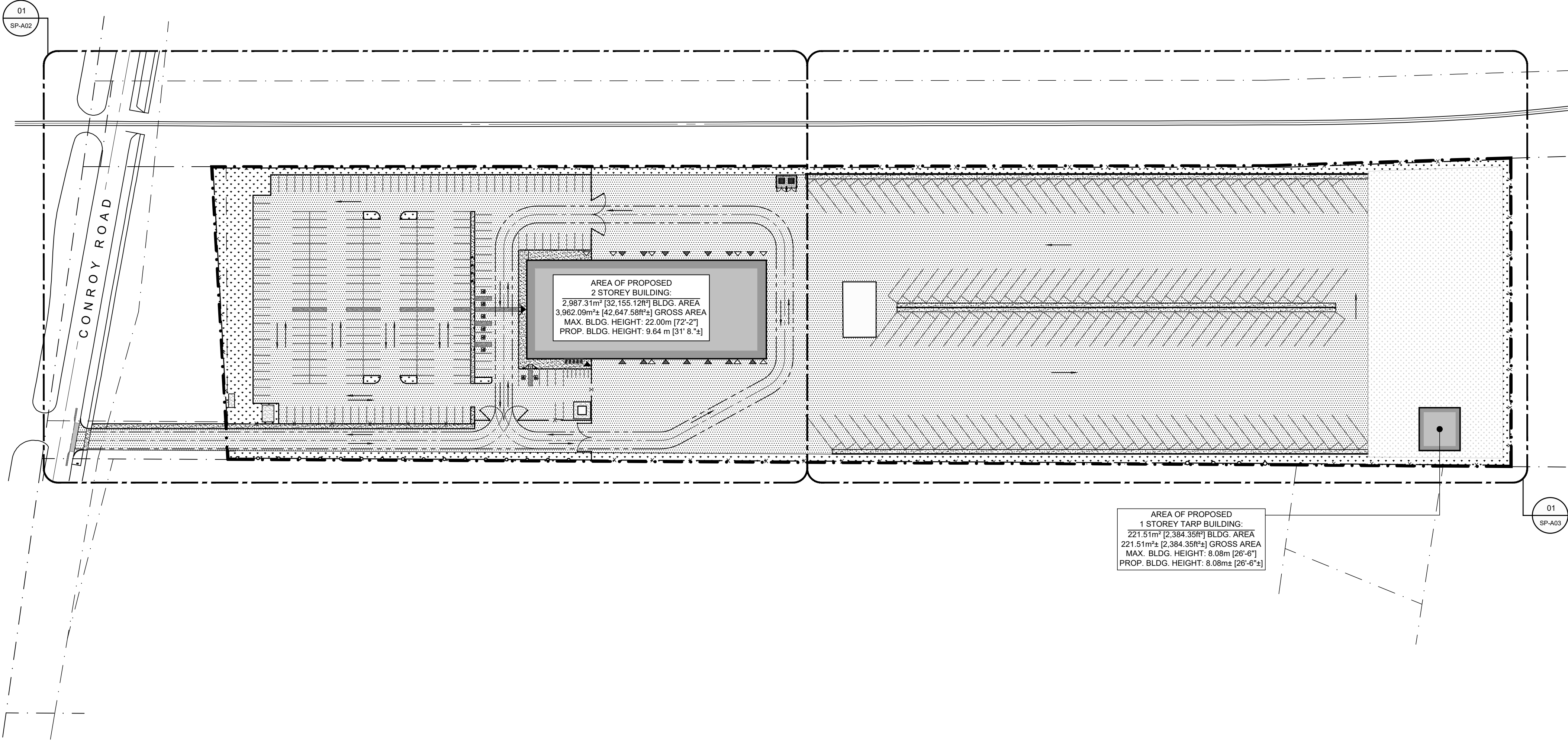




NOTE:
THIS SITE PLAN HAS BEEN BASED ON THE
SURVEYOR'S REAL PROPERTY REPORT PREPARED
BY J.D. BARNES LTD., DATED SEPTEMBER 04, 2024.

ZONING INFORMATION

- GENERAL INFORMATION:**
 - LEGAL DESCRIPTION:**
PT LT 2, CON SRF, PTS 1,2,3, SR5712, EXCEPT PT 1,
4R11804, T/W IN N742746, OTTAWA/GLOUCESTER
 - TOTAL BUILDING AREA (B.A.):**
2,987.31m²
 - TOTAL GROSS FLOOR AREA (G.F.A.):**
3,962.09m²
GROUND FLOOR:
GROUP D (BUSINESS & PERSONAL SERVICES):
790.73m² [8,511.34ft²]
GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):
2,230.04m² [24,003.95ft²]
SECOND FLOOR:
GROUP D (BUSINESS & PERSONAL SERVICES):
941.32m² [10,132.28ft²]
 - PROPOSED USE:**
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
- ZONING PROVISIONS:**
 - DESIGNATION:**
GENERAL INDUSTRIAL ZONE (IG3)
 - LOT AREA:**
REQUIRED: 1,000.00m² [10,763.90ft²] (MIN.)
PROPOSED: 48,611.80m² [523,253.62ft²]
 - LOT FRONTAGE:**
REQUIRED: 0.00m (MIN.)
PROPOSED: 103.30m [338.91ft]
 - SETBACKS:**
FRONT YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: 108.21m [355.02ft]
CORNER SIDE YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: N/A
INTERIOR SIDE YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: 34.20m [112.21ft] (MIN.)
REAR YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: 264.01m [866.18ft]
 - LOT COVERAGE:**
REQUIRED: 65% (MAX.)
PROPOSED: 6.6%
 - FLOOR SPACE INDEX (FSI):**
FSI = (3,962.09m² / 48,611.80m²) = 0.08
 - BUILDING HEIGHT:**
REQUIRED: 22.00m [72.17ft] (MAX.)
PROPOSED: 9.64m [31.64ft]
 - ACCESSORY BUILDING HEIGHT:**
REQUIRED: 8.08m [26'-6"] (MAX.)
PROPOSED: 8.08m [26'-6"]
- PARKING (PER SECTIONS 3.30 & 3.41):**
 - PARKING SPACES:**
STANDARD SPACES
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
PROVISION: 0.75 SPACES PER 100m² G.F.A.
REQUIRED: (2,230.04m² / 100m²) x 0.75
16.72 SPACES = 17.00 SPACES

OFFICE
PROVISION: 2.40 SPACES PER 100m² G.F.A.
REQUIRED: (41,732.05m² / 100m²) x 2.40
41.57 SPACES = 42 SPACES

STORAGE (ACCESSORY BUILDING)
PROVISION: 0.80 SPACES PER 100m² G.F.A.
REQUIRED: (4,221.51m² / 100m²) x 0.80
1.77 SPACES = 2.00 SPACES
REQUIRED: 62 SPACES

BARRIER-FREE (B.F.) SPACES:
PROVISION: 251-300 STANDARD SPACES = 8
REQUIRED: 8 SPACES (4 - TYPE A, 4 - TYPE B)

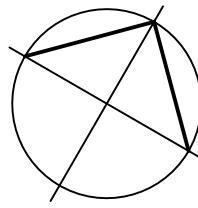
TOTAL REQUIRED: 8 B.F. + 62 STANDARD
70 PARKING SPACES

TOTAL PROVIDED: 8 B.F. + 259 STANDARD
267 PARKING SPACES
 - LOADING SPACES:**
PROVISION: 2,000m²-4,999m² G.F.A. = 2 SPACES
REQUIRED: 2 SPACES
PROVIDED: 2 SPACES
 - BICYCLE SPACES:**
PROVISION: ALL NON-RESIDENTIAL USES
1 PER 150m² G.F.A. = 2 SPACES
OFFICE
1 PER 250m² G.F.A. = 7 SPACE
9 SPACES
10 SPACES
REQUIRED: 10 SPACES
PROVIDED: 10 SPACES
 - MOTORCYCLE SPACES:**
PROVISION: 5% OF PARKING SPACES MAX.
REQUIRED: 5% = 12 SPACES MAX.
PROVIDED: 12 SPACES
 - FLEET PARKING SPACES:**
REQUIRED: N/A
PROVIDED: 135 SPACES

