

Allison Hamlin

ALLISON HAMLIN
MANAGER, DEVELOPMENT REVIEW ALL WARDS
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Allison Hamlin at 5:23 pm, Jun 10, 2026

PERLEY HEALTH EXPANSION

PROJECT NO. 13330.01
RE-SUBMISSION FOR SITE PLAN APPROVAL
2026-05-08

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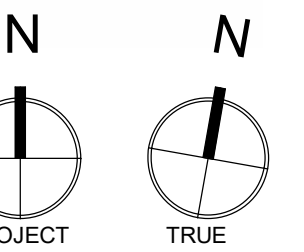
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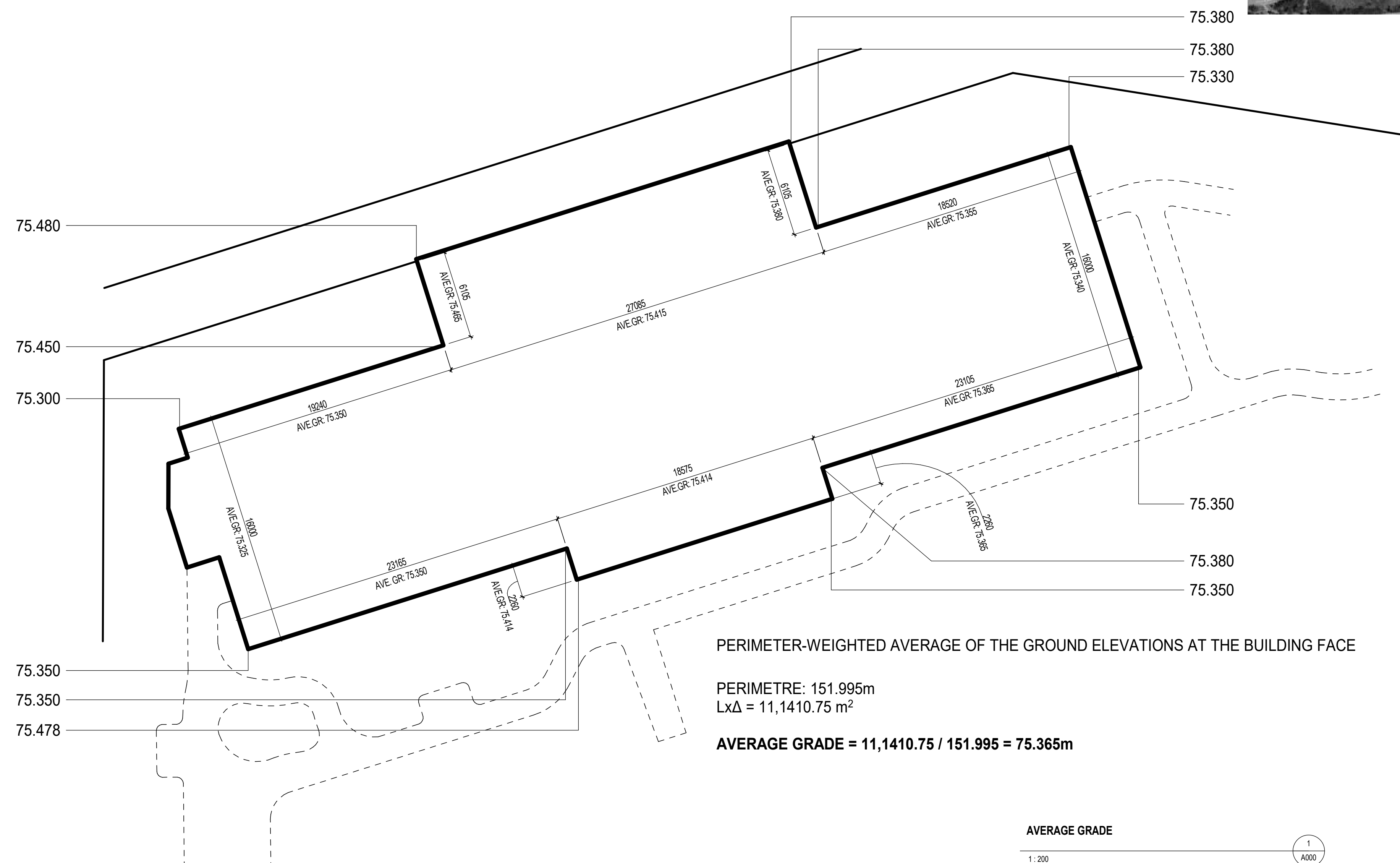
SEAL



