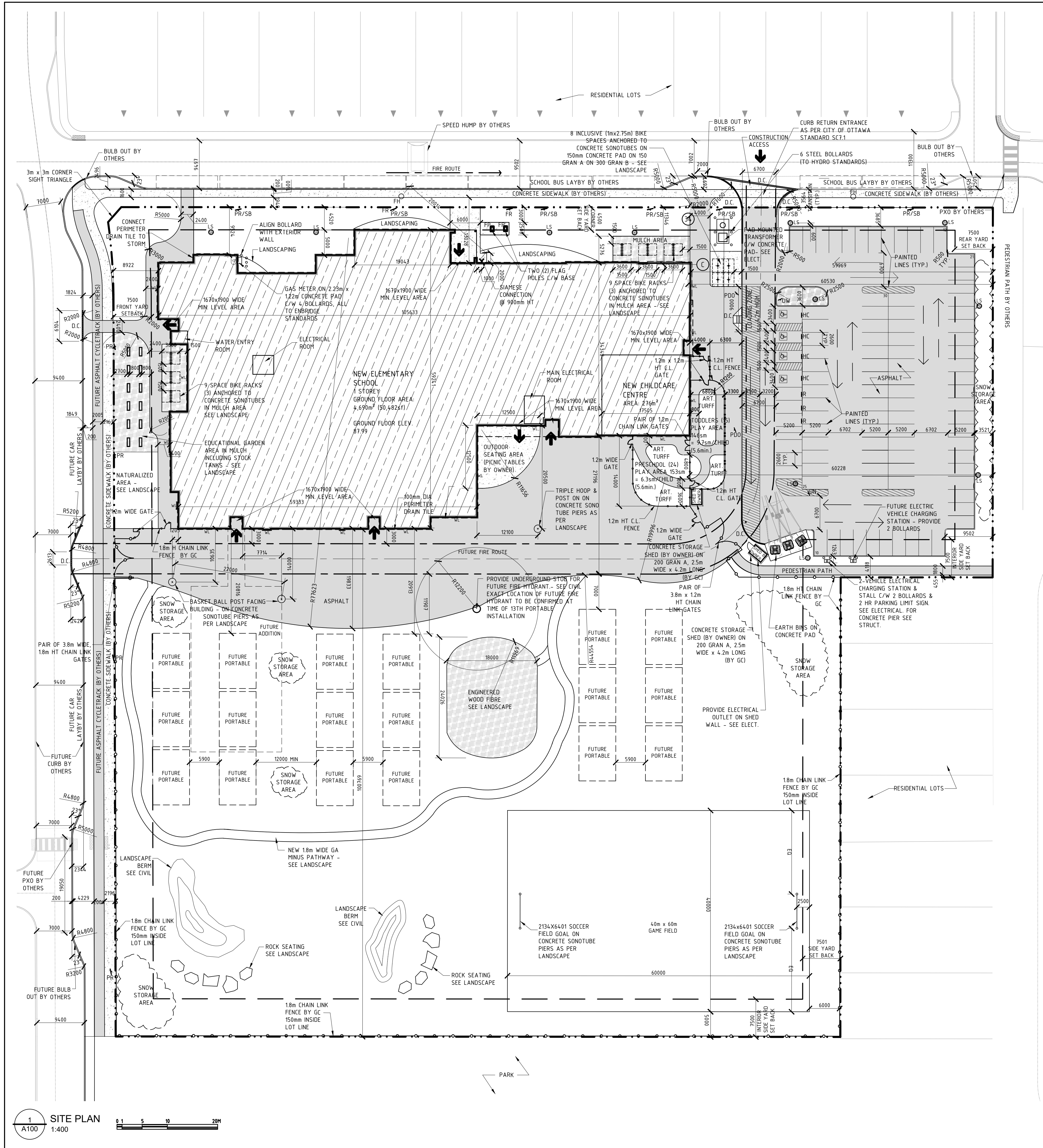




| ZONING CONFIRMATION REPORT                                        |                                      |                |  |
|-------------------------------------------------------------------|--------------------------------------|----------------|--|
| Municipality                                                      | City of Ottawa                       |                |  |
|                                                                   |                                      |                |  |
| Legal Description                                                 |                                      |                |  |
| Part of Lot 4, Concession 11<br>Geographic Township of Cumberland |                                      | City of Ottawa |  |
| Survey Information                                                |                                      |                |  |
| Survey Information Prepared By:                                   | Farley, Smith & Denis Surveying Ltd. |                |  |
|                                                                   | 21 August, 2025                      |                |  |
| Common Address                                                    |                                      |                |  |
| 2503 Mer Bleue Road                                               | Ottawa,                              | Ontario        |  |
| Project Information                                               |                                      |                |  |
| Lot Size                                                          | 26,011.60 sm                         |                |  |
| Ground Floor Area                                                 | 4,690sm                              |                |  |

| Zoning 2026-50                     | INZ/N3B      | Industrial Zone/Neighbourhood Zone 3 |
|------------------------------------|--------------|--------------------------------------|
| Bylaw Provisions                   | Section 1101 | Proposed Compliance                  |
| Minimum Lot Width                  | 15m          | 173.20m                              |
| Minimum Lot Area                   | 400sm        | 26,011.60 sm                         |
| Minimum Front Yard Setback         | 7.5m         | 8.9m                                 |
| Minimum Rear Yard Setback          | 7.5m         | 60.2m                                |
| Minimum Interior Side Yard Setback | 7.5m         | 100.8m                               |
| Minimum Corner Side Yard Setback   | 4.5m         | 4.5m                                 |
| Maximum Building Height            | 15.0m        | 7.65m                                |

|                                                                             |                                                                      |                    |                   |