SYMBOL LEGEND

- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- SETBACK LINE
- ROAD CENTRELINE
- FIRE ROUTE LINE
- NEW CHAIN LINK FENCE
- NEW NOISE DAMPENING FENCE
- MUNICIPAL ROAD BOUNDARY
- SNOW STORAGE AREA BOUNDARY
- DIRECTION OF TRAVEL
- PROPOSED BUILDING
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING GRAVEL
- PROPOSED CONCRETE SIDEWALK
- LANDSCAPED AREA
- PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE
- SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS
- OVERHEAD DOOR
- FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
- BARRIER-FREE PARKING SIGN
- FIRE HYDRANT (EXISTING)
- EXIST. WATER HYDRANT OR MANHOLE
- HYDRO POLE, EXISTING OR NEW
- LIGHT STANDARD, EXISTING OR NEW
- UTILITY POLE, EXISTING OR NEW

North



Revisions

No.	By	Description	Date
17	J.M.	RE-ISSUED FOR SITE PLAN CONTROL	24 JUN 2026
16	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	18 JUN 2026
15	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	05 JUN 2026
14	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	06 MAY 2026
13	W.P.	ISSUED FOR SITE PLAN CONTROL	30 APR 2026
12	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
11	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
10	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
09	W.P.	ISSUED FOR COORDINATION	16 OCT 2025
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025

Project

WO MW REALTY LIMITED
OFFICE GROUP
SITE PLAN APPLICATION
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED SITE PLAN

Scale

1:500

Stamp

Drawn

W.P.

Checked

C.D.



Project No.

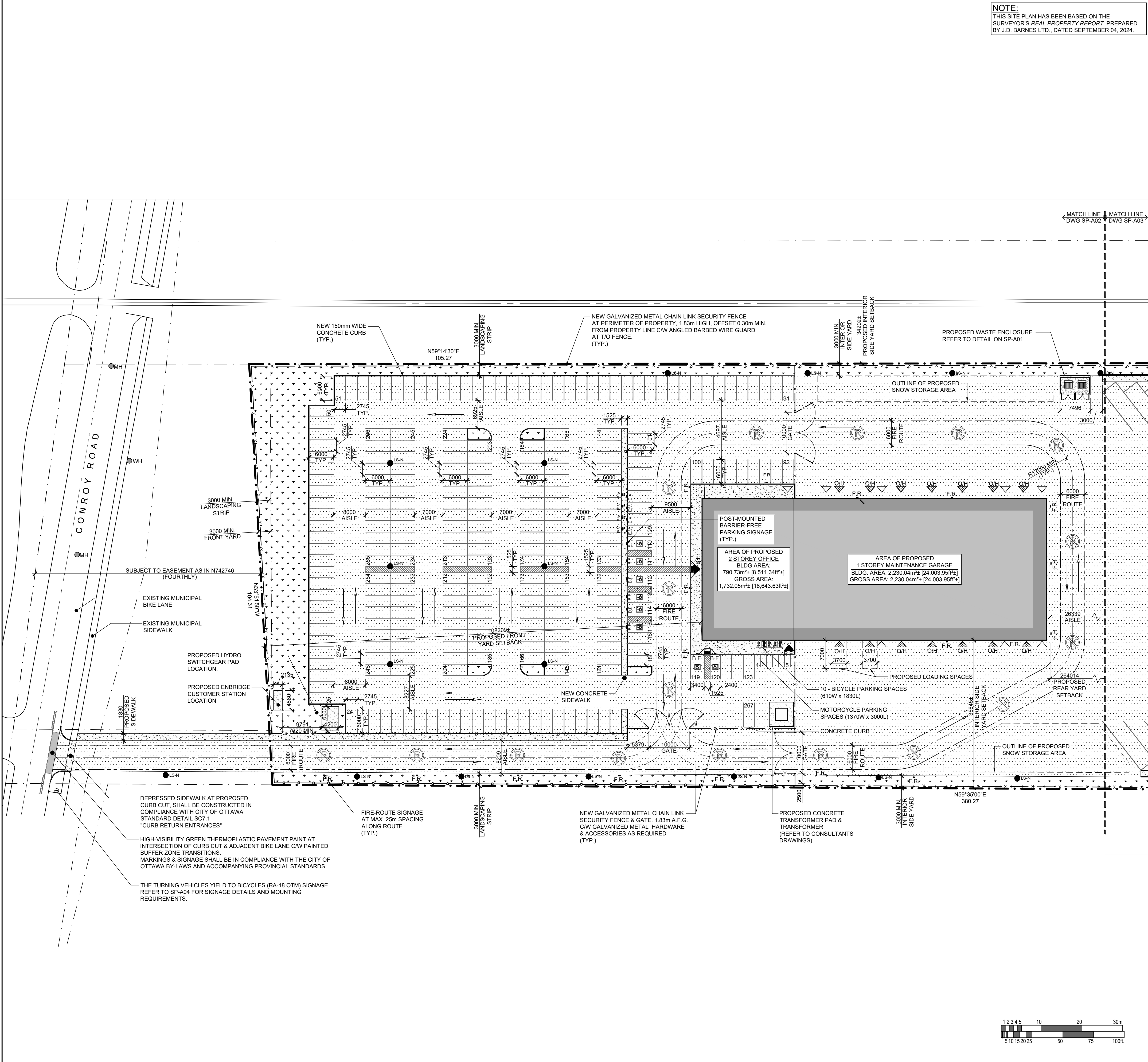
24-151

Drawing No.

SP-A01

Date

DECEMBER, 2024



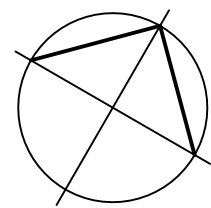
ZONING INFORMATION

- GENERAL INFORMATION:**
 - LEGAL DESCRIPTION:**
PT LT 2, CON SRF, PTS 1, 2, 3, 5R5712, EXCEPT PT 1, 4R11804, T/W IN N742746, OTTAWA/GLOUCESTER
 - TOTAL BUILDING AREA (B.A.):**
2,987.31m²
 - TOTAL GROSS FLOOR AREA (G.F.A.):**
3,962.09m²
GROUND FLOOR:
GROUP D (BUSINESS & PERSONAL SERVICES):
790.73m² [8,511.34ft²]
GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):
2,230.04m² [24,003.95ft²]
SECOND FLOOR:
GROUP D (BUSINESS & PERSONAL SERVICES):
941.32m² [10,132.28ft²]
 - PROPOSED USE:**
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
 - ZONING PROVISIONS:**
 - DESIGNATION:**
GENERAL INDUSTRIAL ZONE (IG3)
 - LOT AREA:**
REQUIRED: 1,000.00m² [10,763.90ft²] (MIN.)
PROPOSED: 48,611.80m² [523,253.62ft²]
 - LOT FRONTAGE:**
REQUIRED: 0.00m (MIN.)
PROPOSED: 103.30m [338.91ft]
 - SETBACKS:**
FRONT YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: 108.21m [355.02ft]
CORNER SIDE YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: N/A
INTERIOR SIDE YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: 34.20m [112.21ft] (MIN.)
REAR YARD:
REQUIRED: 3.00m [9.84ft] (MIN.)
PROPOSED: 264.01m [866.18ft]
 - LOT COVERAGE:**
REQUIRED: 65% (MAX.)
PROPOSED: 6.6%
 - FLOOR SPACE INDEX (FSI):**
FSI = (3,962.09m² / 48,611.80m²) = 0.08
 - BUILDING HEIGHT:**
REQUIRED: 22.00m [72.17ft] (MAX.)
PROPOSED: 9.64m [31.64ft]
 - ACCESSORY BUILDING HEIGHT:**
REQUIRED: 8.08m [26'-6"] (MAX.)
PROPOSED: 8.08m [26'-6"]
- PARKING (PER SECTIONS 3.30 & 3.41):**
 - PARKING SPACES:**
STANDARD SPACES
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
PROVISION: 0.75 SPACES PER 100m² G.F.A.
REQUIRED: (2,230.04m² / 100m²) x 0.75 = 16.72 SPACES = 17.00 SPACES
OFFICE
PROVISION: 2.40 SPACES PER 100m² G.F.A.
REQUIRED: (1,732.05m² / 100m²) x 2.40 = 41.57 SPACES = 42 SPACES
STORAGE (ACCESSORY BUILDING)
PROVISION: 0.80 SPACES PER 100m² G.F.A.
REQUIRED: ((221.51m² / 100m²) x 0.80) = 1.77 SPACES = 2.00 SPACES
REQUIRED: 62 SPACES
BARRIER-FREE (B.F.) SPACES:
PROVISION: 251-300 STANDARD SPACES = 8 SPACES (4 - TYPE A, 4 - TYPE B)
REQUIRED: 8 B.F. + 62 STANDARD PARKING SPACES
TOTAL REQUIRED: 8 B.F. + 62 STANDARD PARKING SPACES
TOTAL PROVIDED: 8 B.F. + 259 STANDARD PARKING SPACES
267 PARKING SPACES
 - LOADING SPACES:**
PROVISION: 2,000m² - 4,999m² G.F.A. = 2 SPACES
REQUIRED: 2 SPACES
PROVIDED: 2 SPACES
 - BICYCLE SPACES:**
PROVISION: ALL NON-RESIDENTIAL USES
1 PER 500m² G.F.A. = 2 SPACES
OFFICE
1 PER 250m² G.F.A. = 7 SPACE
9 SPACES
10 SPACES
REQUIRED: 10 SPACES
PROVIDED: 10 SPACES
 - MOTORCYCLE SPACES:**
PROVISION: 5% OF PARKING SPACES MAX.
REQUIRED: 5% = 12 SPACES MAX.
PROVIDED: 12 SPACES
 - FLEET PARKING SPACES:**
REQUIRED: N/A
PROVIDED: 135 SPACES

