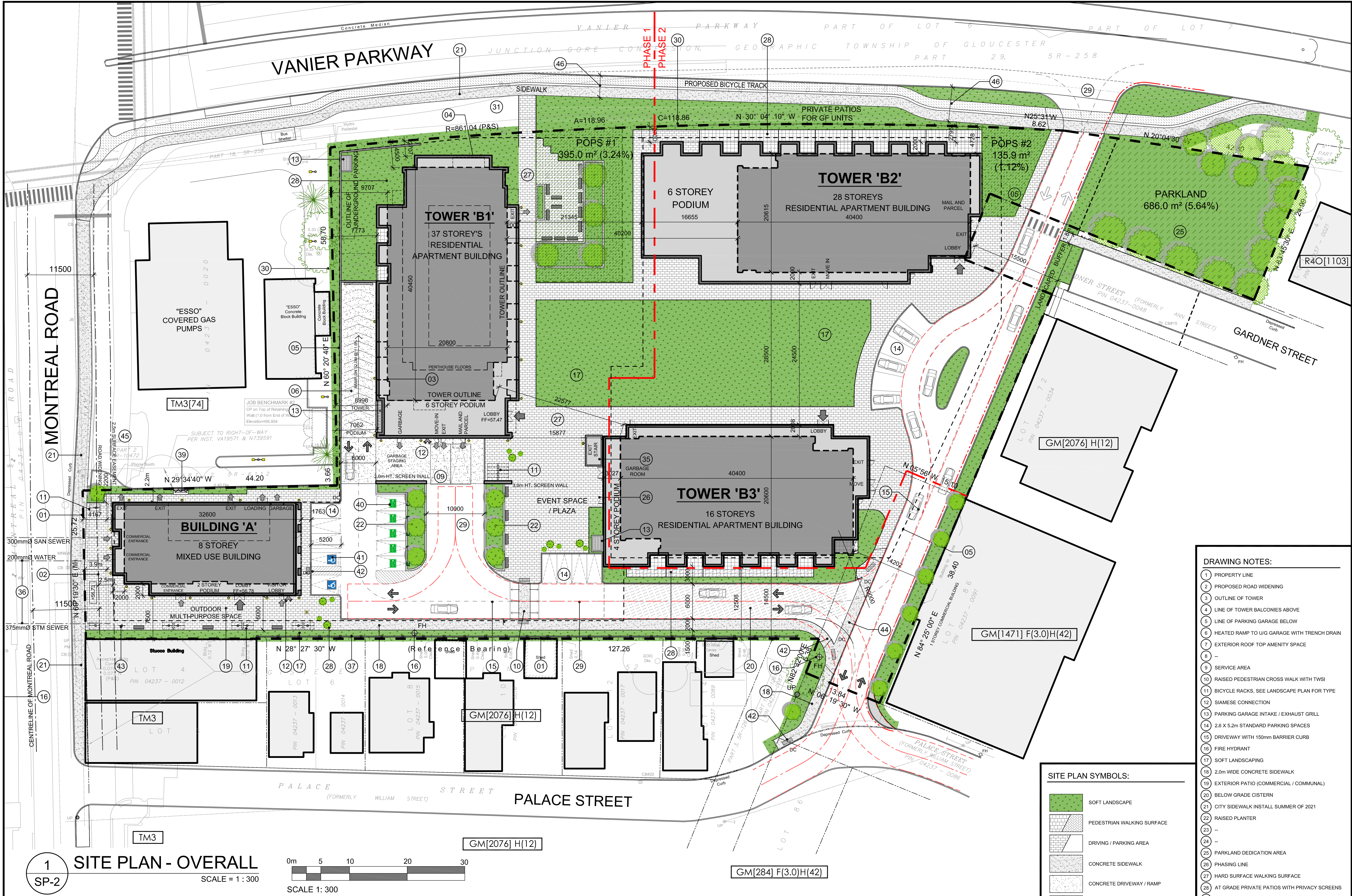
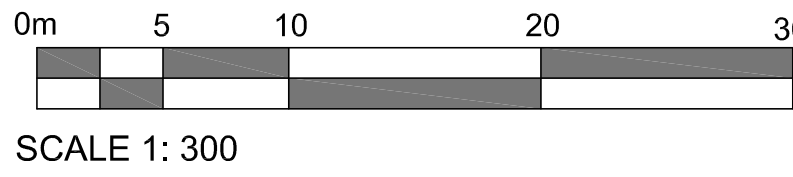




