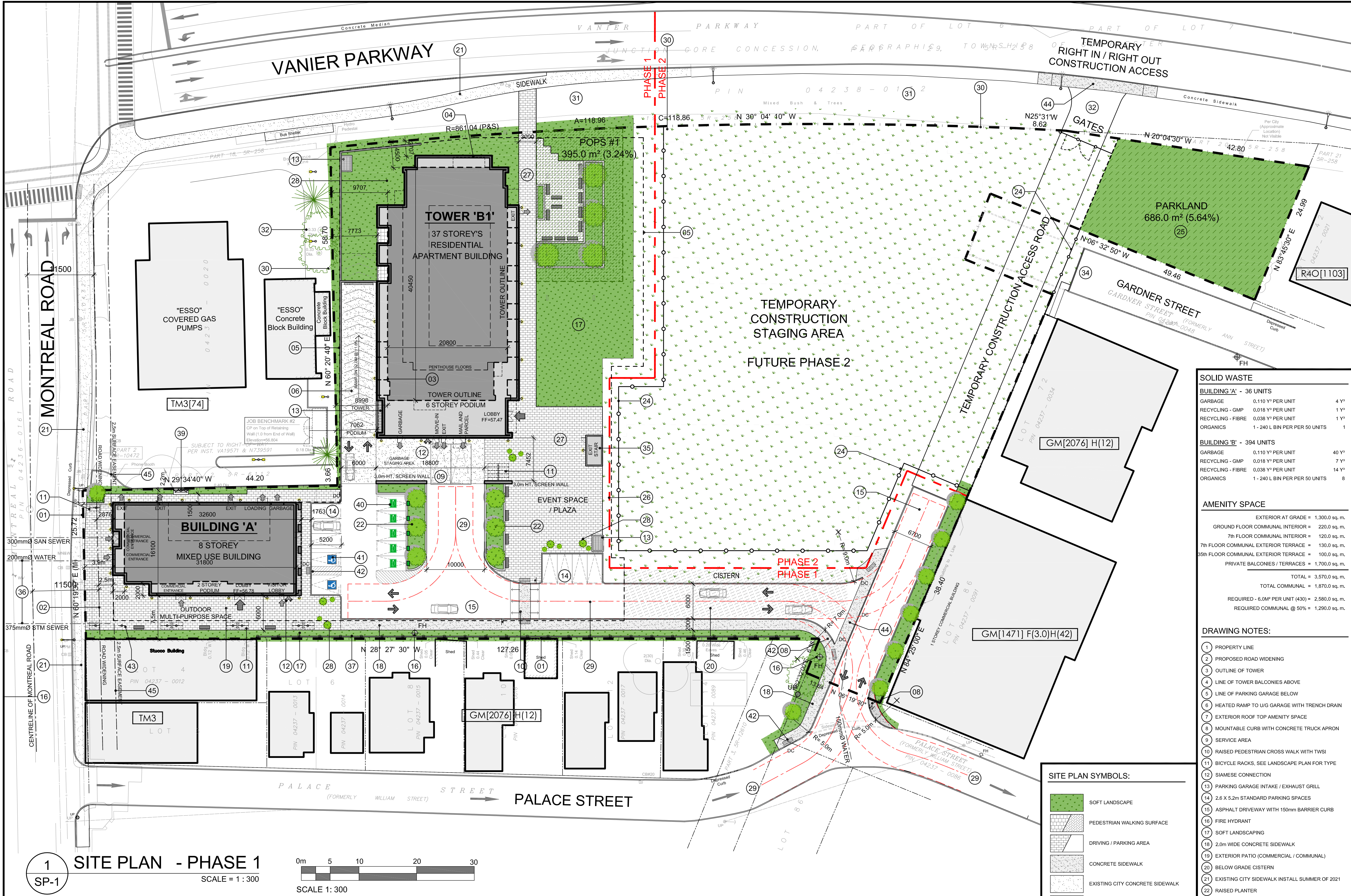
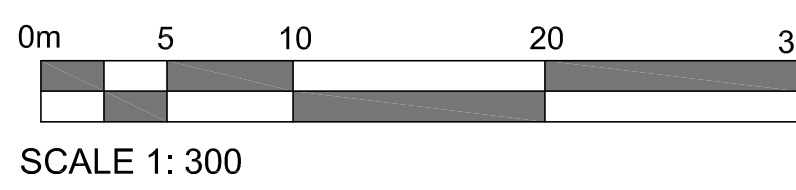