SYMBOL LEGEND

- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- SETBACK LINE
- ROAD CENTRELINE
- FIRE ROUTE LINE
- NEW CHAIN LINK FENCE
- NEW NOISE DAMPENING FENCE
- MUNICIPAL ROAD BOUNDARY
- SNOW STORAGE AREA BOUNDARY
- DIRECTION OF TRAVEL
- PROPOSED BUILDING
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING GRAVEL
- PROPOSED CONCRETE SIDEWALK
- LANDSCAPED AREA
- PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE
- SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS
- OVERHEAD DOOR
- FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
- BARRIER-FREE PARKING SIGN
- FIRE HYDRANT (EXISTING)
- EXIST. WATER HYDRANT OR MANHOLE
- HYDRO POLE, EXISTING OR NEW
- LIGHT STANDARD, EXISTING OR NEW
- UTILITY POLE, EXISTING OR NEW

North



Revisions

No.	By	Description	Date
17	J.M.	RE-ISSUED FOR SITE PLAN CONTROL	24 JUN 2026
16	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	18 JUN 2026
15	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	05 JUN 2026
14	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	06 MAY 2026
13	W.P.	ISSUED FOR SITE PLAN CONTROL	30 APR 2026
12	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
11	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
10	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
09	W.P.	ISSUED FOR COORDINATION	16 OCT 2025
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025

Project

WO MW REALTY LIMITED OFFICE GROUP SITE PLAN APPLICATION NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED SITE PLAN

Scale
1:500

Drawn
W.P.

Checked
C.D.

Project No.
24-151

Date
DECEMBER, 2024

Stamp



Drawing No.

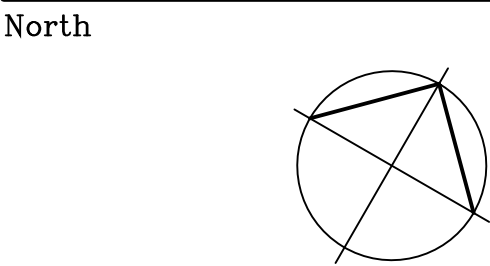
SP-A02



NOTE:
THIS SITE PLAN HAS BEEN BASED ON THE
SURVEYOR'S *REAL PROPERTY REPORT* PREPARED
BY J.D. BARNES LTD., DATED SEPTEMBER 04, 2024.

GENERAL INFORMATION:	
1. LEGAL DESCRIPTION:	PT 2 CON SRP: PTS 1-2,3, 55712, EXCEPT PT 1, 4R11804, T/W IN N742746, OTTAWA/GLOUCESTER
2. TOTAL BUILDING AREA (B.A.):	2,987.31m ²
3. TOTAL GROSS FLOOR AREA (G.F.A.):	3,962.09m ²
GROUND FLOOR:	
GROUP D (BUSINESS & PERSONAL SERVICES):	
730.22m ² [8,511.34m ²]	
GROUP P, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):	
2230.04m ² [24,003.95m ²]	
SECOND FLOOR:	
GROUP D (BUSINESS & PERSONAL SERVICES):	
941.32m ² [10,132.28m ²]	
4. PROPOSED USE:	HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
2. ZONING PROVISIONS:	
2.1. DESIGNATION:	GENERAL INDUSTRIAL ZONE (IG3)
2.2. LOT AREA:	
REQUIRED:	1,000.00m ² [10,763.90m ²] (MIN.)
PROPOSED:	48,611.80m ² [523,253.62m ²]
2.3. LOT FRONTAGE:	
REQUIRED:	0.0m (MIN.)
PROPOSED:	103.30m [338.91ft]
2.4. SETBACKS:	
FRONT YARD:	
REQUIRED:	3.00m [9.84ft] (MIN.)
PROPOSED:	108.21m [355.02ft]
CORNER SIDE YARD:	
REQUIRED:	3.00m [9.84ft] (MIN.)
PROPOSED:	N/A
INTERIOR SIDE YARD:	
REQUIRED:	3.00m [9.84ft] (MIN.)
PROPOSED:	34.20m [112.21ft] (MIN.)
REAR YARD:	
REQUIRED:	3.00m [9.84ft] (MIN.)
PROPOSED:	264.01m [866.18ft]
2.5. LOT COVERAGE:	
REQUIRED:	65% (MAX.)
PROPOSED:	66%
2.6. FLOOR SPACE INDEX (FSI):	
FSI = (3,962.09m ² / 48,611.80m ²) = 0.08	
2.7. BUILDING HEIGHT:	
REQUIRED:	9.20m [72.17ft] (MAX.)
PROPOSED:	22.44m [31.64ft]
2.8. ACCESSORY BUILDING HEIGHT:	
REQUIRED:	8.08m [26'-6"] (MAX.)
PROPOSED:	8.08m [26'-6"]
3. PARKING (PER SECTIONS 3.30 & 3.41):	
3.1. PARKING SPACES:	
STANDARD SPACES	
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING	
PROVISION:	0.75 SPACES PER 100m ² G.F.A.
REQUIRED:	(22,230.04m ² / 100m ²) x 0.75
	16.72 SPACES = 17.00 SPACES
OFFICE	
PROVISION:	24.00 SPACES PER 100m ² G.F.A.
REQUIRED:	(11,732.05m ² / 100m ²) x 24.00
	41.57 SPACES = 42 SPACES
STORAGE (ACCESSORY BUILDING)	
PROVISION:	0.80 SPACES PER 100m ² G.F.A.
	(4,221.51m ² / 100m ²) x 0.80
	1.77 SPACES = 2.00 SPACES
REQUIRED:	62 SPACES
BARRIER-FREE (B.F.) SPACES:	
PROVISION:	25% - 300 STANDARD SPACES = 8
REQUIRED:	8 SPACES (4 - TYPE A, 4 - TYPE B)
TOTAL REQUIRED:	8 B.F. + 62 STANDARD 70 PARKING SPACES
TOTAL PROVIDED:	8 B.F. + 259 STANDARD 267 PARKING SPACES
3.2. LOADING SPACES:	
PROVISION:	2,000m ² - 4,999m ² G.F.A. = 2 SPACES
REQUIRED:	2 SPACES
PROVIDED:	2 SPACES
3.3. BICYCLE SPACES:	
PROVISION:	ALL NON-RESIDENTIAL USES 1 PER 1500m ² G.F.A. = 2 SPACES
	OFFICE: 1 PER 250m ² G.F.A. = 7 SPACES
REQUIRED:	9 SPACES
PROVIDED:	10 SPACES
3.4. MOTORCYCLE SPACES:	
PROVISION:	5% OF PARKING SPACES MAX.
REQUIRED:	5% = 12 SPACES MAX.
PROVIDED:	12 SPACES
3.5. FLEET PARKING SPACES:	
REQUIRED:	N/A
PROVIDED:	135 SPACES

