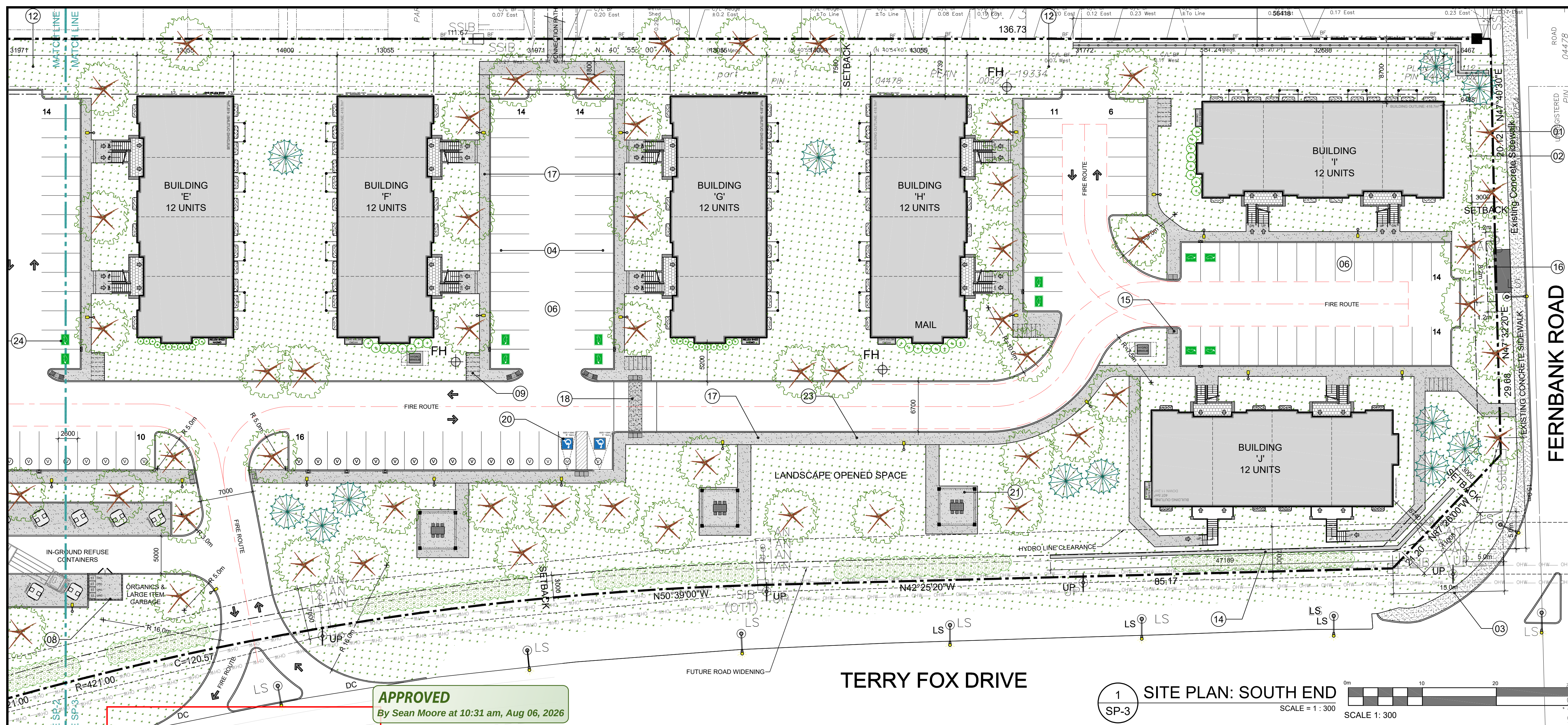




IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

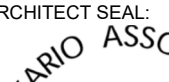
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

NOTATION SYMBOLS:

-  INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
-  INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.
-  INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
-  INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
-  ———— DETAIL NUMBER
-  TITLE ———— SCALE
-  ———— DETAIL REFERENCE PAGE

16	REVISED AS PER ROUND 2 SPC COMMENTS	2026 06 25
15	REVISED AS PER CONSULTANT COORDINATION	2026 06 22
14	REVISED AS PER OWNER / CITY COMMENTS	2026 06 03
13	REVISED AS PER ROUND 1 SPC COMMENTS	2026 03 20
12	ISSUED FOR REVISED SITE PLAN CONTROL APP.	2025 11 19
11	ISSUED FOR REVIEW AND COMMENT	2025 10 09
10	REVISED DESIGN ISSUED FOR COORDINATION	2025 08 27
9	SITE PLAN THIRD ROUND COMMENTS	2022-04-06
1	ISSUED FOR COORDINATION	2021-02-03
No.	DESCRIPTION	DATE

REVISIONS: ARCHITECT SEAL: 	NORTH ARROW: 
SEAL DATE: STAMP DATE	

CLARIDGE
HOMES

ARCHITECT:

rla / architecture
roderick lahey architect inc.

