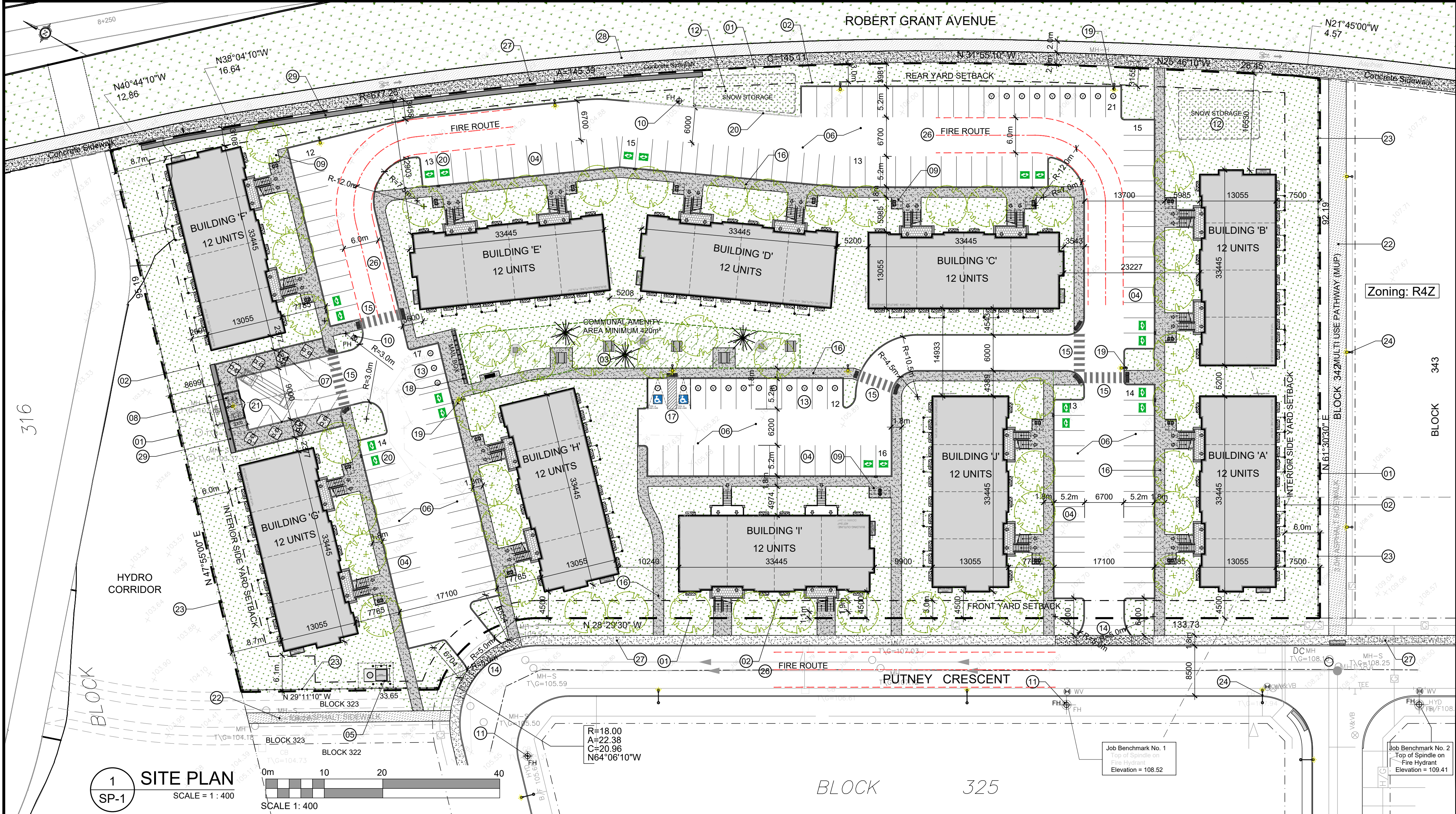




GROSS BUILDING - AREAS		
(CITY OF OTTAWA'S DEFINITION)		
PROPOSED BUILDING 'A'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'B'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'C'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'D'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'E'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'F'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'G'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'H'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'I'	1,256.0 m ² / 13,520 ft ²	
PROPOSED BUILDING 'J'	1,256.0 m ² / 13,520 ft ²	
TOTAL PROPOSED AREA	12,560.0 m ² / 135,200 ft ²	
UNIT STATISTICS		
2 BEDROOM UNIT		120
CAR PARKING		
REQUIRED by ZONING BY-LAW		
RESIDENCE	- 1.2 PER UNIT	144
VISITOR	- 0.2 PER DWELLING UNIT	24
TOTAL		168
PROVIDED		
RESIDENCE	- 1.26 PER UNIT	151
VISITOR	- 0.2 PER DWELLING UNIT	24
