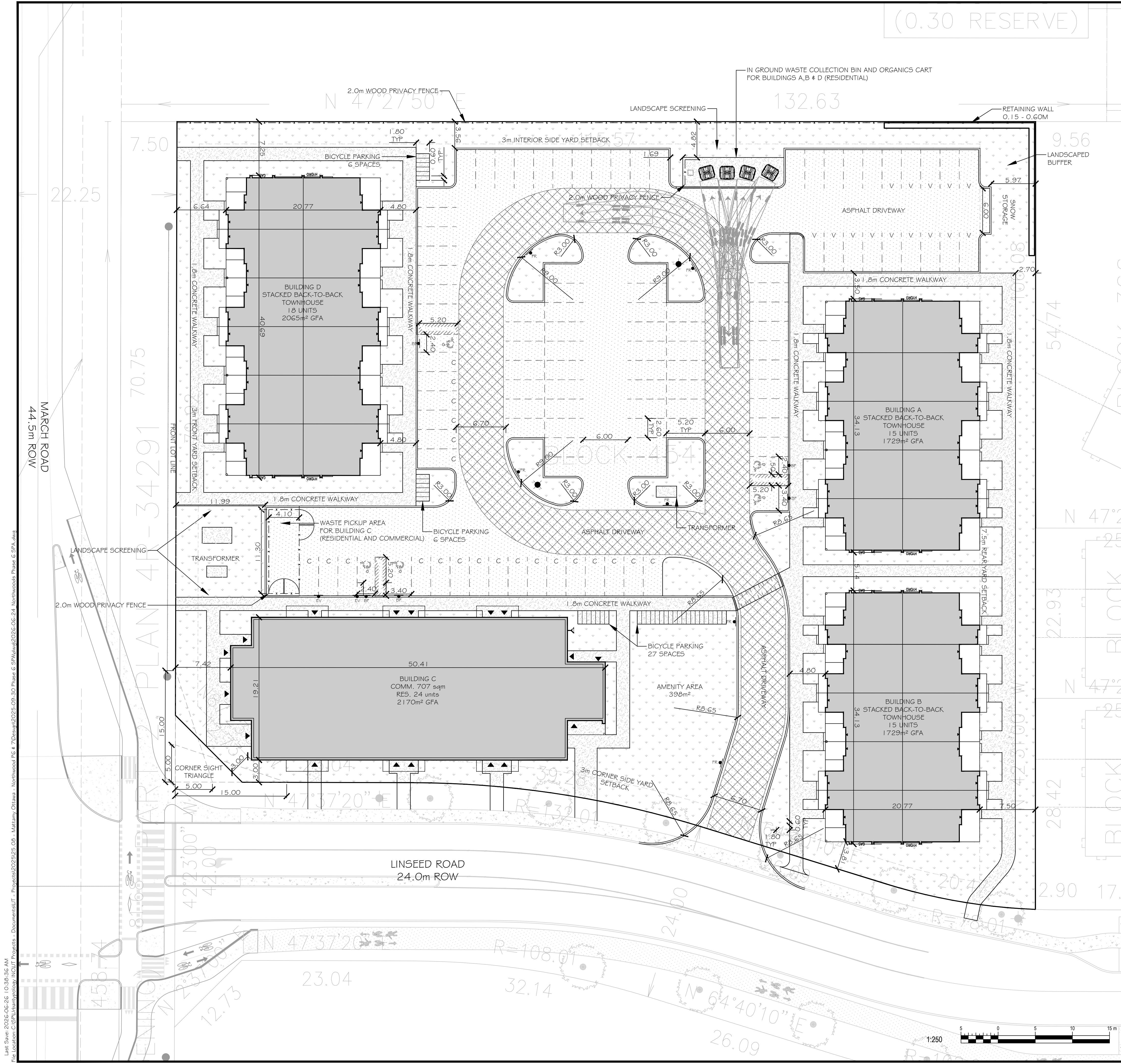




Site Statistics

Site Area	10,891 m ²
Paved Area	4,796 m ²
Landscaped Area	2,835 m ²
Building Coverage	3,348 m ²
Gross Floor Area	7,693 m ²
Commercial Gross Floor Area	707 m ²
Total Units	72 Units
	48 Townhouse
	24 Apartment
Density	66 UPH