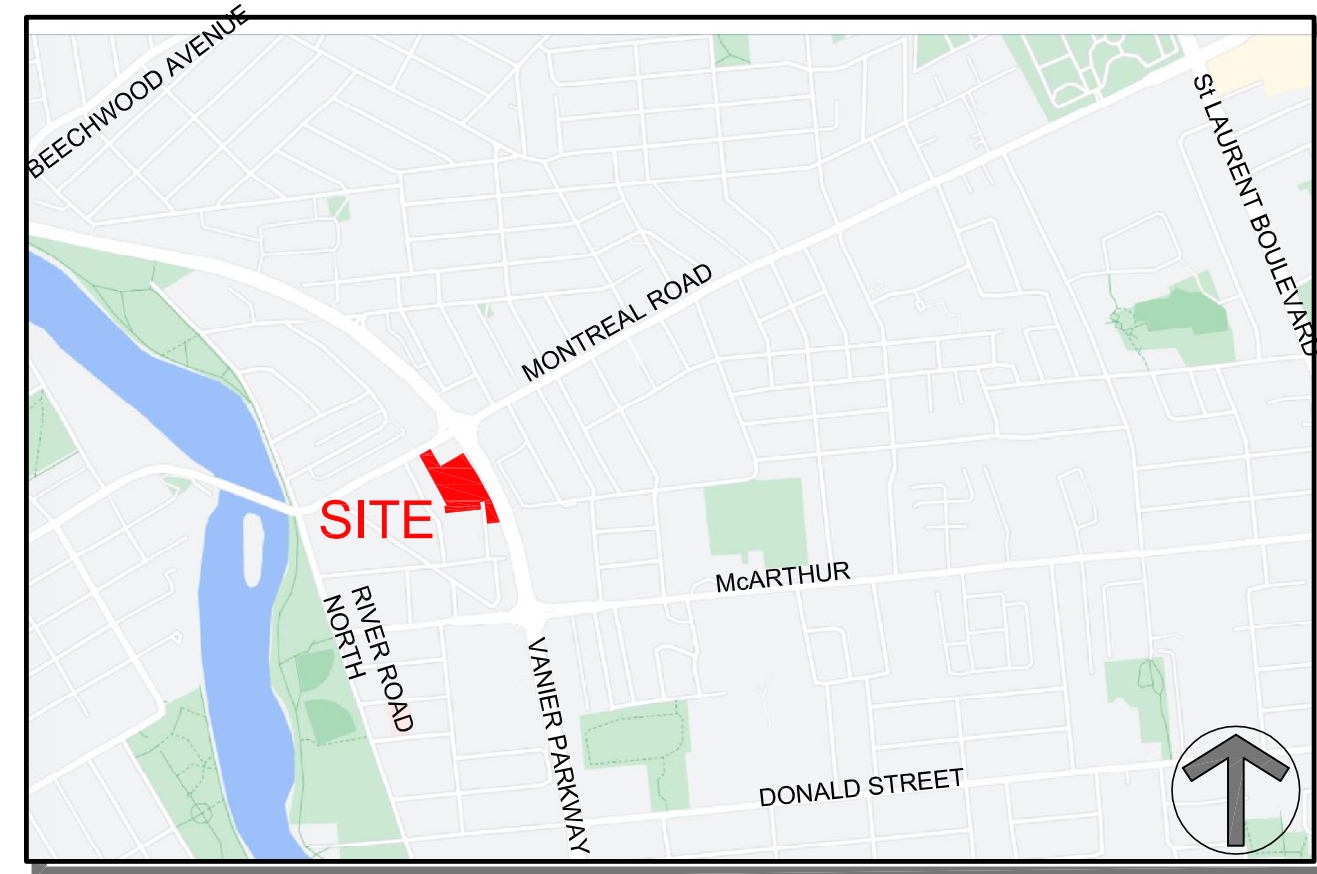


1 SITE PLAN - PHASE 1
SP-1
SCALE = 1 : 300



SITE PLAN SYMBOLS:

- SOFT LANDSCAPE
 - PEDESTRIAN WALKING SURFACE
 - DRIVING / PARKING AREA
 - CONCRETE SIDEWALK
 - EXISTING CITY CONCRETE SIDEWALK
 - CONCRETE DRIVEWAY / RAMP
 - UNDEVELOPED AREA
 - PARKLAND DEDICATION
 - PROPERTY LINE
 - FENCE LINE
 - BIKE RACK
 - ENTRANCE / EXIT DOOR
 - COMMERCIAL / EXIT DOOR
 - FH
 - FIRE HYDRANT
 - VEHICULAR DIRECTION
 - EXISTING TREE TO REMAIN
 - SIAMSE CONNECTION
- NOTE:
SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN



KEY MAP

PROJECT INFORMATION

ZONING	TM(2363) S385-h
SITE AREA	12,165.45 sq. m. 130,348 sq. ft.
PHASE 1 AREA	6,150.19 sq. m. 66,200 sq. ft.
PHASE 2 AREA	6,015.26 sq. m. 64,748 sq. ft.
REQUIRED	
BUILDING HEIGHT - BLDG A	8 Storeys / 29.0m
BUILDING HEIGHT - BLDG B1	37 Storeys / 116.0m
GRADE - BLDG A - ABOVE SEA LEVEL	56.70m
GRADE - BLDG B1 - ABOVE SEA LEVEL	57.40m
BUILDING SETBACKS	as per Schedule S385-h
RESIDENTIAL PARKING - AREA "Y"	0.5 per unit
VISITOR PARKING - AREA "Y"	0.1 per unit
COMMERCIAL PARKING - RESTAURANT	not required
BICYCLE PARKING	0.5 per unit
BICYCLE PARKING - COMMERCIAL	1 per 250m² of G.F.A.
AMENITY SPACE	6.0 m² per unit

PROJECT STATISTICS - PHASE 1

BUILDING 'A'	STAGE 1 CONSTRUCTION	
PARKING LEVEL	0.0 sq. m.	0.0 sq. ft.
GROUND FLOOR	234.6 sq. m.	2,525 sq. ft.
2nd FLOOR	415.8 sq. m.	4,478 sq. ft.
3rd - 6th FLOOR	6 x 311.0 sq. m. 6 x 3,348 sq. ft.	20,088 sq. ft.
MECHANICAL LEVEL	0.0 sq. m.	0.0 sq. ft.
TOTAL AREA	2,510.4 sq. m.	27,088 sq. ft.
COMMERCIAL AREA	234.6 sq. m.	2,525 sq. ft.
UNIT COUNT		36
UNIT PARKING	0.5 PER UNIT AFTER 12 UNITS	12
VISITOR PARKING	0.1 PER UNIT AFTER 12 UNITS	2
BICYCLE PARKING	0.5 PER UNIT	18
COMMERCIAL BICYCLE	1.0 PER 250m² of G.F.A.	1

BUILDING 'B'	STAGE 2 CONSTRUCTION	
PARKING LEVEL	0.0 sq. m.	0.0 sq. ft.
GROUND FLOOR	2,272.2 sq. m.	2,768 sq. ft.
2nd - 6th FLOOR	5 x 888.8 sq. m. 5 x 9,578 sq. ft.	47,890 sq. ft.
7th FLOOR	4,449.1 sq. m.	5,645 sq. ft.
8th - 34th FLOOR TOWER	27 x 650.04 sq. m. 27 x 6,997 sq. ft.	17,551.15 sq. ft.
35th - 37th FLOOR	3 x 454.8 sq. m. 3 x 4,898 sq. ft.	1,364.56 sq. ft.
MECHANICAL LEVEL	0.0 sq. m.	0.0 sq. ft.
TOTAL AREA	24,146.4 sq. m.	259,910 sq. ft.
TOWER FOOTPRINT	807.2 sq. m.	8,689 sq. ft.
UNIT COUNT		394
UNIT PARKING	0.5 PER UNIT AFTER 12 UNITS	191
VISITOR PARKING	0.1 PER UNIT AFTER 12 UNITS	30
BICYCLE PARKING	0.5 PER UNIT	197

