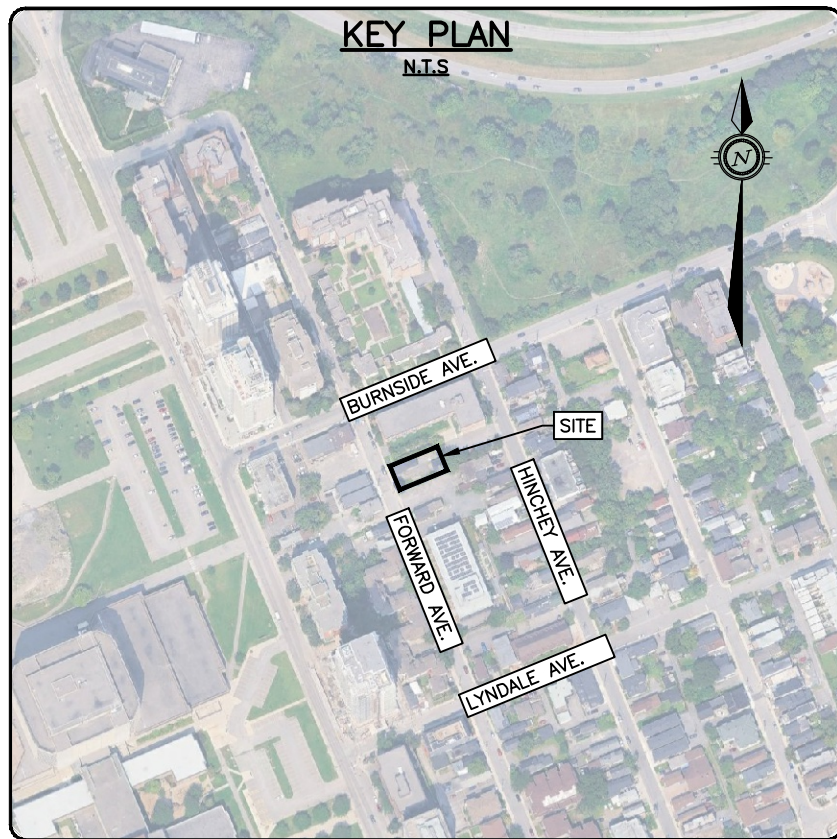


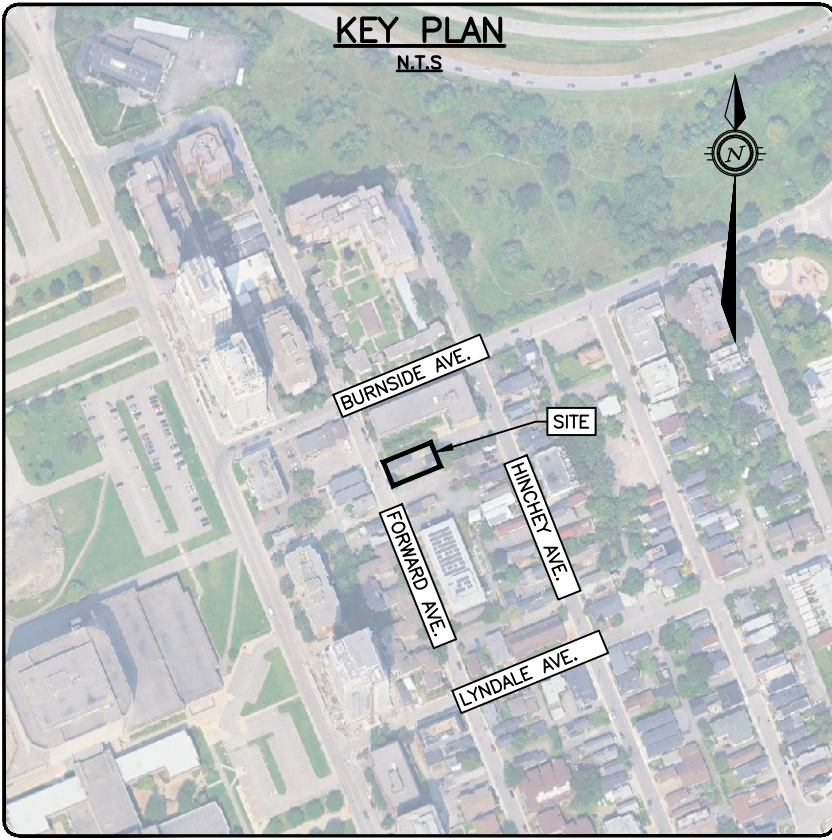
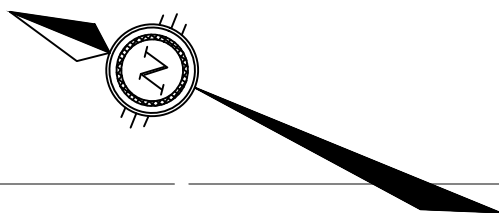
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NOTES:

1. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE UNTIL SUCH TIME AS THE SERVICE PROVIDER HAS CONFIRMED IN WRITING THE SERVICE IS ABANDONED AND CAN BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.



ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By mcreighan at 8:37 am, Jul 03, 2026

LEGEND

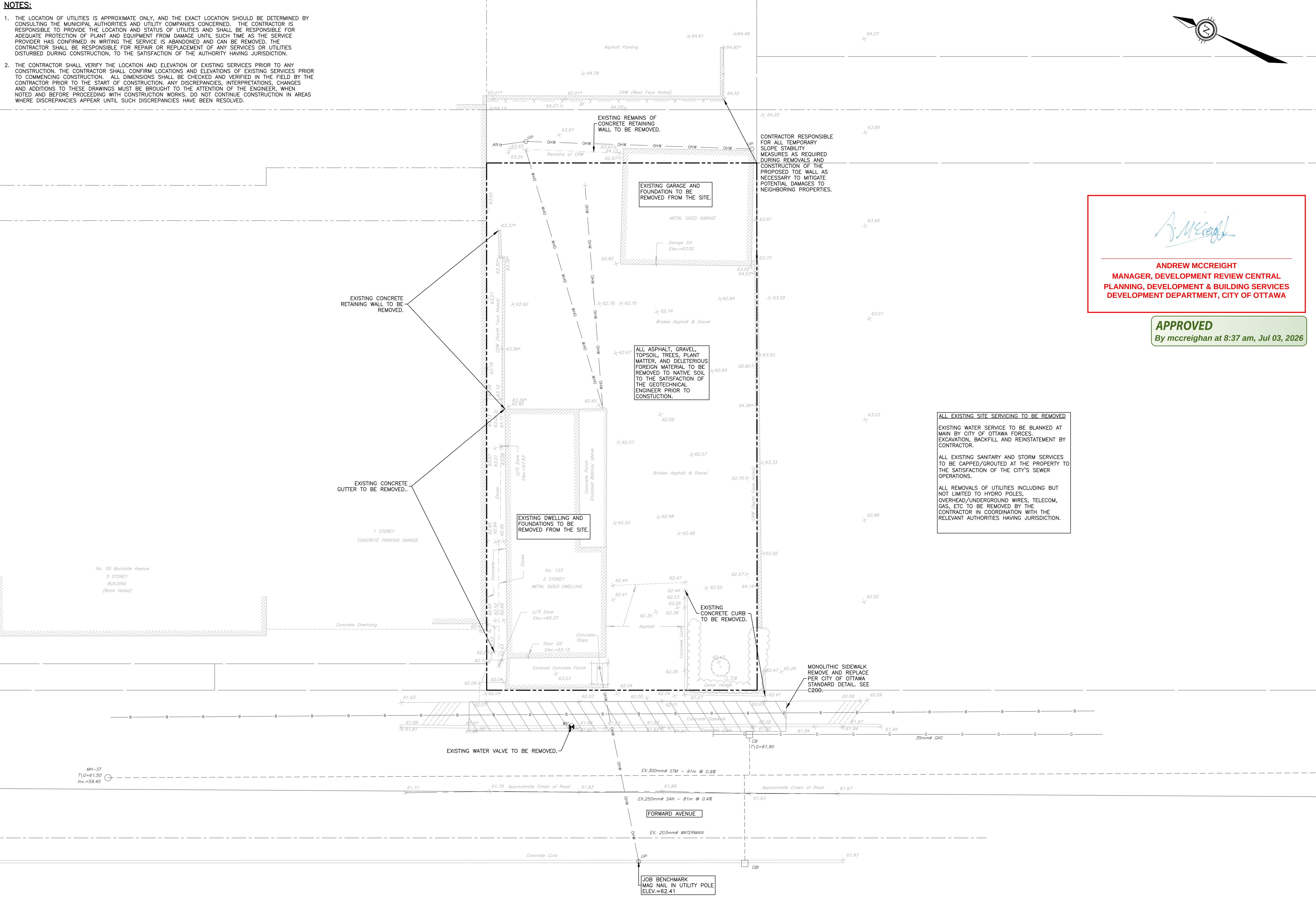
- PROPERTY LINE
- ABUTTING PROPERTY LINE
- EX. C. OF ROAD
- EX. CURB
- EX. RETAINING WALL
- EX. REMAINS OF RETAINING WALL
- EX. FENCE
- EX. EAVES
- EX. ELEVATION
- EX. TOP OF WALL ELEVATION
- EX. OVERHEAD WIRE
- EX. UTILITY POLE AND ANCHOR
- EX. BELL
- EX. GAS
- EX. CATCHBASIN
- EX. CURB INLET CATCHBASIN
- EX. STORM MANHOLE
- EX. SANITARY MANHOLE
- EX. WATER VALVE
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. WATER MAIN
- PROP. MONOLITHIC SIDEWALK REMOVE AND REPLACE