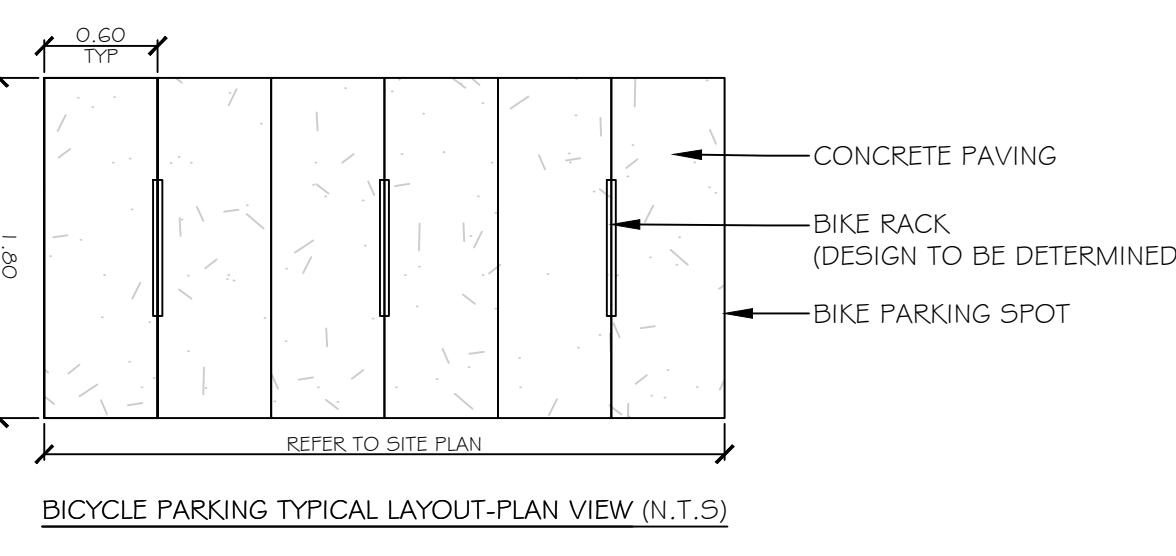
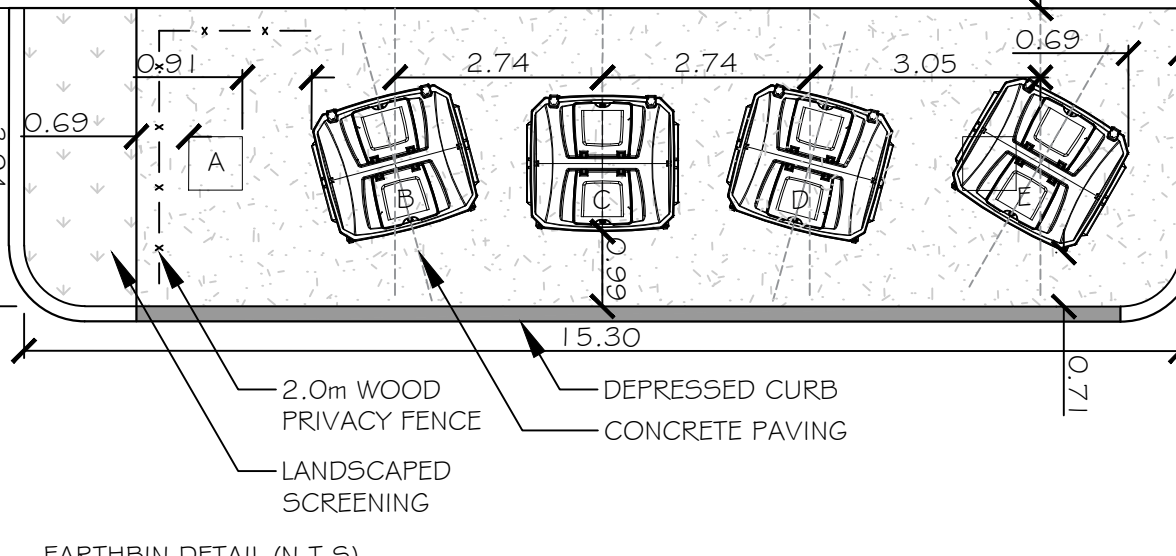
Zoning Provisions