SITE PLAN - OVERALL

SCALE = 1 : 300



PROJECT DEVELOPER Manor Park Management 231 Britany Drive, Suite D Ottawa, ON Canada, K1K 0R8 E-Mail: Isa@manorparkcap.com	PROJECT MANAGER Renfro Land Management 371A Richmond Rd. Unit 2, Ottawa, ON K2L 1Y3 Tel: (613) 883-6124 E-Mail: davidrenfro@outlook.com	LEGAL DESCRIPTION TOPOGRAPHIC SURVEY OF LOT 5 AND PART OF LOTS 6 AND 7 BLOCK 2 REGISTERED PLAN 29 AND LOT 88 AND PART OF LOTS 40 & 41 REGISTERED PLAN 49 CITY OF OTTAWA
SURVEYOR FAIRHALL, MOFFATT & WOODLAND LIMITED 100-600 TERRY FOX DRIVE KANATA, ONTARIO K2L 4B6 Tel: (613) 591-2580 Fax: (613) 591-1495 Email:	GEOTECHNICAL ENGINEER paterson group 154 Colonnade Road South Ottawa, Ontario, K2E 7J5 Tel: 613.226-7381 Email: DGilbert@Patersongroup.ca	URBAN PLANNER FoTenn Consultants Inc. 396 Cooper Street, Unit 300 Ottawa, ON Canada, K2P 2H7 Tel: (613) 730-5709 Fax: (613) 730-1136 E-Mail: posen@fotenn.com
CIVIL ENGINEER WSP 300 - 2611 Queensview Drive Ottawa, ON K2B 8K2 Tel: +1 613-829-2800 Email: Ishaque.Jafferjee@wsp.com	TRANSPORTATION ENGINEER CGH Transportation Inc. 13 Markham Avenue Ottawa, ON K2G 3Z1 Tel: (343) 999-9117 Email: Christopher.Gordon@CGHTransportation.com	LANDSCAPE DESIGNER LEVSTEK CONSULTANTS 5871 Hugh Crescent Ottawa, ON Canada, K0a 2w0 Tel: (613) 826-0518 E-Mail: rlevstek@larocquelevstek.com



SITE PLAN SYMBOLS:	
	SOFT LANDSCAPE
	PEDESTRIAN WALKING SURFACE
	DRIVING / PARKING AREA
	CONCRETE SIDEWALK
	CONCRETE DRIVEWAY / RAMP
	UNDEVELOPED AREA
	PARKLAND DEDICATION
	PROPERTY LINE
	FENCE LINE
	BIKE RACK
	ENTRANCE / EXIT DOOR
	COMMERCIAL / EXIT DOOR
	FIRE HYDRANT
	VEHICULAR DIRECTION
	EXISTING TREE TO REMAIN
	SIAMESE CONNECTION
NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN	