ALL EXISTING SITE SERVICING TO BE REMOVED

EXISTING WATER SERVICE TO BE BLANKED AT MAIN BY CITY OF OTTAWA FORCES. EXCAVATION, BACKFILL AND REINSTATEMENT BY CONTRACTOR.

ALL EXISTING SANITARY AND STORM SERVICES TO BE CAPPED/GROUTED AT THE PROPERTY TO THE SATISFACTION OF THE CITY'S SEWER OPERATIONS.

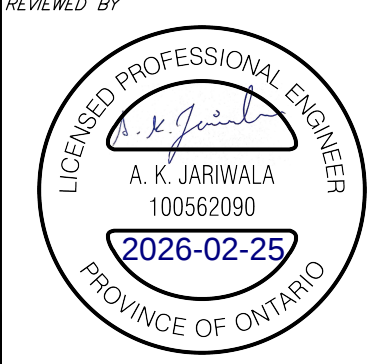
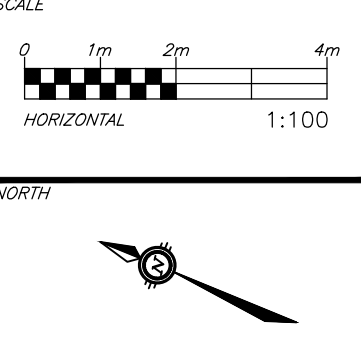
ALL REMOVALS OF UTILITIES INCLUDING BUT NOT LIMITED TO HYDRO POLES, OVERHEAD/UNDERGROUND WIRES, TELECOM, GAS, ETC TO BE REMOVED BY THE CONTRACTOR IN COORDINATION WITH THE RELEVANT AUTHORITIES HAVING JURISDICTION.



CAUTION
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JOB BENCH MARK
MAG NAIL IN UTILITY POLE ELEVATION = 62.41
TOPOGRAPHIC INFORMATION
PART 1 PLAN OF LOT 3 EAST FORWARD AVENUE REGISTERED PLAN 35 CITY OF OTTAWA
TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.
SURVEY DATED SEPTEMBER 9, 2019.
BEARINGS ARE GRID, DERIVED FROM THE EASTERLY LIMIT OF FORWARD AVENUE SHOWN TO BE N22°49'50"W ON PLAN 5R-12807 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 9 (76°30' WEST LONGITUDE)
NAD-83 (ORIGINAL). ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO THE CGVD28 GEODETIC DATUM.