SITE LOCATION: 1750 RUSSEL RD, OTTAWA



ARCHITECTURAL DRAWINGS - SITE PLAN APPLICATION		
SHEET NUMBER	SHEET NAME	SCALE



PERIMETER-WEIGHTED AVERAGE OF THE GROUND ELEVATIONS AT THE BUILDING FACE

PERIMETRE: 151.995m
LxΔ = 11,1410.75 m²

AVERAGE GRADE = 11,1410.75 / 151.995 = 75.365m

AVERAGE GRADE

1:200



PROJECT

PERLEY HEALTH EXPANSION

LOCATION: 1750 Russell Road
Ottawa, ON K1G 5Z6

PROJECT No. 13330

PROJECT NO.	REVISION	DATE (yyyy-mm-dd)
A	ISSUED FOR SITE PLAN APPLICATION	2026-02-09
B	ISSUED FOR SITE PLAN APPROVAL	2026-05-08

REVISION	DRAWING NUMBER
B	A000

DRAWN BY: MD
CHECKED BY: LK
DATE (yyyy-mm-dd): 2024-01-08
SCALE: 1 : 200

DRAWING TITLE
COVER SHEET AND DRAWING LIST

REVISION: B
DRAWING NUMBER: A000

#19458

Autodesk Docs://13330_PERLEY HEALTH ALT_R24/PRSLR_133300_ARC_INT_R24.rvt

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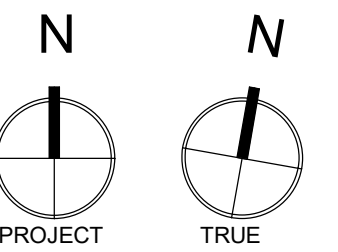
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NEUF
ARCHITECTS



Perley Health
Community of Care

KADUS

PROJECT

PERLEY HEALTH EXPANSION

LOCATION PROJECT No.
1750 Russell Road 13330
Ottawa, ON K1G 5Z6

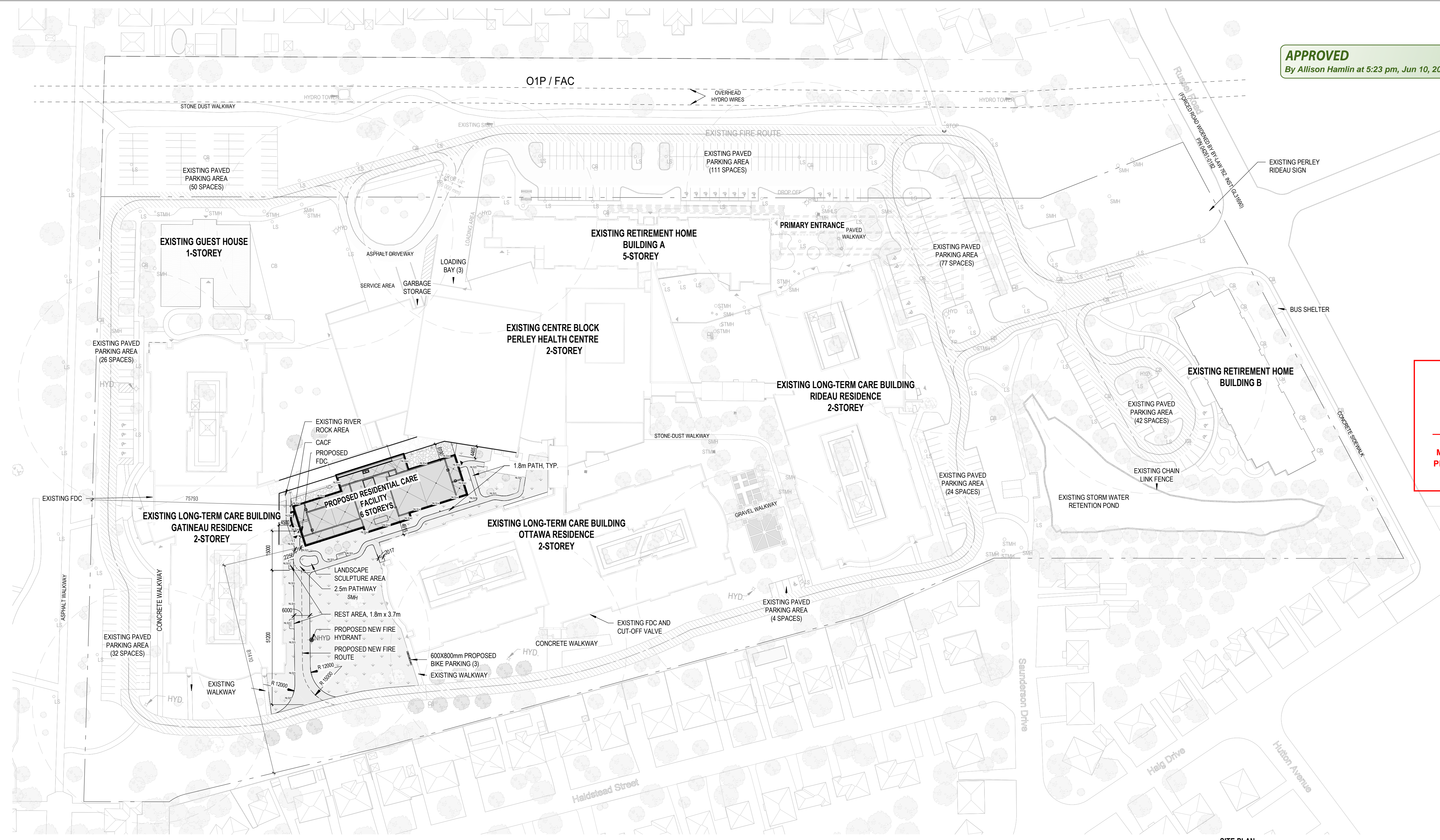
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DRAWN BY: **MS** CHECKED BY: **LK/RS**
DATE (yyyy-mm-dd): **03/31/25** SCALE: **As indicated**