- DRAWING NOTES:**
- PROPERTY LINE
 - PROPOSED ROAD WIDENING
 - OUTLINE OF TOWER
 - LINE OF TOWER BALCONIES ABOVE
 - LINE OF PARKING GARAGE BELOW
 - HEATED RAMP TO U/G GARAGE WITH TRENCH DRAIN
 - EXTERIOR ROOF TOP AMENITY SPACE
 - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
 - SIAMESE CONNECTION
 - PARKING GARAGE INTAKE / EXHAUST GRILL
 - 2.8 X 5.2m STANDARD PARKING SPACES
 - DRIVEWAY WITH 150mm BARRIER CURB
 - FIRE HYDRANT
 - SOFT LANDSCAPING
 - 2.0m WIDE CONCRETE SIDEWALK
 - EXTERIOR PATIO (COMMERCIAL / COMMUNAL)
 - BELOW GRADE CISTERN
 - CITY SIDEWALK INSTALL SUMMER OF 2021
 - RAISED PLANTER
 -
 -
 - PARKLAND DEDICATION AREA
 - PHASING LINE
 - HARD SURFACE WALKING SURFACE
 - AT GRADE PRIVATE PATIOS WITH PRIVACY SCREENS
 - 6.0m WIDE FIRE ROUTE
 - EXISTING CHAIN LINK FENCE
 - EXISTING SOFT LANDSCAPED BOULEVARD
 -
 - EXISTING TREE TO REMAIN PROTECT AS REQUIRED
 - ALTER EXISTING STREET AS SHOWN
 - PARKING GRADE EXIT STAIR
 - PROPOSED BUILDING SERVICES, SEE CIVIL
 - 2.1m HT. SOLID WOOD FENCE
 -
 - GAS PRESSURE RELEASE STATION
 - ELECTRIC VEHICLE CHARGING STATION
 - ACCESSIBLE PARKING SPACE
 - DEPRESSED CURB - TWSI AS SHOWN
 - CYCLE REPAIR STATION
 - DEPRESSED CURB AND CONTINUOUS SIDEWALK TO CITY STANDARDS, SEE CIVIL
 - 2.5m SURFACE EASEMENT
 - PROPOSED CITY BOULEVARD - CYCLE TRACK / WARNING STRIP / SIDEWALK

PROJECT INFORMATION

ZONING TM(2363) S385-h

SITE AREA 12,165.45 sq m
130,348 sq ft

PHASE 1 AREA 6,150.19 sq m
66,200 sq ft

PHASE 2 AREA 6,015.26 sq m
64,748 sq ft

BUILDING STATISTICS

BUILDING HEIGHT - Building 'A'	8 STOREYS - 29.0 m
BUILDING HEIGHT - Tower 'B1'	37 STOREYS - 116.0 m
BUILDING HEIGHT - Tower 'B2'	28 STOREYS - 89.0 m
BUILDING HEIGHT - Tower 'B3'	16 STOREYS - 53.0 m

PROPOSED FSI 55,824.0 sq m
600,884 sq ft 4.60

GROSS BUILDING - AREAS
(CITY OF OTTAWA'S DEFINITION)

BUILDING 'A'	2,516.6 sq. m 27,089 sq. ft
TOWER 'B1'	24,146.4 sq m 259,910 sq ft
TOWER 'B2'	19,197.8 sq m 206,643 sq ft
TOWER 'B3'	10,445.7 sq m 114,589 sq ft
TOTAL AREA	55,961.91 sq m 602,369 sq ft

COMMERCIAL AREA IN BUILDING 'A' 185.68 sq m
2,031 sq ft

TOWER FLOOR PLATE OF 'B1', 'B2', 'B3' 807.2 sq m
8,689 sq ft

UNIT STATISTICS

BUILDING 'A'	1 BEDROOM UNITS = 22 2 BEDROOM UNITS = 14	36
TOWER 'B1'	1 BEDROOM UNITS = 269 2 BEDROOM UNITS = 60 3 BEDROOM UNITS = 32	394
TOWER 'B2'	1 BEDROOM UNITS = 7 2 BEDROOM UNITS = 103 3 BEDROOM UNITS = 15	318
TOWER 'B3'	1 BEDROOM UNITS = 6 2 BEDROOM UNITS = 9 3 BEDROOM UNITS = 9	169
TOTAL UNITS		917

AMENITY AREA

REQUIRED (917 UNITS X 6 m²) = 5,502 sq. m.