REV	REVISION DESCRIPTION	DATE	BY	APPD	REV	REVISION DESCRIPTION	DATE	BY	APPD
3	RE-ISSUED FOR SPA	25/02/26	AKJ	AKJ					
2	REVISED PER UPDATED SITE PLAN	18/12/25	NP	AKJ					
1	ISSUED FOR SPA	27/11/25	AGJ	AKJ					

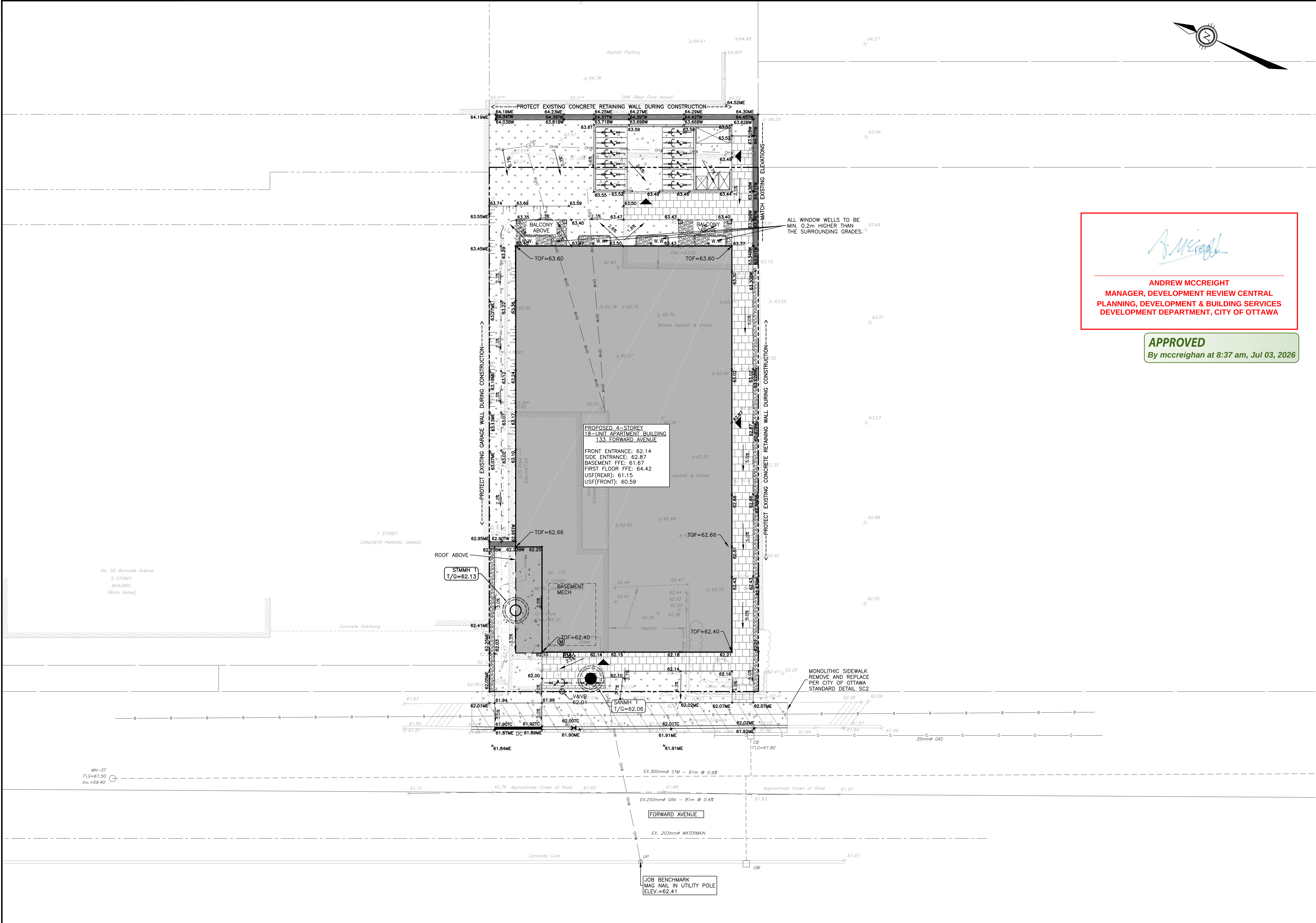


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BASEPLAN	AGJ
DESIGN	AGJ
CHECKED	AKJ
CAD	AGJ
PROJECT MANAGER	AKJ
APPROVED	AKJ