|-----------------------------------------------------------------------------|----------------------------------------------------------------------|--------------------|-------------------|
| Assumed Rate = 1.5 per classroom (includes 16 classrooms + 6 kindergartens) | 1.5 x 22 classrooms = 33 Spaces + 275sm Childcare/100smx2 = 6 Spaces | 98 Spaces Proposed | Assumed to comply |
|-----------------------------------------------------------------------------|----------------------------------------------------------------------|--------------------|-------------------|

|                                      |                                                                       |                    |  |
|--------------------------------------|-----------------------------------------------------------------------|--------------------|--|
| Future Parking (18 future portables) | 1.5 x 18 portables = 27 additional Spaces total (27 + 39) = 66 Spaces | 98 Spaces Proposed |  |
|--------------------------------------|-----------------------------------------------------------------------|--------------------|--|

|                         |                                     |                                            |          |
|-------------------------|-------------------------------------|--------------------------------------------|----------|
| HC Parking Requirements | Based on 98 parking spaces provided | 4 HC Spaces Required 2 @ type A 2 @ type B | Complies |
|-------------------------|-------------------------------------|--------------------------------------------|----------|

|                                                                                                                                                               |                                                                                                                           |                                                |          |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|------------------------------------------------|----------|
| Section 613: Required Bicycle Parking (School Rate=10+2 per classroom, at least 4 inclusive; Daycare Rate=1/100sm+2 inclusive if >200sm) Minimum 5% Inclusive | 10 + 2 x 22 classrooms = 54 spaces + 275sm Childcare/100sm + 2 = 5 Spaces + 6 Inclusive Spaces = 60 Total Spaces Proposed | 54 Horizontal spaces (6 Bike Racks @ 9 spaces) | Complies |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|------------------------------------------------|----------|

|                                                                             |                                          |      |          |
|-----------------------------------------------------------------------------|------------------------------------------|------|----------|
| Section 610: Required Loading Zones= 1 for 2000-4999 sm of gross floor area | Minimum width of driveway accessing = 6m | 6.8m | Complies |
|-----------------------------------------------------------------------------|------------------------------------------|------|----------|