TOTAL		175
BICYCLE PARKING		
REQUIRED / PROVIDED	- 0.5 PER UNIT	60
WASTE COLLECTION		
GUIDELINES		
GARBAGE	- 0.231 YARDS ³ / UNIT	28 YARDS ³
RECYCLING (GMP)	- 0.018 YARDS ³ / UNIT	2 YARDS ³
RECYCLING (FIBRE)	- 0.062 YARDS ³ / UNIT	7.4 YARDS ³
ORGANICS	- 240L CONTAINER / 50 UNITS	3 x 240L
REQUIRED PROVIDED		
GARBAGE	5 EARTHBINS	5 EARTHBINS
RECYCLING (GMP)	1 EARTHBINS	1 EARTHBINS
RECYCLING (FIBRE)	2 EARTHBINS	2 EARTHBINS
ORGANICS	3 x 240L BINS	3 x 240L BINS
LARGE ITEM GARBAGE	N/A	8 m ²
*EARTHBINS= (6.5 YARDS ³)		
AMENITY SPACE		
REQUIRED AMENITY SPACE	6.0 m ² PER UNIT =	720.0 m ²
50% COMMUNAL AMENITY AREA =		360.0 m ²
PROVIDED AMENITY SPACE		
PRIVATE BALCONY / PATIOS =	29.2%	320.0 m ²
COMMUNAL EXTERIOR AREA =		420.0 m ²
TOTAL =		740.0 m ²
SITE COVERAGE		
BUILDING FOOTPRINT =	22.6%	4,187.0 m ²
DRIVING SURFACE =	29.2%	5,430.0 m ²
LANDSCAPE AREA =	48.2%	8,954.4 m ²
TOTAL =	100.0%	18,571.4 m ²