133 FORWARD AVENUE
133 FORWARD AVENUE
OTTAWA, ONTARIO.
EXISTING CONDITIONS AND REMOVALS PLAN

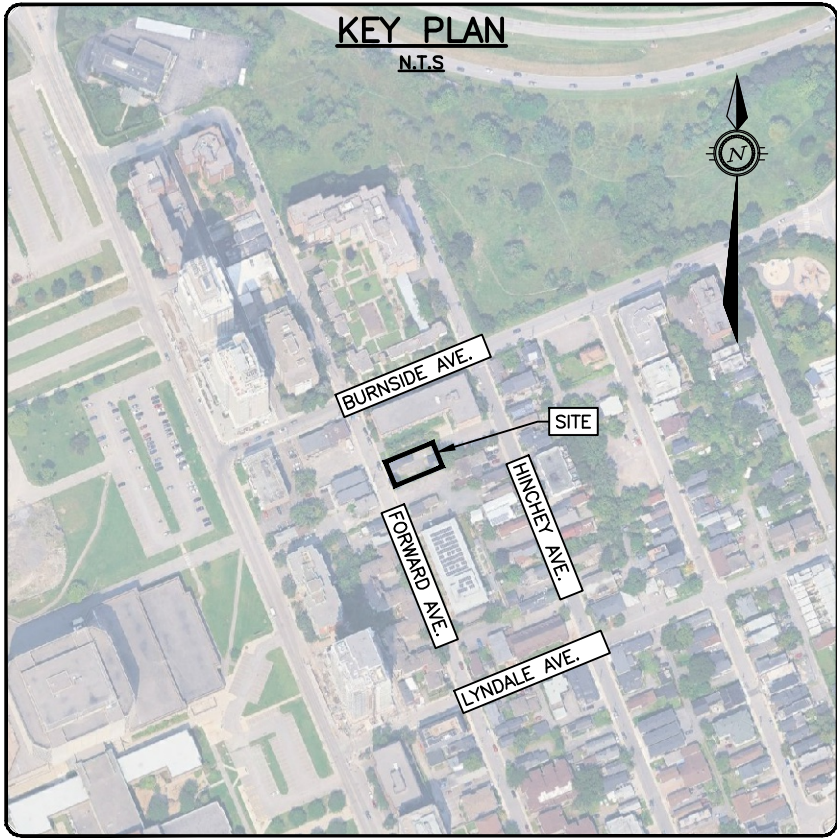
PROJECT No.
OTT-25012024-AG
SURVEY
ADV LTD.
DATE
2019-09-09
DRAWING No.
C001



A. McCreight

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By mcreighan at 8:37 am, Jul 03, 2026

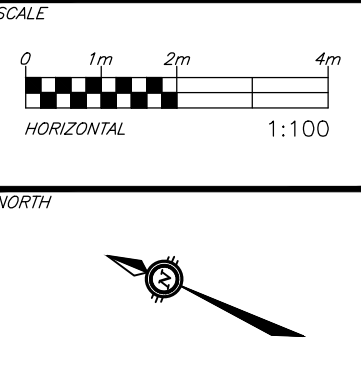


LEGEND	
	PROPERTY LINE
	ABUTTING PROPERTY LINE
	EX. C. OF ROAD
	EX. CURB
	EX. RETAINING WALL
	EX. REMAINS OF RETAINING WALL
	EX. FENCE
	EX. EAVES
	EX. ELEVATION
	EX. TOP OF WALL ELEVATION
	EX. OVERHEAD WIRE
	EX. UTILITY POLE AND ANCHOR
	EX. BELL
	EX. GAS
	EX. CATCHBASIN
	EX. CURB INLET CATCHBASIN
	EX. STORM MANHOLE
	EX. SANITARY MANHOLE
	EX. WATER VALVE
	EX. STORM SEWER
	EX. SANITARY SEWER
	EX. WATER MAIN
	PROP. GRADE (%)
	PROP. ELEVATION
	PROP. ELEVATION (TOP OF CURB)
	PROP. ELEVATION (BOTTOM OF CURB)
	PROP. ELEVATION (MATCH EX. ELEV.)
	PROP. FINISHED FLOOR ELEVATION
	PROP. TOP OF WALL
	PROP. BOTTOM OF WALL
	PROP. BUILDING AT GRADE
	PROP. DEPRESSED CURB
	PROP. OPD 3120.100 TOE WALL
	PROP. GRASS/SOFT LANDSCAPING AS PER LANDSCAPE PLANS
	PROP. CONCRETE SURFACE
	PROP. INTERLOCK
	PROP. RIVER ROCK
	PROP. STORM/SANITARY MANHOLE
	PROP. WINDOW WELL
	PROP. MONOLITHIC SIDEWALK REMOVE AND REPLACE PER CITY OF OTTAWA
	PROP. VALVE AND VALVEBOX
	PROP. SWALE/FLOW PATH
	PROP. TERRACING @3:1 MAX.