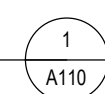
DRAWING TITLE
SITE PLAN - CAMPUS

REVISION **B** DRAWING NUMBER **A110**
#19458



SITE PLAN

1:750



PROJECT DATA		
APPLICABLE BY-LAWS	Zoning (By-law No. 2008-250) City of Ottawa	New Zoning (By-law 2026-50) City of Ottawa
MUNICIPAL ADDRESS	1750 RUSSELL ROAD, OTTAWA	
ZONING INFORMATION	I2 [325] Institutional Zones	LGZ[375] Large-Scale Institutional and Recreation Zone
USES	REQUIRED / ALLOWED	PROPOSED
	RESIDENTIAL CARE FACILITY, OTHERS	RESIDENTIAL CARE FACILITY, RETIREMENT HOME
MINIMUM LOT WIDTH (m)	NO MINIMUM	218.54 m
MINIMUM LOT AREA (m ²)	NO MINIMUM	82,980.00 m ²
MINIMUM BUILDING HEIGHT	NO MINIMUM	21.99 m
MAXIMUM BUILDING HEIGHT	15m @ 12m SET BACK, NO MAXIMUM	21.99 m
MINIMUM FRONT YARD SETBACK	7.5m	305 m
MINIMUM CORNER SIDE YARD SETBACK	7.5m	NOT A CORNER LOT
MINIMUM REAR YARD SETBACK	7.5m	76 m
MINIMUM INTERIOR SIDE YARD SETBACK	7.5m	81 m
MINIMUM WIDTH OF LANDSCAPE AREAS ALONG ALL LOT LINES	3m	PROVIDED
PARKING RATE		
MOTOR VEHICLE	278 (EXCEPTION)	353 (EXISTING)
BICYCLE PARKING (1/1500 m ²)	4500 m ² / 1500 = 3	3
LOADING SPACES	2 for GFA > 2,000 m ²	3 (EXISTING)

SITE STATISTICS		
AREA OF THE SITE		82,980 m ²
EXISTING GROSS FLOOR AREA		55,197 m ²
PROPOSED ADDITIONAL GROSS FLOOR AREA		4,510 m ²
EXISTING RESIDENTIAL CARE FACILITY UNITS		450
EXISTING RETIREMENT HOME UNITS		139
EXISTING GUEST UNITS		12
PROPOSED RESIDENTIAL CARE FACILITY UNITS		120

PROJECT AREA SUMMARY (*)			
LEVEL	GROSS FLOOR AREA (GFA) (By Zoning By-law 2008-250)		FLOOR AREA
	GFA, m ²	DEDUCTIONS, m ²	
LEVEL 1	844 m ²	344 m ²	1,187 m ²
LEVEL 2	783 m ²	391 m ²	1,175 m ²
LEVEL 3	721 m ²	308 m ²	1,029 m ²
LEVEL 4	721 m ²	308 m ²	1,029 m ²
LEVEL 5	721 m ²	308 m ²	1,029 m ²
LEVEL 6	721 m ²	308 m ²	1,029 m ²
LEVEL 7	0 m ²	773 m ²	773 m ²
TOTAL	4,510 m²	2,742 m²	7,252 m²