	SITE PROPERTY LINE
	ADJACENT PROPERTY LINE
	SETBACK LINE
	ROAD CENTRELINE
	FIRE ROUTE LINE
	NEW CHAIN LINK FENCE
	NEW NOISE DAMPENING FENCE
	MUNICIPAL ROAD BOUNDARY
	SNOW STORAGE AREA BOUNDARY
	DIRECTION OF TRAVEL
	PROPOSED BUILDING
	PROPOSED HEAVY DUTY ASPHALT
	EXISTING GRAVEL
	PROPOSED CONCRETE SIDEWALK
	LANDSCAPED AREA
	PRIMARY BUILDING ENTRANCE <u>OR</u> BARRIER-FREE ENTRANCE
	SECONDARY ENTRANCES / EXITS <u>OR</u> BARRIER-FREE ENTRANCE / EXITS
	OVERHEAD DOOR
	FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
	BARRIER-FREE PARKING SIGN
	FIRE HYDRANT (EXISTING)
	EXIST. WATER HYDRANT <u>OR</u> MANHOLE
	HYDRO POLE, EXISTING <u>OR</u> NEW
	LIGHT STANDARD, EXISTING <u>OR</u> NEW
	UTILITY POLE, EXISTING <u>OR</u> NEW



Revisions

No.	By	Description	Date
16	J.M.	RE-ISSUED FOR SITE PLAN CONTROL	24 JUN 2026
15	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	18 JUN 2026
14	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	06 MAY 2026
13	W.P.	ISSUED FOR SITE PLAN CONTROL	30 APR 2026
12	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
11	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
10	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
09	W.P.	ISSUED FOR COORDINATION	16 OCT 2025
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025
06	T.D.	ISSUED FOR COORDINATION	28 MAY 2025

Project

WO MW REALTY LIMITED
OFFICE GROUP
SITE PLAN APPLICATION
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED SITE PLAN

Scale
1:500

Drawn
W.P.

Checked
C.D.

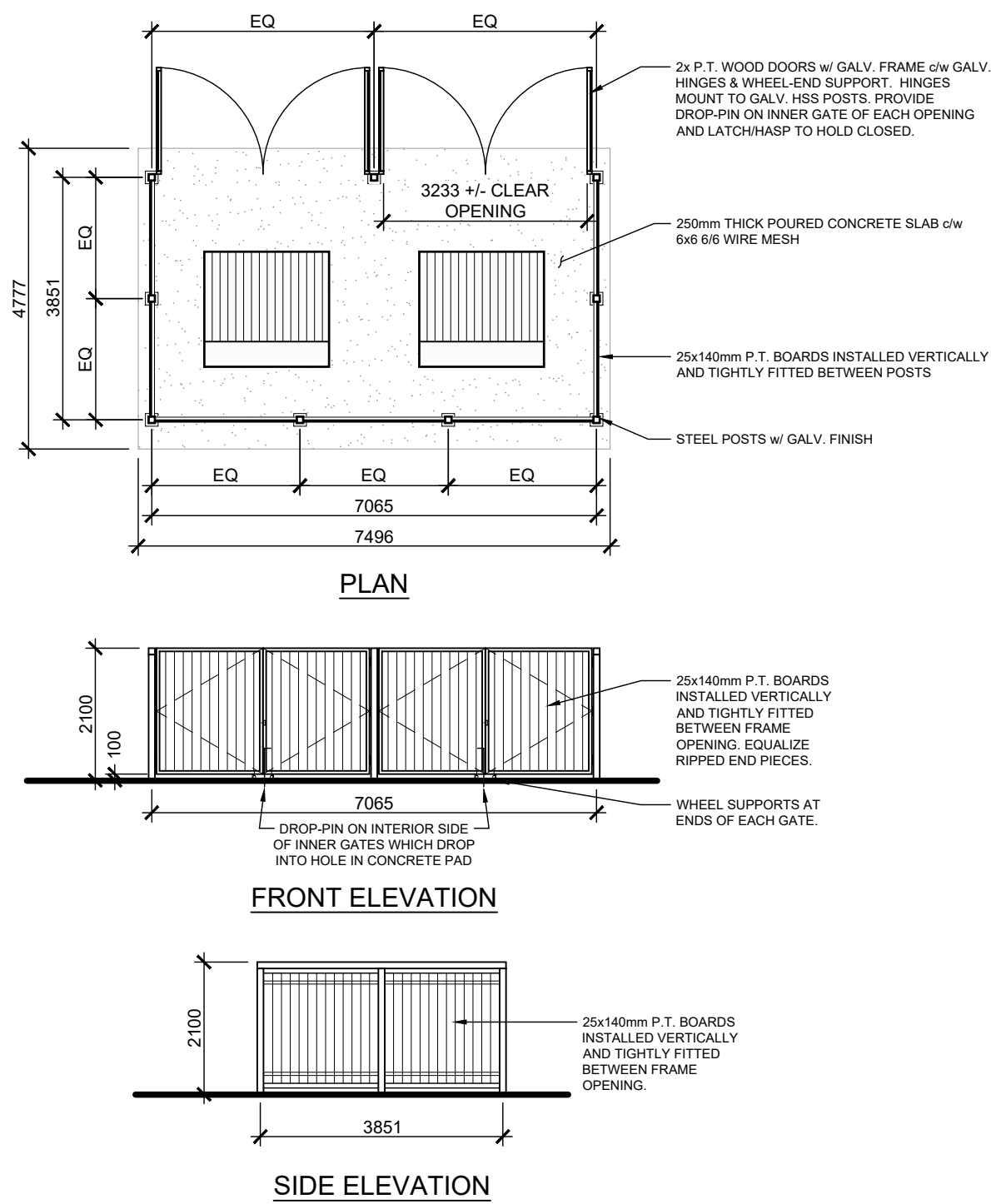
Project No.
24-151

Drawing No.