56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

IRON VALLEY 2
Terrace Homes

5331 FERNBANK ROAD

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN
(SOUTH END)

DRAWN: R.V.	CHECKED: R.V.
SCALE: 1:300	SHEET No.
PROJECT No. 2101	SP-3

APPROVED
By Sean Moore at 10:31 am, Aug 06, 2026

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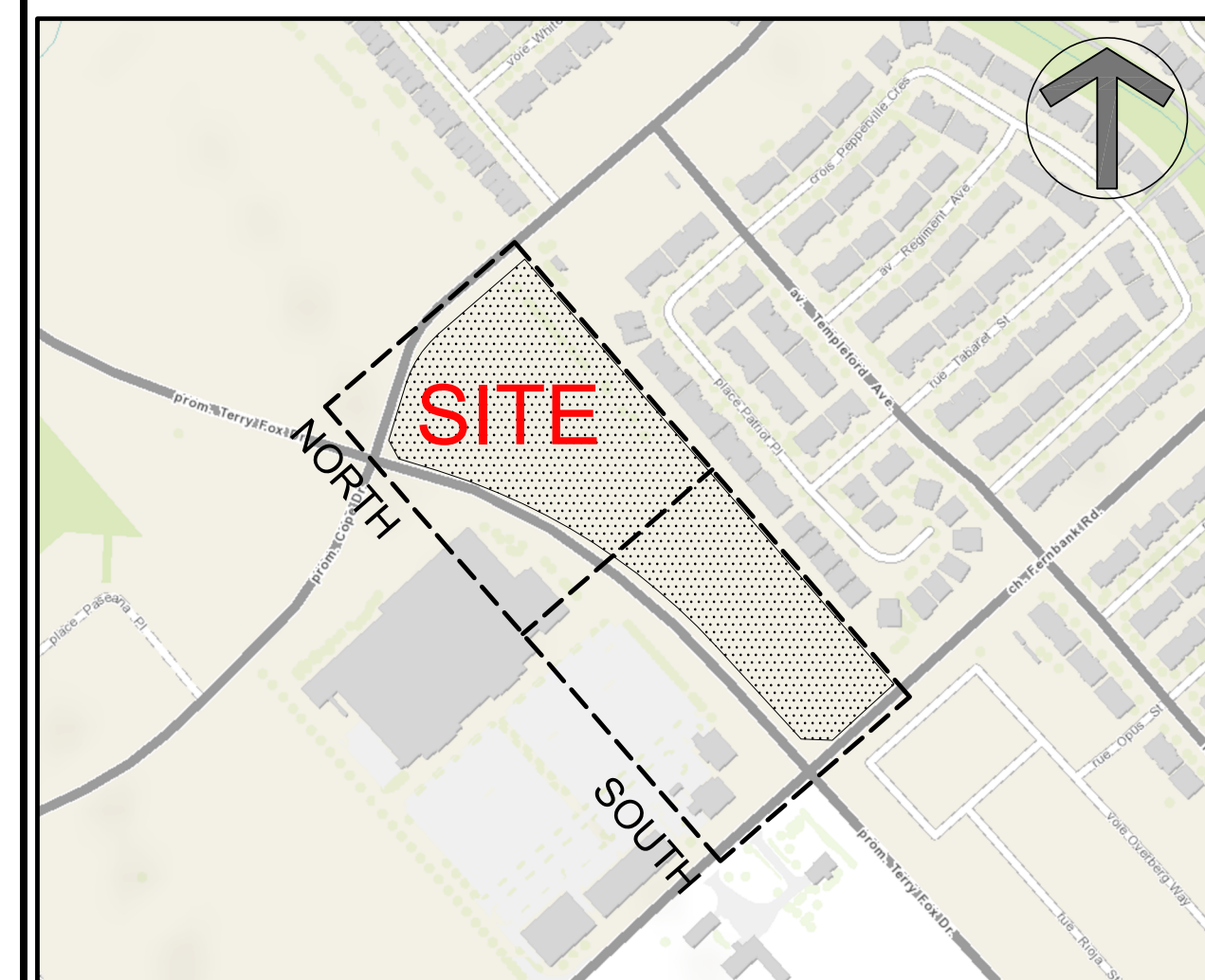
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1 SITE PLAN: OVERALL
SP-1 SCALE = 1 : 600

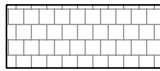
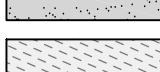
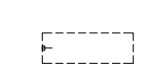
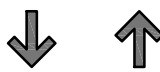
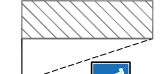