GM15(3021) Zone	Required	Proposed	Conforms
Front Yard Setback (min)	3m	6.64m	Y
Corner Side Yard Setback (min)	3m	3.0m	Y
Interior Side Yard Setback (min)	3m	7.25m	Y
Mixed Use	5m	66.74m	Y
Stacked Townhouse	3m	7.25m	Y
Rear Yard Setback (min)	7.5m	7.5m	Y
Lot Coverage Floor Space Index (max)	2	0.69	Y
Building Height (max)	18m	11.4m	Y
Mixed Use	18m	11.4m	Y
Stacked Townhouse	18m	11.4m	Y
Parking Spaces (min)	110 spaces	110 spaces	Y
Commercial (3.4/100m ²)	24 spaces	24 spaces	Y
Residential (1/unit)	72 spaces	72 spaces	Y
Residential Visitor (0.2/unit)	14 spaces	14 spaces	Y
Accessible Spaces	5 spaces	5 spaces	Y
Type A	2 spaces	2 spaces	Y
Type B	3 spaces	3 spaces	Y
Size of Space	2.6 x 5.2m	2.6 x 5.2m	Y
Driveway Width (min)	6m	6.7m	Y
Aisle Width (min)	6.7m	6.7m	Y
Residential Use	6.0m	6.0m	Y
Parking Lot Landscaped Area (min)	15%	24%	Y
Parking Lot Landscaped Buffer (min)	3m	11.99m	Y
Abutting a Street	3m	3.56m	Y
Not Abutting a Street			
Refuse Collection (min)			
Abutting a Public Street	9m	11.99m	Y
From any Lot Line	3m	4.82m	Y
Bicycle Parking (min)	39 spaces	39 spaces	Y
Commercial (1/250m ²)	3 spaces	3 spaces	Y
Residential (0.5/unit)	36 spaces	36 spaces	Y
Amenity Space (min) (6m ² /unit)	432m ²	965m ²	Y
Communal (50% of required)	216m ²	342m ²	Y
Private	N/A	623m ²	Y
Landscaped Area Width (min)			
Abutting a Street	3m	3m	Y
Abutting a Residential Zone	7.5m	7.5m	Y
Cumulative Non-Residential GFA (min)	700m ²	707m ²	Y
Private Way Width (min)	6m	6m	Y
Residential Setback to Private Way (min)	1.8m	3.8m	Y
Separation Area Between Buildings (min)	1.2m	5.14m	Y

- NOTES
- Property information from Plan 4M-1767, dated July 29, 2025, prepared by J.D. Barnes Limited, 62 Steacie Drive, Suite 103 Kanata, ON K2K 2A9
 - Excess snow to be removed from site at owner's expense
 - Building A, B, and D to be serviced by in ground waste collection bins. Building C to be serviced by internal waste room, with external pick-up area.

EARTHBIN DETAIL (N.T.S.)

A	240L CART	ORGANICS (0.5m ³)
B	EB260	RECYCLING (GMP)
C	EB500	GARBAGE
D	EB500	GARBAGE
E	EB260	RECYCLING (FIBRE)



Urbantypology

UNIT 10-163 STERLING ROAD
TORONTO, ON CANADA M8R 2B2
PH: 437.700.5446

UNIT 101 - 45 SPENCER STREET
OTTAWA, ONTARIO K1N 3P5
PH: 437.700.5446 / 613.897.1237

KEY PLAN:

LEGEND:

- PROPERTY LINE
- BUILDING
- ASPHALT
- CONCRETE
- CURB CUT
- LANDSCAPED
- BARRIER FREE PARKING
- BARRIER FREE PARKING SIGN
- EV CHARGING SPACE
- BUILDING ENTRANCE
- VISITOR PARKING
- COMMERCIAL PARKING
- FIRE ROUTE
- FIRE ROUTE SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED CATCHBASIN
- EXISTING STREET TREE
- SIAMESE CONNECTION

GENERAL NOTES:

ALL MEASUREMENTS ARE IN METRIC UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS.

COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.

IT IS THE RESPONSIBILITY OF THE OWNER TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR.
- COMPLY WITH ALL PERMITTING CODES BY LAW AND JURISDICTION.
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

PROJECT TEAM:

LANDSCAPE ARCHITECTURE: URBANTYPOLOGY
100-163 STERLING ROAD
TORONTO, ONTARIO M8R 2B2
UNIT 101 - 45 SPENCER STREET
OTTAWA, ONTARIO K1N 3P5

PLANNING: BHM STUDIO
440 OGDON STREET
OTTAWA, ONTARIO K1P 1A4

ARCHITECTURE: KOHN
110 OGDON AVENUE, SUITE 501
TORONTO, ONTARIO M5G 1B2

TRANSPORTATION: STANTEC
100-163 STERLING ROAD
TORONTO, ONTARIO M8R 2B2

CIVIL ENGINEER: STANTEC
100-163 STERLING ROAD
TORONTO, ONTARIO M8R 2B2

PROJECT INFORMATION:

NORTHWOODS PHASE 6
1020-1070 MARCH ROAD
PIN 04527-1016
Block 188 Plan 4M-1767

TITLE:

SITE PLAN

FILE NO.: 25.08

DATE: 2025-11-05

DRAWN: VG

CHECKED: JH

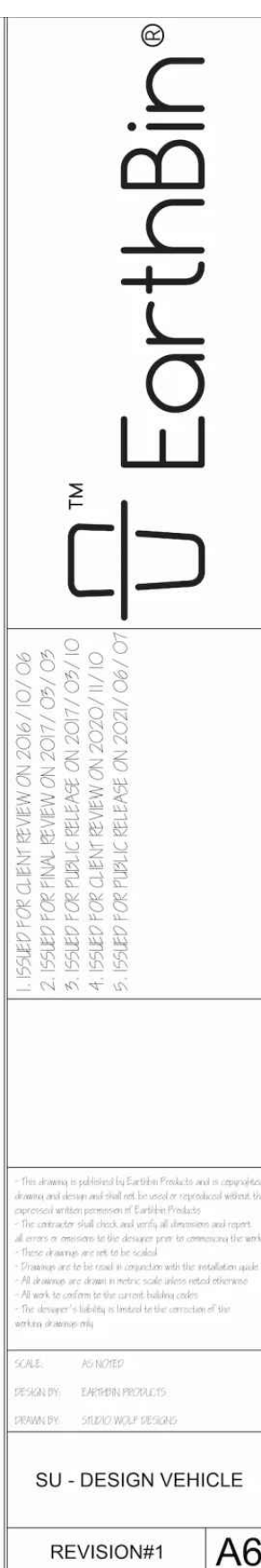
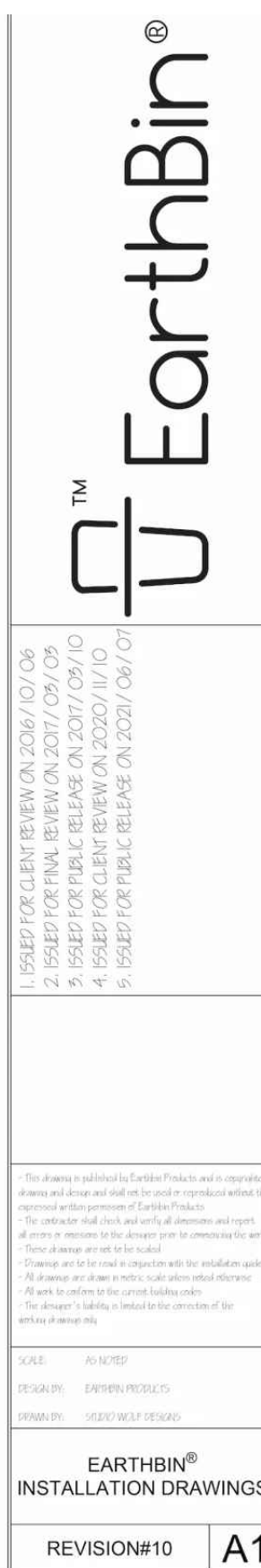
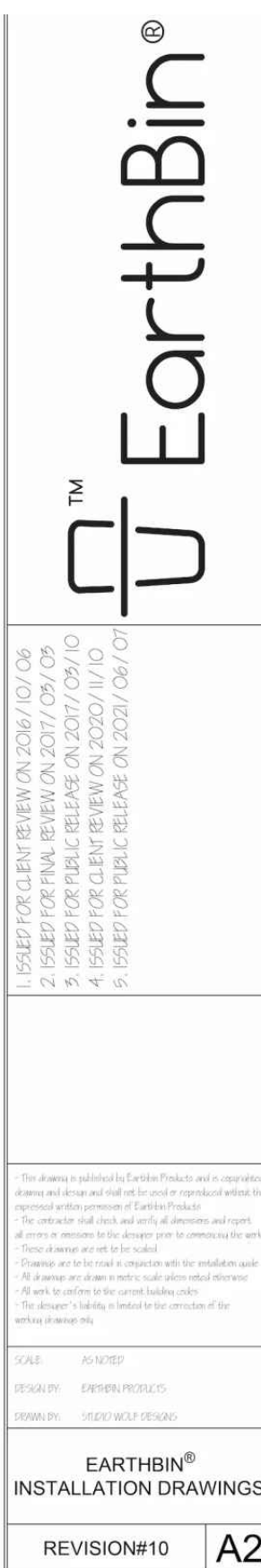
SCALE: 1:250

SHEET NO.:

SP1.0

Last Save: 2025-06-26 10:36:36 AM
File Location: C:\Users\urbantypology\My Documents\Projects\Northwoods Phase 6 SPA.dwg

D07-12-25-01-146- PLAN # 19393



-

GENERAL NOTES:

ALL MEASUREMENTS ARE IN METRIC UNLESS SPECIFIED OTHERWISE. DO NOT SCALE DRAWING(S).

COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGIE AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY OWNER, WITHOUT PERMISSION.

TRANSPORTATION CGH TRANSPORTATION 6 PLAZA COURT OTTAWA, ON K2H 7W1	CIVIL ENGINEER STANTEC 300-1331 CLYDE AVENUE OTTAWA, ON K2C 3G4
--	---



PROJECT INFORMATION:

10. *Journal of the American Medical Association*, 283:12, 1557-1561, 2000.

TITLE:

FILE NO.: 25.08

DATE: 2025-11-05	SHEET NO.:
------------------	------------

DRAWN: VG CD1 1

CHECKED: JH

SCALE: 1:250