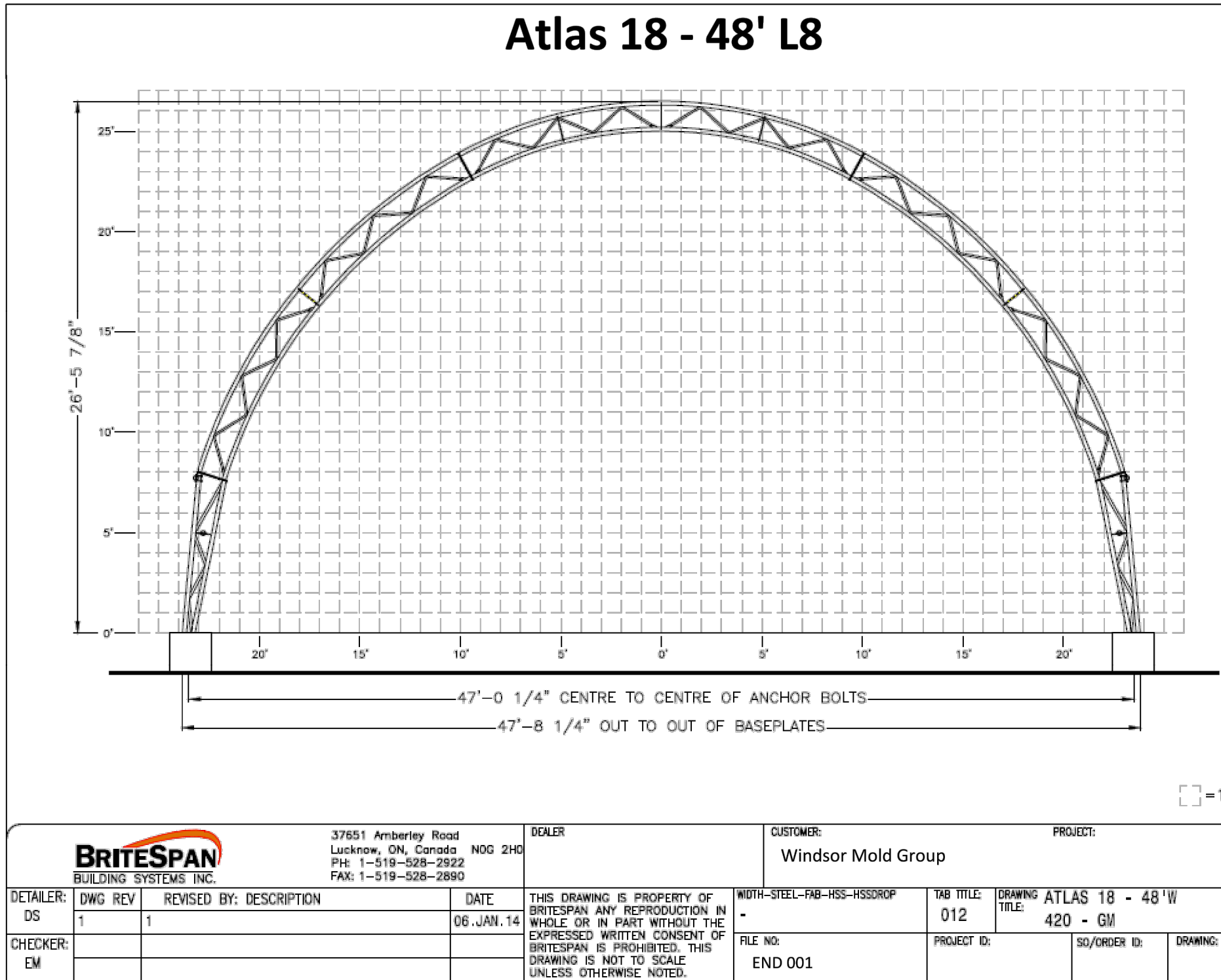
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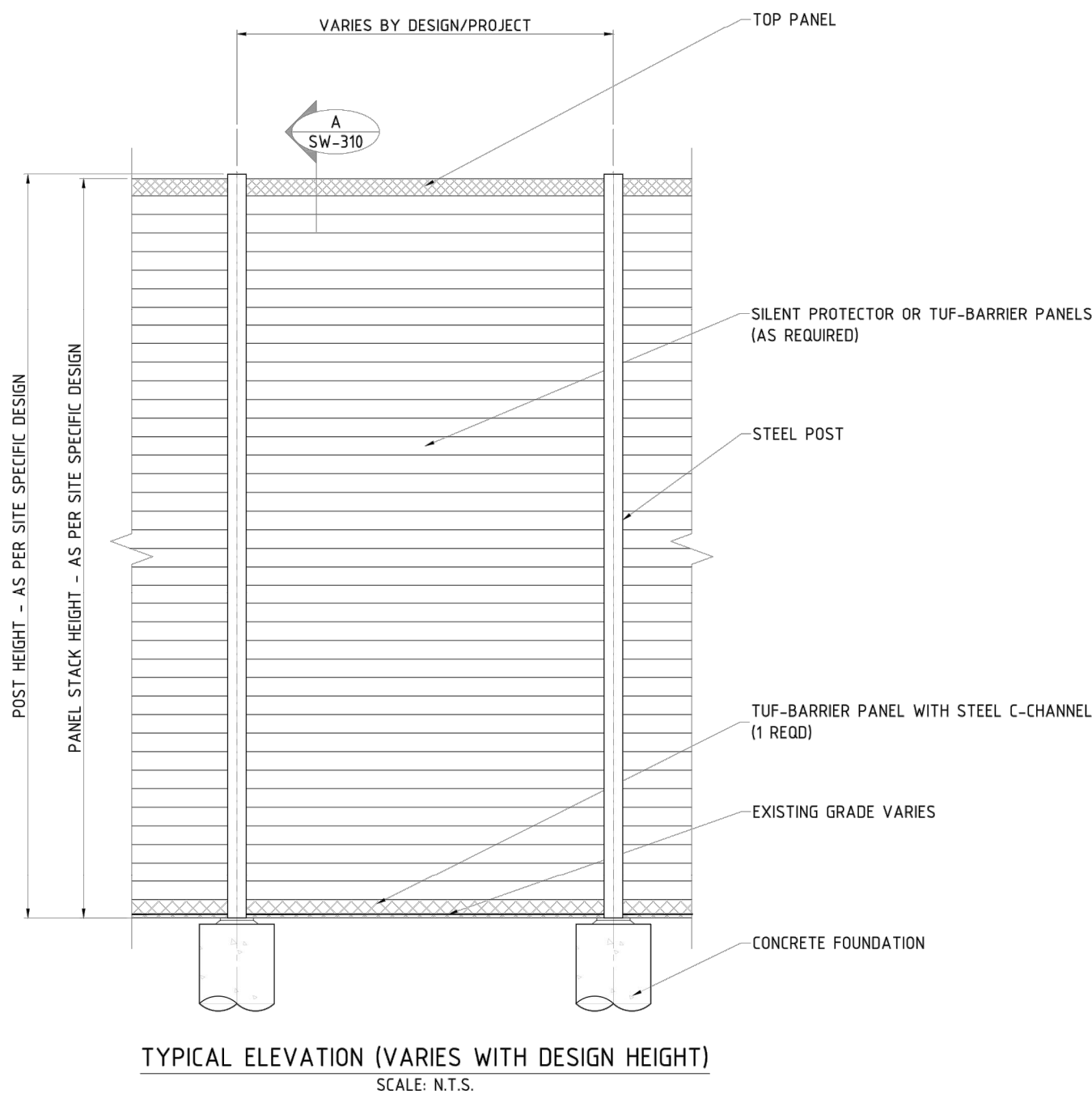
07 SHOP DRAWING DETAIL - WASTE ENCLOSURE
SP-A04 SCALE: 1:100