UNIT MIX

TOWNHOUSE UNIT	0
ONE BEDROOM	291
TWO BEDROOM UNIT	107
THREE BEDROOM UNIT	32
TOTAL UNITS	430

CAR PARKING

REQUIRED BY ZONING BY-LAW	
RESIDENCE	-0.5 PER UNIT (AFTER 12 UNITS)
VISITOR	-0.1 PER DWELLING UNIT (AFTER 12 UNITS) (MAX 30)
COMMERCIAL RETAIL	-NON REQUIRED
TOTAL	235
PROVIDED	
RESIDENCE	-0.59 PER UNIT
VISITOR	-0.07 PER UNIT
COMMERCIAL RETAIL	-NON REQUIRED
TOTAL	390

LOCATION

SURFACE	14
BELOW GRADE - 3 LEVELS	369

BICYCLE PARKING

REQUIRED	
RESIDENCE	-0.5 PER UNIT (430 UNITS)
COMMERCIAL RETAIL	-1.0 PER 250m² OF G.F.A.
TOTAL	216
PROVIDED	
EXTERIOR	26
UG PARKING LEVEL P1 FOR - PHASE 1	410
UG PARKING LEVEL P1 FOR - PHASE 2	465
TOTAL	901

LOT COVERAGE

UNDEVELOPED AREA =	43.81%	5,329.2 sq. m.
PARK LAND SPACE =	5.84%	686.0 sq. m.
PAVED SURFACE =	13.64%	1,660.0 sq. m.
BUILDING FOOTPRINT =	13.13%	1,597.5 sq. m.
LANDSCAPE OPEN SPACE =	23.78%	2,882.69 sq. m.
TOTAL =	100.00%	12,165.45 sq. m.

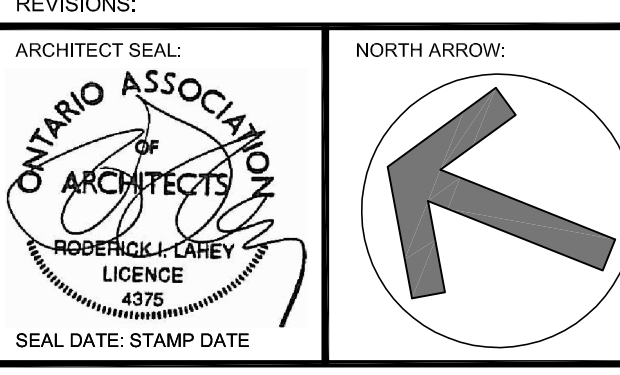
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- DETAIL NUMBER
- TITLE
- SCORE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

ISSUED FOR SPC 4th COMMENT RESPONSE	2024 04 29
ISSUED FOR SPC 3rd COMMENT RESPONSE	2023 10 17
ISSUED FOR SPC 2nd COMMENT RESPONSE	2023 06 20
ISSUED FOR SPC 1st COMMENT RESPONSE	2023 03 15
ISSUED FOR SPC 1st COMMENT REVIEW	2023 03 04
ISSUED FOR UDRP SPC SUBMISSION	2023 01 19
ISSUED FOR CONSULTANT COORDINATION	2023 01 10
ISSUED FOR SPC APPLICATION - PHASE 1	2022 09 13
ISSUED FOR CONSULTANT COORDINATION	2022 08 22
ISSUED FOR CONSULTANT COORDINATION	2022 02 21



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PROJECT TITLE:
112 MONTREAL ROAD

OTTAWA ONTARIO

SHEET TITLE:

**SITE PLAN
PHASE 1**

DRAWN:
RV

CHECKED:
R.V.

SCALE:
1:300

SHEET No:
SP-1

PROJECT No:
2026