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|--|---------------------------------------|------|----------|
|  | Minimum width of loading space = 3.5m | 3.5m | Complies |
|--|---------------------------------------|------|----------|

|  |                                      |    |          |
|--|--------------------------------------|----|----------|
|  | Minimum length of loading space = 9m | 9m | Complies |
|--|--------------------------------------|----|----------|

|  |                                                     |      |          |
|--|-----------------------------------------------------|------|----------|
|  | Minimum vertical clearance for loading space = 4.2m | 4.2m | Complies |
|--|-----------------------------------------------------|------|----------|

|                                                          |                                                                                 |      |          |
|----------------------------------------------------------|---------------------------------------------------------------------------------|------|----------|
| Section 607: Soft Landscaped Provisions for Parking Lots | Soft Landscaped Buffer between the perimeter of parking lot and lot line = 3.5m | 3.5m | Complies |
|----------------------------------------------------------|---------------------------------------------------------------------------------|------|----------|

|  |                                              |     |          |
|--|----------------------------------------------|-----|----------|
|  | Minimum landscaped area of parking lot = 15% | 22% | Complies |
|--|----------------------------------------------|-----|----------|

|  |                                                                     |      |          |
|--|---------------------------------------------------------------------|------|----------|
|  | Minimum of one soft landscaped median or peninsula of at least 3.5m | 3.6m | Complies |
|--|---------------------------------------------------------------------|------|----------|

|                                                                 |                                                                                 |     |          |
|-----------------------------------------------------------------|---------------------------------------------------------------------------------|-----|----------|
| Section 217: Outdoor Refuse Collection and Refuse Loading Areas | Areas must be located at least 9.0m from property line abutting a public street | 64m | Complies |
|-----------------------------------------------------------------|---------------------------------------------------------------------------------|-----|----------|

|  |                                                      |     |          |
|--|------------------------------------------------------|-----|----------|
|  | Areas must be at least 3.0m from any other lot lines | 35m | Complies |
|--|------------------------------------------------------|-----|----------|

|  |                                                                                       |    |          |
|--|---------------------------------------------------------------------------------------|----|----------|
|  | Soft landscaping screening for in-ground refuse container must be a minimum height of | 2m | Complies |
|--|---------------------------------------------------------------------------------------|----|----------|

- GENERAL NOTES:**
- SEE SITE SERVICES, ELECTRICAL & MECHANICAL DRAWINGS FOR UNDERGROUND UTILITIES LINES AND FOR NEW GRADING. EXCAVATE BACKFILL & PROVIDE CONCRETE TO REQUIREMENTS OF MECHANICAL, ELECTRICAL & SITE SERVICES DRAWINGS AND SPECIFICATIONS AND TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
  - PROVIDE 0.5M RADIUS FOR CONCRETE CURBS UNLESS OTHERWISE NOTED.
  - PERFORM LANDSCAPE & SITE WORKS INCLUDING WALKWAYS TIE INS WITHIN THE ROAD ALLOWANCE & SITE SERVICES AS INDICATED.
  - BUS LAY BY & CAR LAY BY, INCLUDING CURBS, WALKS, ASPHALT, PAVING, GRAN. BASES BY OTHERS, ROW TOPSOIL & SOD IN THIS CONTRACT.
  - CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION FENCING ALONG PROPERTY LINE TO PROTECT THE PUBLIC DURING CONSTRUCTION.
  - CONTRACTOR TO REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES ON SITE PLAN WITH ACTUAL SITE CONDITIONS TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
  - CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AND AUTHORITIES PRIOR TO ANY EXCAVATION AND ASCERTAIN LOCATIONS OF UNDERGROUND SERVICES.
  - CONTRACTOR IS TO COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
  - CONTRACTOR TO MAINTAIN POSITIVE SURFACE RUN-OFF THROUGHOUT ENTIRE CONSTRUCTION PERIOD.