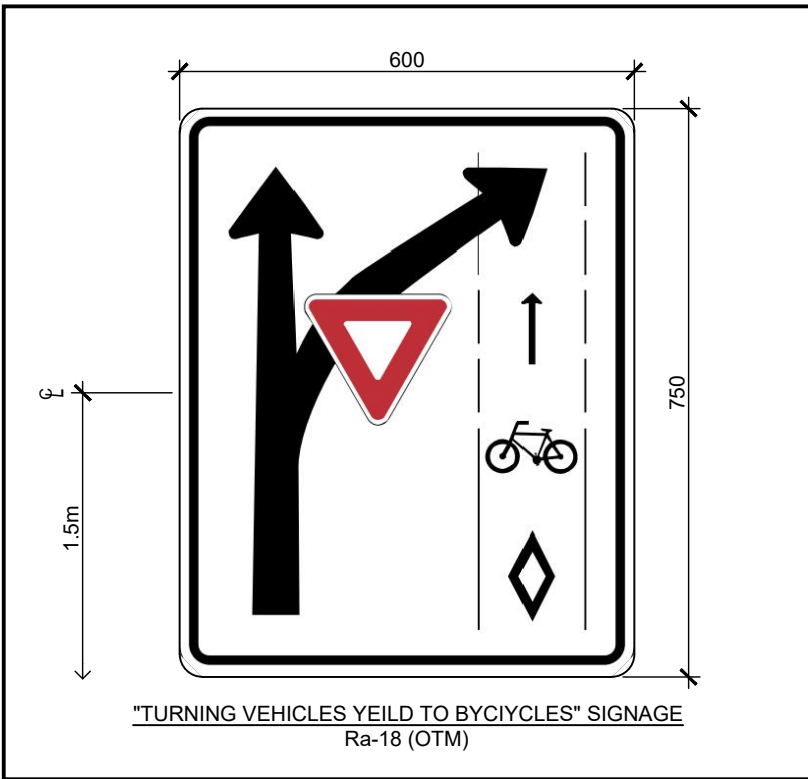
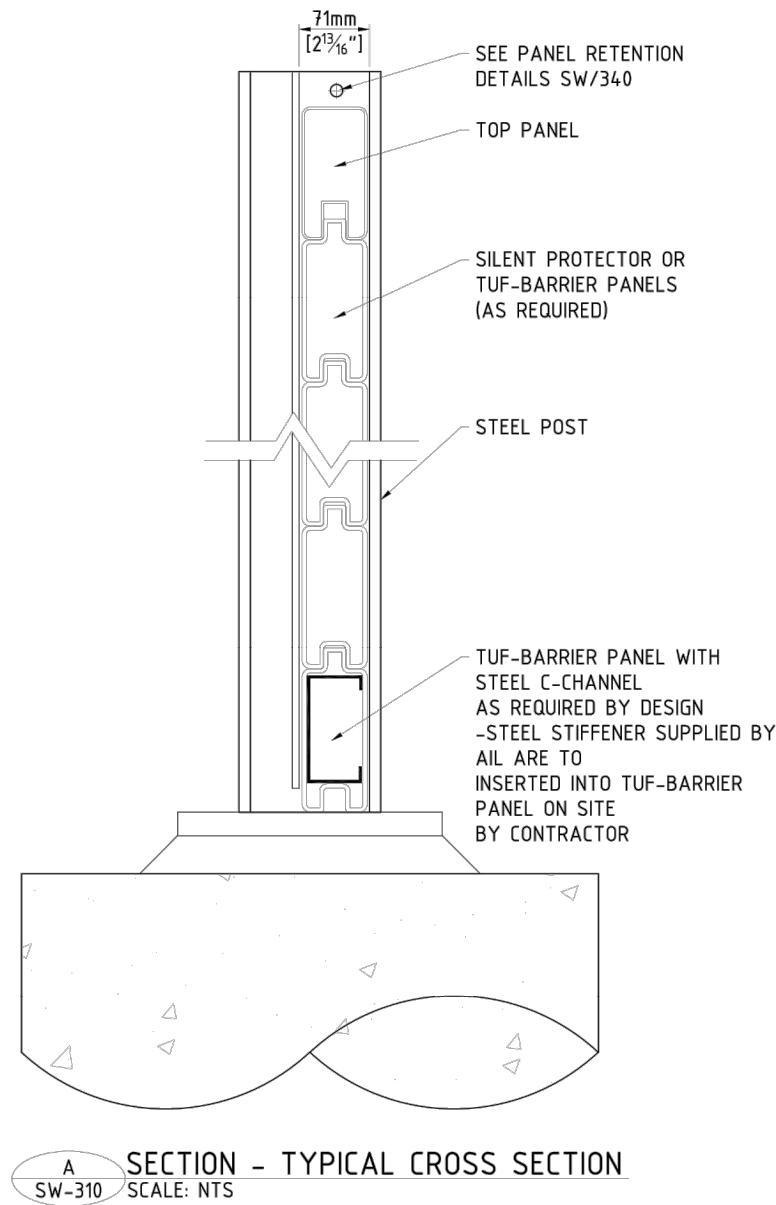
06 SHOP DRAWING DETAIL - FABRIC STORAGE BUILDING
SP-A04 SCALE: N.T.S.

1. ALL PRE-FABRICATED STRUCTURES SHALL BE DESIGNED AND SUPPLIED BY THE MANUFACTURER AND/OR CONTRACTOR.
2. ALL SITE FURNITURE AND FIXTURES SHALL BE SELECTED BY OWNER AND COORDINATED WITH THE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER AS REQUIRED.
3. ALL FENCING SHALL BE DESIGNED AND SUPPLIED BY MANUFACTURER AND/OR CONTRACTOR. DESIGN SUBJECT TO MUNICIPAL BY-LAWS AND REGULATIONS.
4. REVIEW CONDITIONS AND VERIFY ALL INFORMATION, DETAILS, AND DIMENSIONS. REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO THE PROJECT MANAGER PRIOR TO COMMENCEMENT OF THE WORK.
5. COORDINATE ALL NEW CIVIL, STRUCTURAL MECHANICAL AND ELECTRICAL ITEMS WITH RESPECTIVE ENGINEER'S DRAWINGS, WHERE PROVIDED.

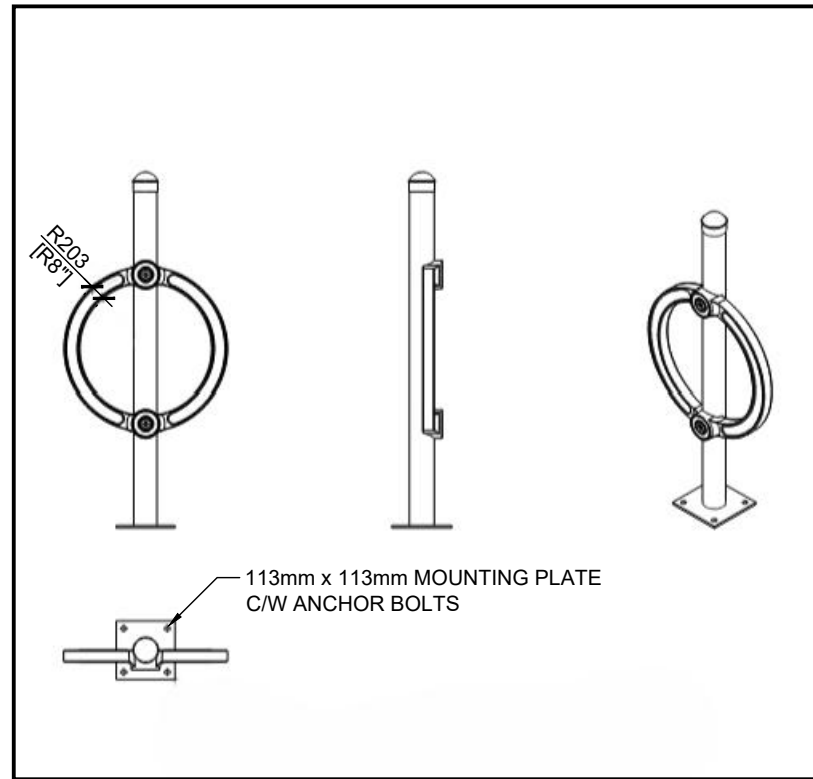
05 GENERAL NOTES
SP-A04 SCALE: N.T.S.



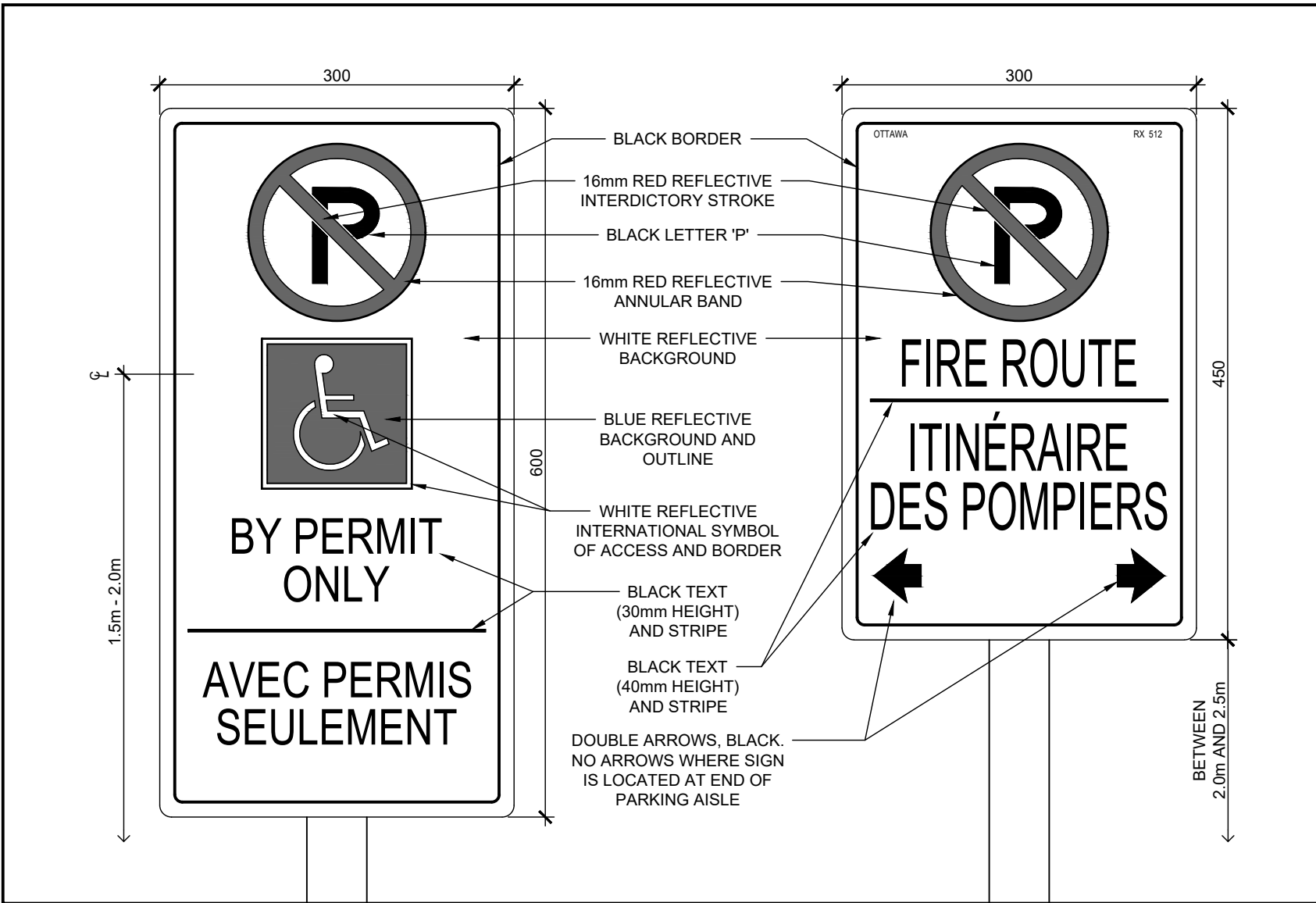
04 SHOP DRAWING DETAIL - SOUND WALL FENCE
SP-A04 SCALE: N.T.S.