KEY PLAN

DRAWING NOTES

- 1 PROPERTY LINE
- 2 BUILDING SETBACKS
- 3 OVERLAPPING 5x15m SITE TRIANGLE
- 4 PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
- 5 PROPOSED HYDRO TRANSFORMER / MINISUB
- 6 ASPHALT DRIVING SURFACE
- 7 IN-GROUND WASTE BINS : 6.5m² PER
- 8 ORGANIC WASTE / OVER SIZED GARBAGE ENCLOSURE
- 9 BICYCLE PARKING SPACES (6) WITH RACK
- 10 PROPOSED HYDRANT
- 11 EXISTING FIRE HYDRANT
- 12 SEASONAL SNOW STORAGE
- 13 EXISTING BELL UTILITY KIOSK
- 14 LOW RETAINING WALL
- 15 DEPRESSED CURB & TWSI AT ALL CROSSINGS
- 16 1.2m x 8.2m EASEMENT WITH CONCRETE BUS PAD
- 17 1.5m/1.8m WIDE ASPHALT / CONCRETE WALK, SEE PL
- 18 1.8m WIDE RAISED CONCRETE CROSS WALK WITH T&W TRANSITIONS
- 19 DEPRESSED STREET CURB & SIDEWALK, CONTINUOUS AND DEPRESSED @ DRIVEWAY
- 20 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE, DEPRESSED CURB AND TWSI
- 21 SUNSHADE: SEE LANDSCAPE
- 22 -
- 23 PROPOSED SITE LIGHTING, SEE ELECTRICAL SITE PLAN
- 24 ELECTRICAL VEHICLE SPACE: : 2 PER BUILDING
- 25 CANADA POST MAIL BOXES

SITE PLAN SYMBOLS

- | | |
|---|--|
|  | CONCRETE UNIT PAVERS PATIOS |
|  | SOFT LANDSCAPING |
|  | COMMUNAL AMENITY SPACE |
|  | SNOW STORAGE |
|  | CONCRETE WALK / PATH |
|  | ASPHALT WALKING PATH |
|  | BIKE RACK / BIKE PARKING SPOT |
|  | TWO WAY VEHICLE CIRCULATION |
|  | MAIN ENTRANCE |
|  | PROPERTY LINE |
|  | ZONING SETBACKS |
|  | STANDARD PARKING SPACE |
|  | VISITOR PARKING SPACE |
|  | ELECTRICAL VEHICLE READ PARKING SPACE (NO CHARGER) |
|  | ACCESSIBLE PARKING SPACE |

PROJECT INFORMATION

CURRENT ZONING		GM(2411)
USE	PLANNED UNIT DEVELOPMENT	
SITE AREA	36,789 sq. ft. (395,995) sq. ft.	
BUILDING HEIGHT	18.0 m	
AMENITY AREA PER DWELLING UNIT	6.0 sq. m	
FRONT YARD SETBACK	3.0 M	
CORNER YARD SETBACK	3.0 M	
REAR YARD SETBACK	_____ M	
INTERIOR SIDE YARD SETBACK	7.5 M	
PROJECT STATISTICS		
BUILDING HEIGHT		9.8 M
REQUIRED AMENITY SPACE	6.0 m ² PER UNIT=	1,080.0 m
	50% COMMUNAL AMENITY AREA =	540.0 m
PROVIDED AMENITY SPACE		
	PRIVATE BALCONY / PATIOS =	512.0 m
	COMMUNAL EXTERIOR AREA=	700.0 m
	TOTAL =	1,212.0 m
SITE COVERAGE		
	BUILDING FOOTPRINT = 17.07%	6,280.5 m
	DRIVING SURFACE = 27.3%	10,061.0 m
	LANDSCAPE AREA = 54.5%	20,028.0 m
	TOTAL = 100.0%	36,789.0 m

	GROSS BUILDING - AREAS
--	------------------------

(CITY OF OTTAWA'S DEFINITION)	
PROPOSED BUILDING 'A'	1,256.0 m ² 13,520.0 m ²
PROPOSED BUILDING 'B'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'C'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'D'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'E'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'F'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'G'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'H'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'I'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'J'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'K'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'L'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'M'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'N'	1,254.0 m ² 13,500.0 m ²
PROPOSED BUILDING 'O'	1,254.0 m ² 13,500.0 m ²
TOTAL PROPOSED AREA	18,842.0 m² 202,820.0 m²

CAR PARKING

<u>REQUIRED by ZONING BY-LAW</u>		
RESIDENCE	- 1.2 PER UNIT (180 UNITS)	216
VISITOR	- 0.2 PER DWELLING UNIT	36
TOTAL		252
<u>PROVIDED</u>		
RESIDENCE	- 1.2 PER UNIT	216
VISITOR	- 0.2 PER DWELLING UNIT	36
TOTAL		252

BICYCLE PARKING

<u>REQUIRED</u>	- 0.5 PER UNIT (180 UNITS)	90
<u>PROVIDED</u>		90

WASTE COLLECTION

GUIDELINES		
GARBAGE	- 0.231 YARDS ³ / UNIT	40 YARDS ³
RECYCLING (GMP)	- 0.018 YARDS ³ / UNIT	4 YARDS ³
RECYCLING (FIBRE)	- 0.062 YARDS ³ / UNIT	11 YARDS ³
ORGANICS	- 240L CONTAINER / 50 UNITS	4x 240L

	<u>REQUIRED</u>
GARBAGE	7 EARTHBINS

RECYCLING (GMP)	1 EARTHBINS	2 EARTHBINS
RECYCLING (FIBRE)	2 EARTHBINS	2 EARTHBINS
ORGANICS	4x 240L BINS	4x 240L BINS
LARGE ITEM GARBAGE	N/A	8 m ³
*EARTHBINS= (6.5 YARDS ³)		

SNOW STORAGE

TEMPORARILY STORED AND TRUCKED OFF SITE