REQUIRED COMMUNAL @ 50% = 2,751 sq. m.

PROVIDED

INDOOR AMENITY AREA (COMMUNAL)	1,024.5 sq m
OUTDOOR AMENITY AREA (COMMUNAL - LANDSCAPED COURTYARDS)	2,442.6 sq m
PRIVATE OUTDOOR AMENITY AREA (PRIVATE BALCONIES, PATIOS)	2,129.2 sq m
TOTAL	5,796.8 sq m
TOTAL COMMUNAL (63%)	3,635.5 sq m

LOT COVERAGE

DRIVEWAYS & PARKING	= 2,054.05 sq. m.	16.61%
PAVED SURFACE	= 1,796.2 sq. m.	14.82%
BUILDINGS' FOOTPRINT	= 3,979.44 sq. m.	32.69%
LANDSCAPE OPEN SPACE	= 3,852.25 sq. m.	31.15%
PARK LAND SPACE	= 685.69 sq. m.	5.54%
POPS SPACE	= 542.58 sq. m.	4.46%
TOTAL	= 12,367.83 sq. m.	100.00%

SITE AREA = 12,165.45 sq. m.

LAND TO BE ACQUIRED = 202.16 sq. m.

CAR PARKING

REQUIRED

RESIDENTS	0.5 PER UNIT (AFTER 12 PER BUILDING)	435
VISITORS	0.1 PER UNIT (AFTER 12 PER BUILDING)	87
COMMERCIAL AREA (RESTAURANT)	NOT REQUIRED	0
TOTAL		522

PROVIDED

RESIDENTS	0.60 PER UNIT (917 UNITS)	732
VISITORS	0.1 PER UNIT (AFTER 12 PER BUILDING)	87
TOTAL		819

BICYCLE PARKING

REQUIRED

RESIDENTS	0.5 PER UNIT (915 UNITS)	458
COMMERCIAL AREA	@ 1.0 PER 250m ² OF G.F.A. (RESTAURANT)	1
TOTAL		459

PROVIDED

EXTERIOR	36
U/G PARKING LEVEL P1 FOR - PHASE 1	410
U/G PARKING LEVEL P1 FOR - PHASE 2	465
TOTAL	911

NOTATION SYMBOLS:

(00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

(00) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

(00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

(000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

(00) - DETAIL NUMBER

(00) - DETAIL REFERENCE PAGE

(00) - DETAIL CROSS REFERENCE PAGE

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC 4th COMMENT RESPONSE	2024 04 29
2	ISSUED FOR SPC 3rd COMMENT RESPONSE	2023 10 17
3	ISSUED FOR SPC 2nd COMMENT RESPONSE	2023 06 20
4	ISSUED FOR SPC 1st COMMENT RESPONSE	2023 03 15
5	ISSUED FOR UDRP SPC SUBMISSION	2023 01 19
6	ISSUED FOR CONSULTANT COORDINATION	2023 01 10
7	ISSUED FOR SPC APPLICATION - PHASE 1	2022 09 13
8	ISSUED FOR CONSULTANT COORDINATION	2022 08 22
9	ISSUED FOR CONSULTANT COORDINATION	2022 02 21

ARCHITECT SEAL:

ARCHITECT:
rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3j6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

CLIENT:
2705460 Ontario Inc.

PROJECT TITLE:
112 MONTREAL ROAD

OTTAWA **ONTARIO**

SHEET TITLE:
SITE PLAN
OVERALL

DRAWN:
RV

CHECKED:
R.V.

SCALE:
1:300

SHEET No.:
SP-2

PROJECT No.:
2026

PAPER SIZE: ISO_B1_(707.00_x_1000.00_MM)

PLOT DATE: Monday, April 29, 2024

PLOT SCALE: 1:1

PEN STYLE: 0-RLA-MASTER-100%.ctb

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Plan # 18856

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