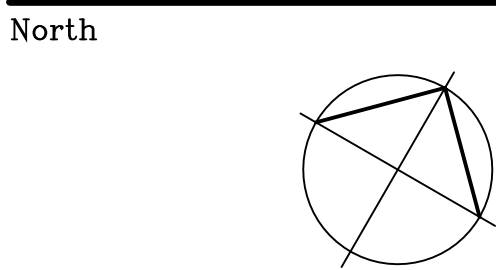
03 BIKE LANE SIGNAGE
SP-A04 SCALE: N.T.S.



02 SHOP DRAWING DETAIL - BIKE RACK
SP-A04 SCALE: N.T.S.



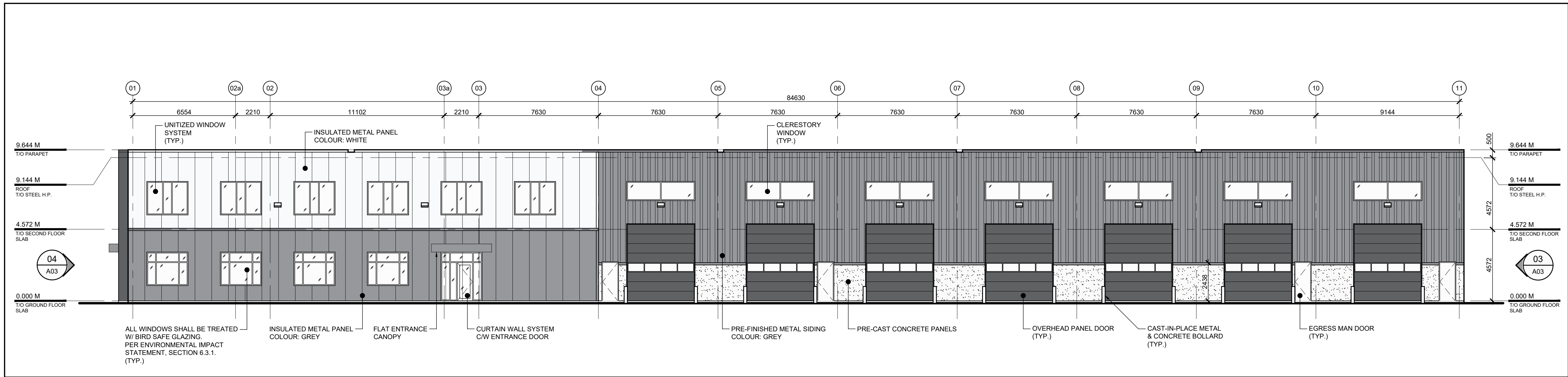
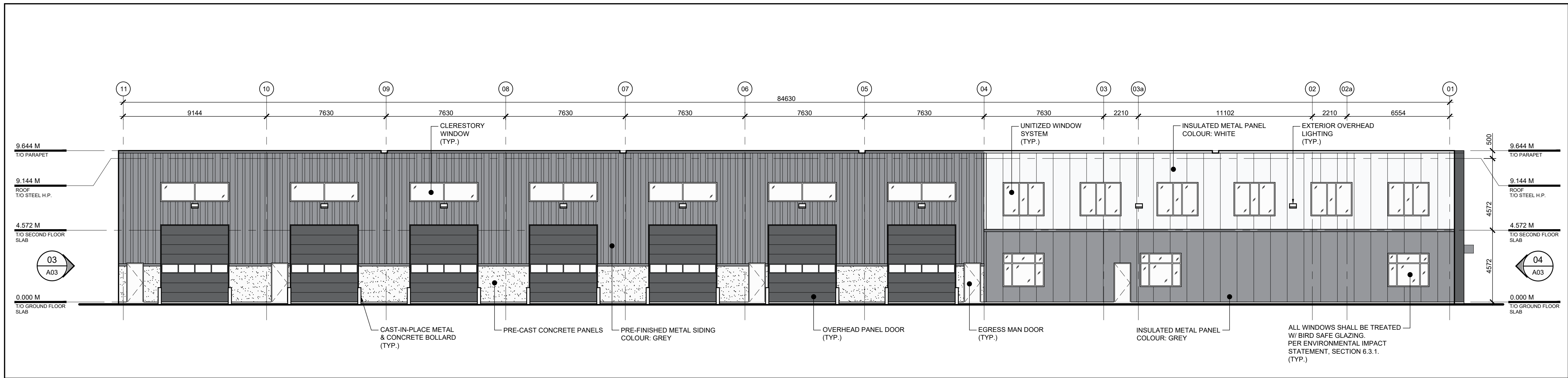
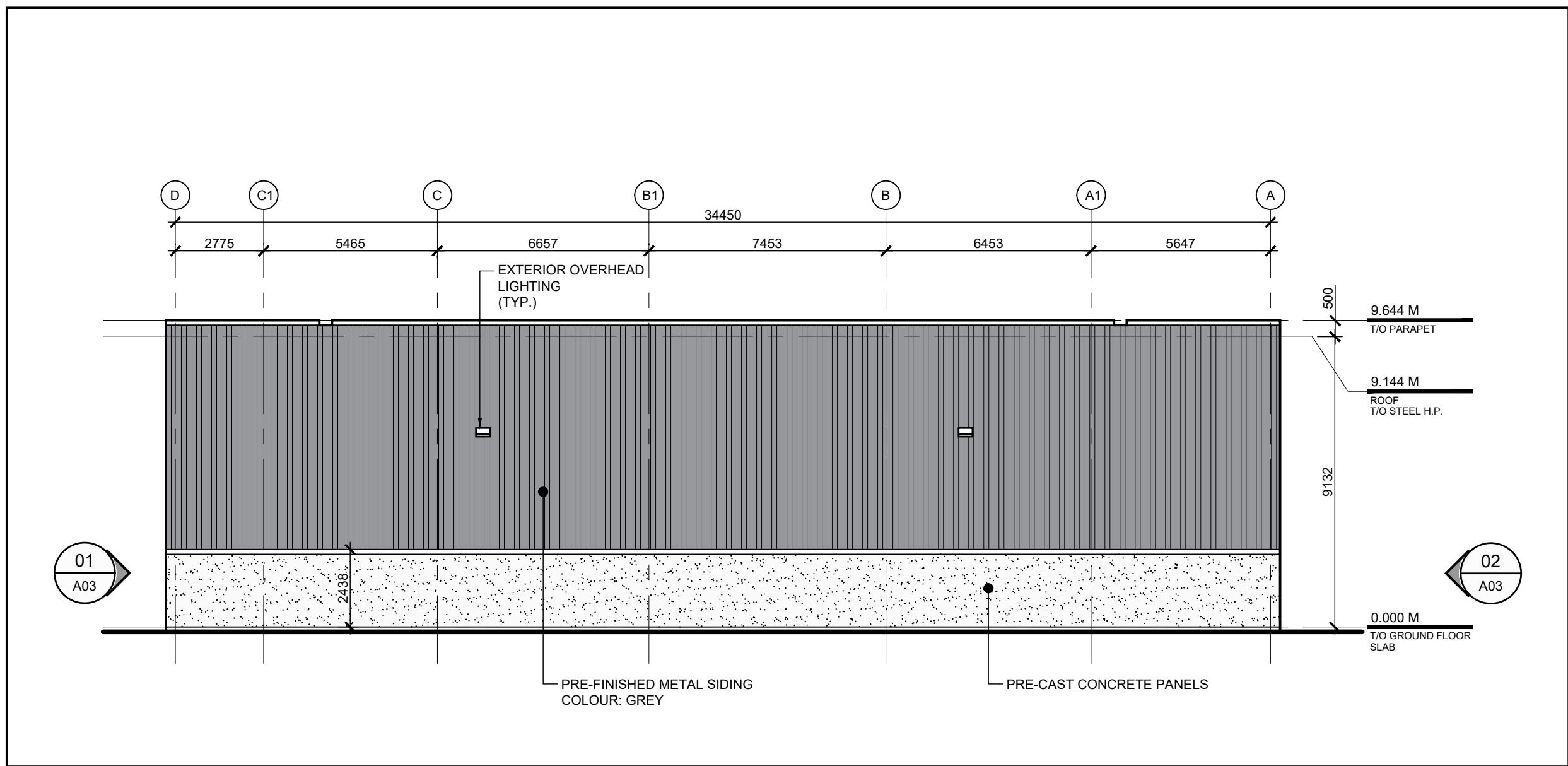
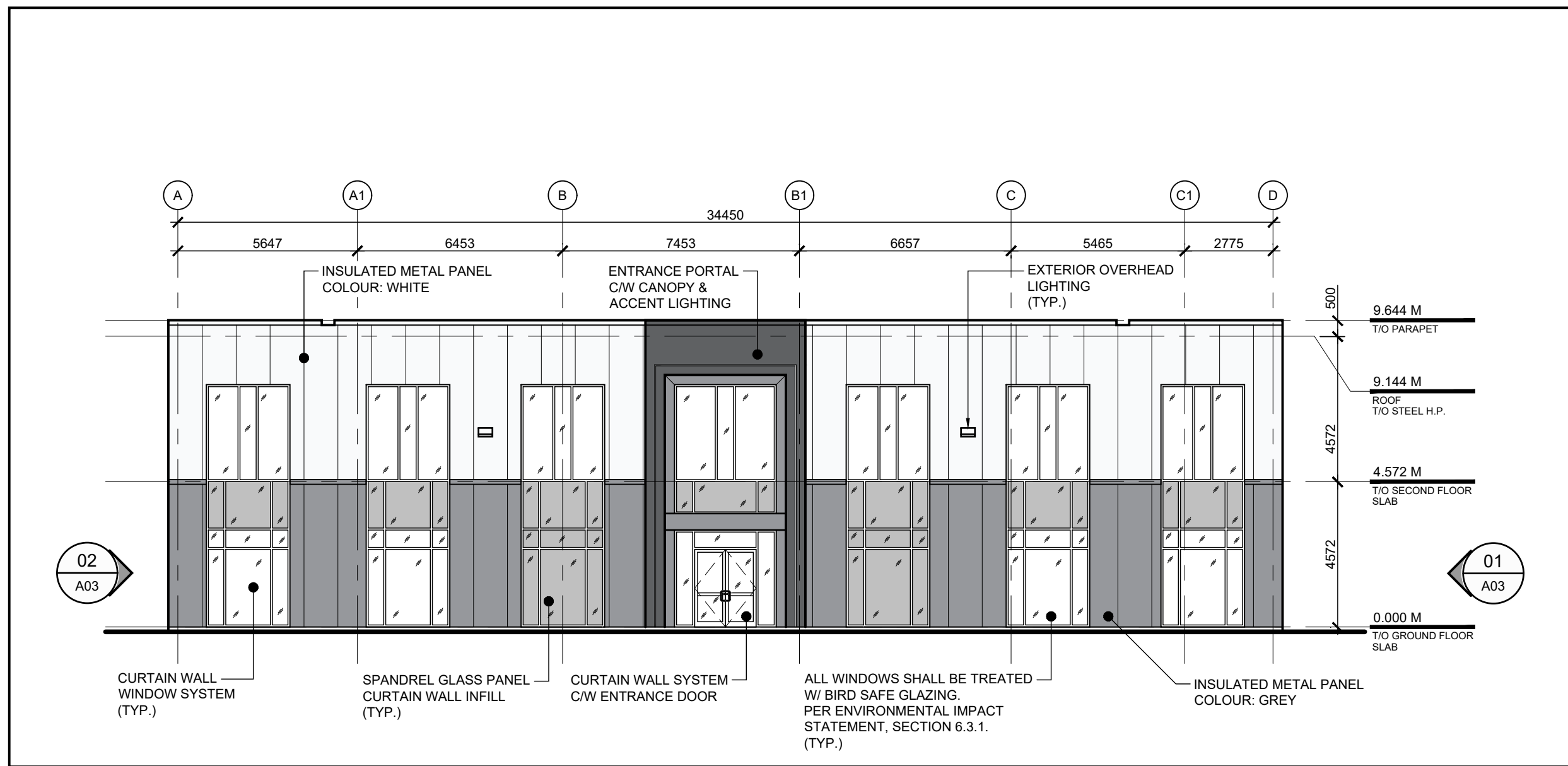
01 VERTICAL PARKING LOT SIGNAGE (POST OR WALL MOUNTED)
SP-A04 SCALE: N.T.S.



Revisions				
No.	By	Description	Date	
06	J.M.	RE-ISSUED FOR SITE PLAN CONTROL	24 JUN 2026	
05	W.P.	RE-ISSUED FOR SITE PLAN CONTROL	06 MAY 2026	
04	W.P.	ISSUED FOR SITE PLAN CONTROL	30 APR 2026	
03	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026	
02	W.P.	ISSUED FOR INFORMATION	14 JAN 2026	
01	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025	

Project
**WO MW REALTY LIMITED
OFFICE GROUP
SITE PLAN APPLICATION
NEW MILLER WASTE FACILITY**
3145 CONROY ROAD, OTTAWA, ON
Drawing
SITE DETAILS

Scale AS NOTED
Drawn W.P.
Checked C.D.
Project No. 24-151
Date DECEMBER, 2024
Stamp
ONTARIO ASSOCIATION
OF ARCHITECTS
CHRISTOPHER LEE DEIMLING
LICENCE 6238
Project No. 24-151
Drawing No. SP-A04
Date DECEMBER, 2024



North

Revisions			
No.	By	Description	Date
06	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
05	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
04	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
03	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
02	A.P.	ISSUED FOR CLIENT REVIEW	15 AUG 2025
01	W.P.	ISSUED FOR CLIENT REVIEW	24 JUL 2025

Project
**WO MW REALTY LIMITED
OFFICE GROUP
SITE PLAN APPLICATION
NEW MILLER WASTE FACILITY**
3145 CONROY ROAD, OTTAWA, ON
Drawing
**PROPOSED
EXTERIOR ELEVATIONS**

Scale AS NOTED
Drawn J.M.
Checked W.P.
Project No. 24-151
Date DECEMBER, 2024
Stamp
ONTARIO ASSOCIATION
OF ARCHITECTS
CHRISTOPHER LEE DEIMLING
LICENCE 6238
Drawing No. A03