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

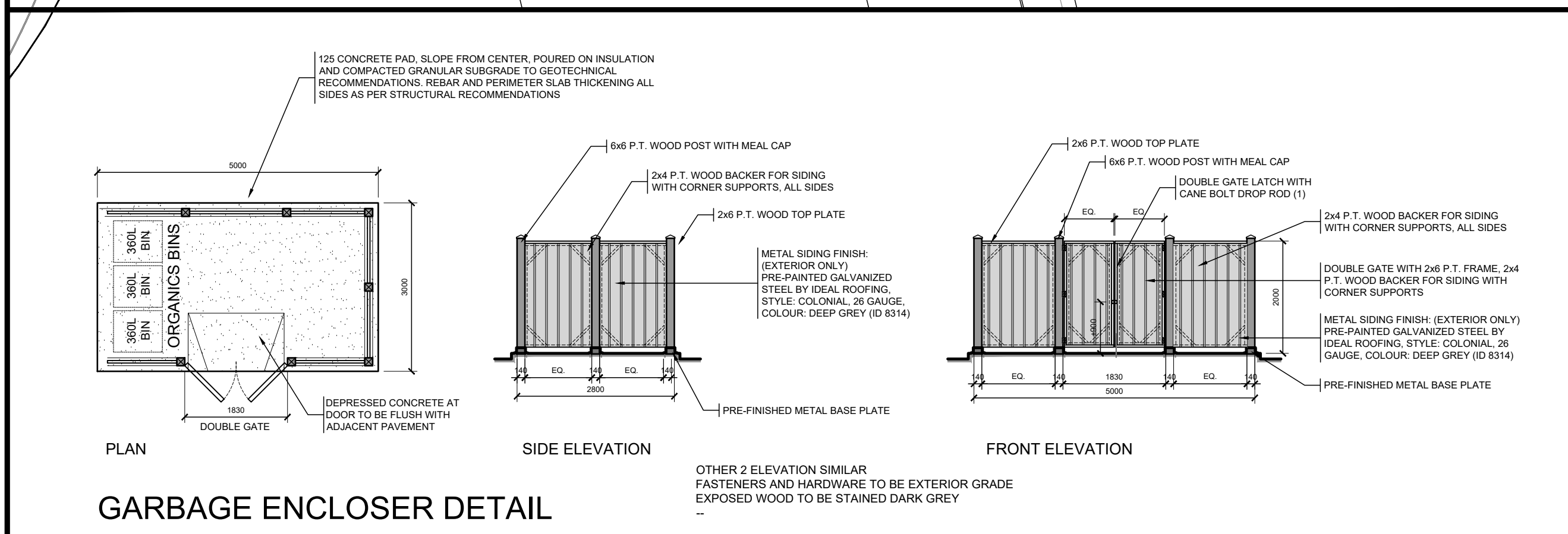
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

DRAWING NOTES		
1	PROPERTY LINE	
2	BUILDING SETBACKS	
3	REQUIRED AMENITY AREA	
4	PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES	
5	PROPOSED HYDRO TRANSFORMER	
6	ASPHALT DRIVING SURFACE	
7	IN GROUND WASTE BINS	
8	ORGANIC WASTE / OVER SIZED GARBAGE ENCLOSER 2.0m HIGH OPAQUE SCREEN AROUND PERIMETER	
9	BICYCLE PARKING SPACES 0.6m x 1.8m (6) WITH RACK	
10	PROPOSED HYDRANT	
11	EXISTING FIRE HYDRANT	
12	SEASONAL SNOW STORAGE	
13	VISITOR PARKING SPACE: 2.6 x 5.2 METRES	
14	DEPRESSED STREET CURB, SIDEWALK TO BE CONTINUOUS AND DEPRESSED @ DRIVEWAY, AS PER OTTAWA DETAIL SCT.1	
15	DEPRESSED CURB AND TWSI AT ALL CROSSINGS	
16	1.8m WIDE CONCRETE WALK	
17	ACCESSIBLE PARKING SPACE WITH ACCESS AISLE, DEPRESSED CURB AND TWSI	
18	CANADA POST MAIL BOXES	
19	PROPOSED SITE LIGHTING, SEE ELECTRICAL SITE PLAN	
20	ELECTRICAL VEHICLE SPACE: 2 PER BUILDING	
21	FLUSH / MOUNTABLE CURB	
22	EXISTING ASPHALT MUP AND OR CONNECTION PATH	
23	1.5m Ht. BLACK VINYL COATED CHAIN LINK FENCE	
24	EXISTING STREET / PATH LIGHTING	
25	GRANULAR ACCESS ROAD FOR DRY POND	
26	6.0m WIDE FIRE TRUCK ACCESS ROUTE	
27	EX. 1.8m AND OR WIDE CONCRETE CITY SIDEWALK	
28	EX. 2.0m WIDE ASPHALT CYCLE TRACK	
29	LOW RETAINING WALL, SEE CIVIL & LANDSCAPE	

ARCHITECT SEAL:
ONTARIO ASSOCIATION OF ARCHITECTS
REV. M. REID
LICENCE 8807
SEAL DATE: STAMP DATE

NORTH ARROW:



PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation	R4Z	SITE AREA	1.85 ha, 18,571.4 m ² / 199,900 ft ²
ZONING			
ZONE: PLANNED UNIT DEVELOPMENT: STACKED	REQUIRED	PROVIDED	
BUILDING HEIGHT	R4Z	R4Z	
DENSITY - MAXIMUM FLOOR SPACE INDEX	14.5m	9.3m	
FRONT YARD SETBACK: PUTNEY	n/a	9.3m	
INTERIOR YARD SETBACK	3.0m	4.5m	
INTERIOR YARD SETBACK: MUP	1.5m & 6.0m	6.1m	
INTERIOR YARD SETBACK: HYDRO CORRIDOR	6.0m	7.5m	
REAR YARD SETBACK: ROBERT GRANT	6.0m	8.7m	
BUILDING SETBACK TO A PRIVATE WAY	3.0m	3.1m	
BUILDING SEPARATION (UNDER 14.5m HT.)	1.8m	3.0m	
AMENITY AREA - TOTAL 6.0m ² PER UNIT	1.2m	5.2m	
AMENITY AREA - 50% COMMUNAL PER UNIT	720.0m ²	740.0m ²	
VEHICLE PARKING: RESIDENTIAL - 1.2 PER UNIT	360.0m ²	420.0m ²	
VEHICLE PARKING: VISITOR - 0.2 PER UNIT	144	151	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	24	24	
ACCESSIBLE PARKING SPACE WITH ACCESS AISLE, DEPRESSED CURB AND TWSI	60	60	
MINIMUM WIDTH OF LANDSCAPED AREA - ABUTTING A STREET	6.0m / 6.7m	6.2m / 6.7m	
MINIMUM WIDTH OF LANDSCAPED AREA - AROUND A PARKING LOT	3.0m	4.5m	
	3.0m	3.0m	