CAUTION
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JOB BENCH MARK
MAG NAIL IN UTILITY POLE ELEVATION = 62.41
TOPOGRAPHIC INFORMATION
PART 1 PLAN OF LOT 3 EAST FORWARD AVENUE REGISTERED PLAN 35 CITY OF OTTAWA
TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD. SURVEY DATED SEPTEMBER 9, 2019.
BEARINGS ARE GRID, DERIVED FROM THE EASTERLY LIMIT OF FORWARD AVENUE SHOWN TO BE N22°49'50"W ON PLAN 5R-12807 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 9 (76°30' WEST LONGITUDE) NAD-83 (ORIGINAL). ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO THE CGVD28 GEODETIC DATUM.

REV	REVISION DESCRIPTION	DATE	BY	APPD	REV	REVISION DESCRIPTION	DATE	BY	APPD
					4	RE-ISSUED FOR SPA	25/02/26	AKJ	AKJ
					3	REVISED PER UPDATED SITE PLAN	18/12/25	NP	AKJ
					2	ISSUED FOR SPA	27/11/25	AKJ	AKJ
					1	COORDINATION	25/11/17	AKJ	AKJ



DESIGNED BY
A. K. Jariwala
A. K. JARIWALA
100562090
2026-02-25
PROVINCE OF ONTARIO

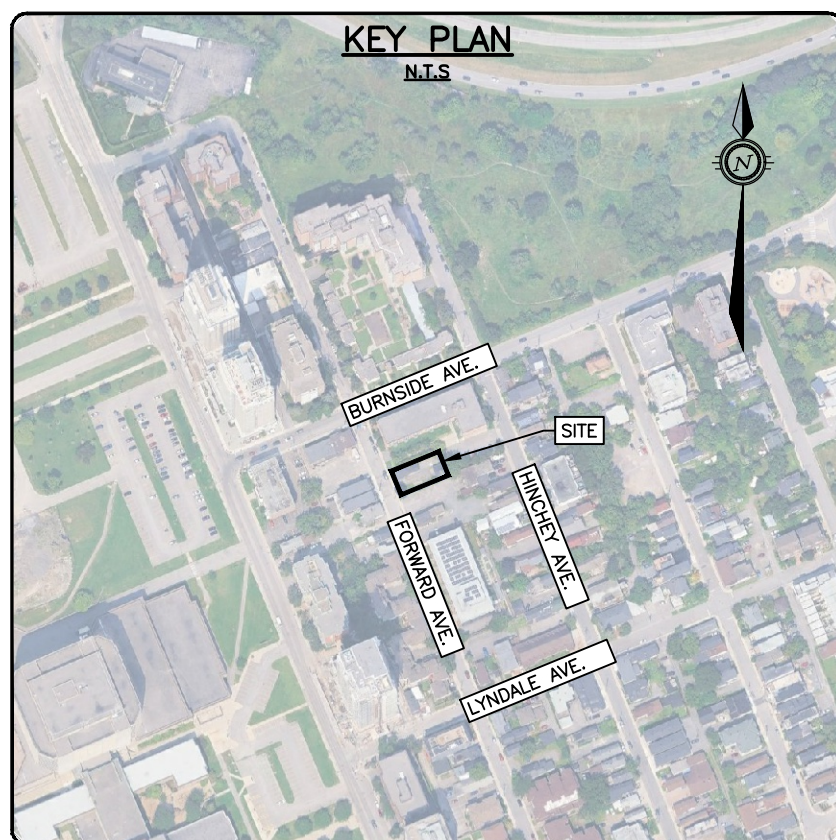
REVIEWED BY
A. K. Jariwala
A. K. JARIWALA
100562090
2026-02-25
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DESIGN AGJ
CHECKED AKJ
CAD AGJ
PROJECT MANAGER AKJ
APPROVED AKJ