SITE PLAN SYMBOLS

CONCRETE WALK / PATH

SOFT LANDSCAPING

COMMUNAL AMENITY SPACE

ASPHALT MUP / WALK

SNOW STORAGE

BIKE RACK / BIKE PARKING SPOT 0.6m x 1.8m

TWO WAY VEHICLE CIRCULATION

MAIN ENTRANCE

PROPERTY LINE

ZONING SETBACKS

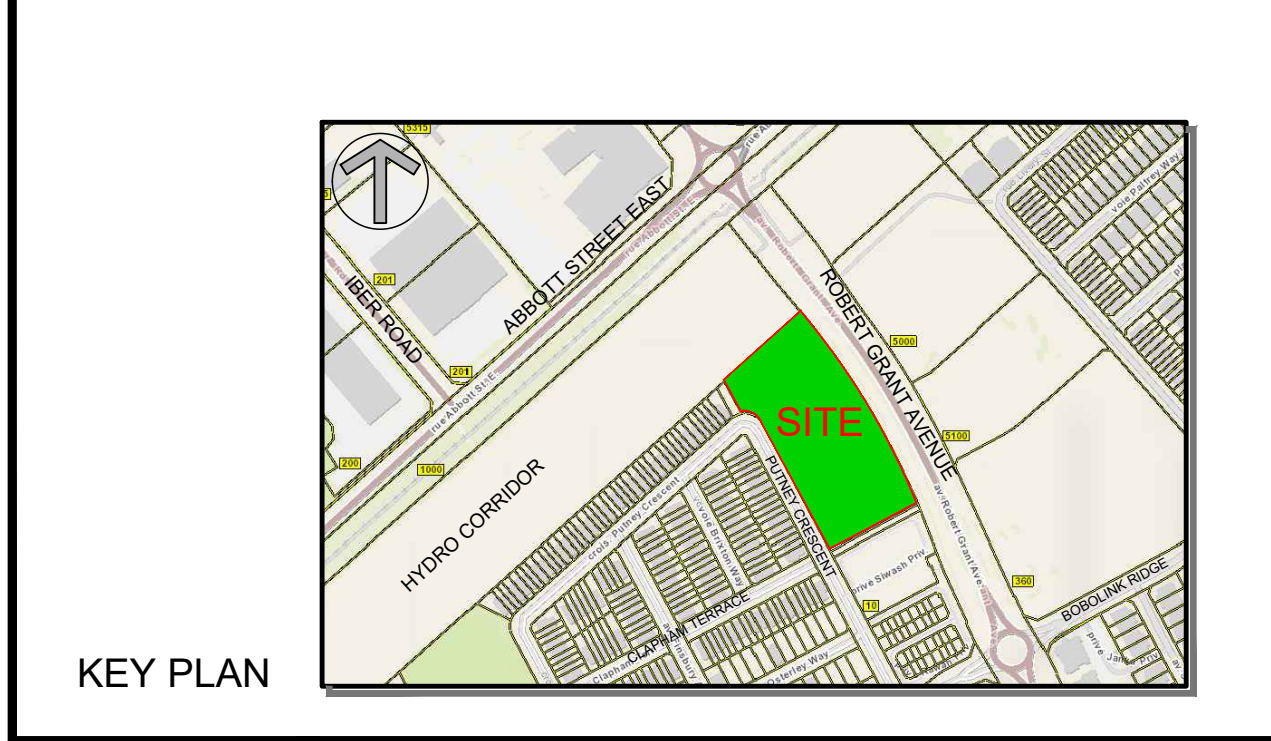
STANDARD PARKING SPACE

VISITOR PARKING SPACE

ELECTRICAL VEHICLE READ PARKING SPACE (NO CHARGER)

ACCESSIBLE PARKING SPACE

SITE FURNITURE: SEE LANDSCAPE DRAWING



LEGAL DESCRIPTION SKETCH TO ILLUSTRATE EXISTING CONDITIONS ON BLOCK 324, PLAN 4M1619 CITY OF OTTAWA Prepared by Annis, O'Sullivan, Vollebakk Ltd. Field Work Completed September 17, 2020	TRANSPORTATION ENGINEER Arcadis Canada Inc. 500 - 333 Preston Street Ottawa, Ontario, K1S 5N4 Tel: 613 225-1311 Mobile: Email: ben.pascoloneveu@arcadis.com	CIVIL ENGINEER Arcadis Canada Inc. 500 - 333 Preston Street Ottawa, Ontario, K1S 5N4 Tel: 613 225-1311 Mobile: Email: ryan.magladry@arcadis.com	PROJECT DEVELOPER Claridge Homes 505 Preston Avenue Ottawa ON, K1S 4N7 Tel: (613) 233-6030 E-Mail: shawn.malhotra@claridgehomes.com E-Mail: marc.stpierre@claridgehomes.com E-Mail: victoria.st.pierre@claridgehomes.com
SURVEYOR Annis O'Sullivan Vollebakk Ltd. Ontario Land Surveyors 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 727-0850 E-Mail: _____@aovltd.com	GEOTECHNICAL ENGINEER Paterson Group 9 Auriga Drive Ottawa, Ontario K2E 7T9 Tel: 613.226-7381 Email: sdennis@patersongroup.ca	LANDSCAPE ARCHITECT James B. Lennox & Associates Inc. 3332 Carling Ave. Ottawa, Ontario, K2H 5A8 Tel: 613-722-5168 Email: ml@jbla.ca Email: lc@jbla.ca	URBAN PLANNER Novatech Eng. Consultants Limited 200 - 240 Michael Cowpland Drive Ottawa, Ontario, K2M 1P6 Tel: 613 254-9643 Email: r.tran@novatech-eng.com

PROJECT TITLE: 723 PUTNEY CRESCENT STITTVILLE		
OTTAWA ONTARIO		
SHEET TITLE: SITE PLAN		
DRAWN: R.V.	CHECKED: RV	
SCALE: 1:400	SHEET No. SP-1	
PROJECT No. 2602		