PROJECT
133 FORWARD AVENUE
133 FORWARD AVENUE
OTTAWA, ONTARIO.
SITE GRADING PLAN

PROJECT No.
OTT-25012024-AG
SURVEY
ADV. LTD.
DATE
2019-09-09
DRAWING No.
C200



	PROPERTY LINE
	ABUTTING PROPERTY LINE
	EX. C. OF ROAD
	EX. CURB
	EX. RETAINING WALL
	EX. REMAINS OF RETAINING WALL
	EX. FENCE
	EX. EAVES
	EX. ELEVATION
	EX. TOP OF WALL ELEVATION
	EX. OVERHEAD WIRE
	EX. UTILITY POLE AND ANCHOR
	EX. BELL
	EX. GAS
	EX. CATCHBASIN
	EX. CURB INLET CATCHBASIN
	EX. STORM MANHOLE
	EX. SANITARY MANHOLE
	EX. WATER VALVE
	EX. STORM SEWER
	EX. SANITARY SEWER
	EX. WATER MAIN
	ON-SITE OVERLAND FLOW ROUTE
	OFF-SITE OVERLAND FLOW ROUTE
	POST-DEVELOPMENT CATCHMENTS
	CATCHMENTS LABEL
	PROP. GRASS
	PROP. CONCRETE
	PROP. INTERLOCK
	PROP. RIVER ROCK
	PROP. STORM MANHOLE
	PROP. STORM
	PROP. ROOF DRAINS
	PROP. SCUPPERS
	PROP. WINDOW WELL
	5 YEAR PONDING
	100 YEAR PONDING

**ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA**

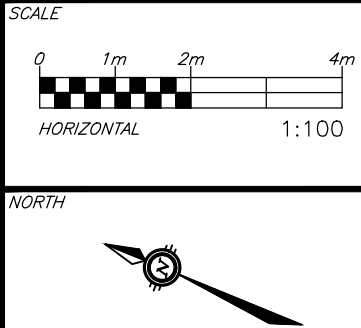
APPROVED
By mcreighan at 8:37 am, Jul 03, 2026

ROOF PONDING TABLE						
Area #	5-year Ponding Depth (mm)	100-year Ponding Depth (mm)	Weir Type	No of Weirs per Drain	Weir Position	100-YR Flowrate (L/sec)
PR-1	117	148	WATTS ACCUTROL	1	1/4 Open	0.94
PR-2	108	138	WATTS ACCUTROL	1	1/4 Open	0.91

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JOB BENCH MARK
MAG NAIL IN UTILITY POLE ELEVATION = 62.41
TOPOGRAPHIC INFORMATION
PART 1 PLAN OF LOT 1 EAST FORWARD AVENUE REGISTERED PLAN 35 CITY OF OTTAWA
TOPOGRAPHIC INFORMATION PROVIDED BY ANTHONY, O'SULLIVAN, VOLLEBEKK LTD.
SURVEY DATED SEPTEMBER 9, 2013

BEARINGS ARE GRID, DERIVED FROM THE EASTERLY LIMIT OF FORWARD AVENUE
ARE BE N27°14'00" W ON PLAN GR-12807 AND ARE REFERRED TO
THE CENTRAL MERIDIAN OF MTM ZONE 9 (76°30' WEST LONGITUDE)
NAD-83 (ORIGINAL). ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO
CGVD28 GEODETIC DATUM.

[illegible]DESIGNED
BY

REVIEWED BY





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DESIGN	AGJ
CHECKED	AKJ
CAD	AGJ
PROJECT MANAGER	AKJ
APPROVED	AKJ

133 FORWARD AVENUE
133 FORWARD AVENUE
OTTAWA, ONTARIO.

POST-DEVELOPMENT CATCHMENTS

PROJECT No.	OTT-25012024-AC
SURVEY	AOV LTD.
DATE	2019-09-09
DRAWING No.	C500