PARKING		
EXISTING PARKING REGULAR		333
EXISTING ADA PARKING		20
PROPOSED ADDITIONAL GROSS FLOOR AREA		353
EXISTING BICYCLE PARKING		64
NEW PARKING		n/a
NEW BARRIER FREE PARKING REQUIRED		n/a
Traffic and Parking (By-law No. 2017-301)		
	REQUIRED	PROPOSED
TOTAL PARKING	278 (EXCEPTION)	353
TOTAL ADA PARKING	19 (EXCEPTION)	20

ZONING BY-LAW AMENITY CALCULATIONS		
	REQUIRED	PROPOSED
TOTAL REQUIREMENT (NEW RESIDENTIAL CARE FACILITY)	10% x 120 x 25 m ² = 300 m ²	390 m ²

NOTES:

- PARKING STALLS SIZE:
 - TYPICAL - 2650 x 5200mm
 - ADA TYPE A - 3400 x 5200 - AISLE 1500mm
 - ADA TYPE B - 2400 x 5200 - AISLE 1500mm
- PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN IN ACCORDANCE WITH THE BY-LAW REQUIREMENTS AND BUILDING CODE REQUIREMENTS.
- FOR LANDSCAPE PLANTING DETAILS SEE DRAWINGS BY LANDSCAPE ARCHITECT.
- FOR SITE GRADING INFORMATION SEE DRAWINGS BY CIVIL ENGINEER.
- FOR SITE SERVICES INFORMATION SEE DRAWINGS PREPARED BY CIVIL ENGINEER.
- FOR SOIL INVESTIGATION REPORT REFER TO THE REPORT PREPARED BY PATERSON GROUP.
- PROPERTY LINE IS BASED ON SURVEY PREPARED BY ANIS, OSULLIVAN, VOLLEBECK LTD.
- SLOPES FOR CONCRETE PAVING AT DEPRESSED CURBS NOT TO EXCEED 5%.
- CONTRACTOR TO VERIFY ALL THE DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.
- THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. HOARDING MUST BE INSPECTED PRIOR TO THE REMOVAL OF ANY TREE HOARDING FROM THE SITE.

ZONING BY-LAW 2008-250, OTTAWA, ONTARIO

DEFINITIONS (SECTION 54)

GROSS FLOOR AREA MEANS THE TOTAL AREA OF EACH FLOOR WHETHER LOCATED ABOVE, AT OR BELOW GRADE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS AND INCLUDING FLOOR AREA OCCUPIED BY INTERIOR WALLS AND FLOOR AREA CREATED BY BAY WINDOWS, BUT EXCLUDING:

- FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING (BY-LAW 2008-326);
- COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS (BY-LAW 2008-326);
- COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS;
- COMMON STORAGE AREAS THAT ARE ACCESSORY TO A PRINCIPAL USE OF THE BUILDING (BY-LAW 2008-326);
- COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPAL USE ON THE LOT; AND (BY-LAW 2008-326)
- LIVING QUARTERS FOR A CARETAKER OF THE BUILDING (SURFACE DE PLANCHER HOURS OUVREURE BRUTE)

SITE-PLAN LEGEND			
	BARRIER FREE PARKING	FP ○ FLAG POLE	
	BUILDING ENTRANCE / EXIT		FIRE DEPARTMENT SIAMESE
	BOLLARD		GAS METER (REFER TO MECHANICAL)
	CURB		NEW HANDICAPPED PARKING SIGN
	PAINTED PEDESTRIAN CROSSING		STOP SIGN
	PROPERTY LOT LINE		EXISTING TRAFFIC SIGN
	FIRE ROUTE		NEW FIRE HYDRANT
	EXTENT OF WORK		NEW LIGHT STANDARD TALL (SEE ELECTRICAL)
	EXISTING FIRE HYDRANT WITH 45m RADIUS		NEW LIGHT STANDARD WALL-MOUNTED (SEE ELECTRICAL)
	EXISTING LIGHT STANDARD		NEW SANITARY MANHOLE (SEE CIVIL)
	EX. SANITARY MANHOLE (SEE CIVIL)		NEW STORM MANHOLE (SEE CIVIL)
	EX. STORM MANHOLE (SEE CIVIL)		NEW CATCH BASIN (SEE CIVIL)
	EX. CATCH BASIN (SEE CIVIL)		STORM WATER
			WATER
			SANITARY
			GAS
			HYDRO / COMM
			NEW STORM MANHOLE (SEE CIVIL)
			NEW CATCH BASIN (SEE CIVIL)
			STORM WATER
			WATER
			SANITARY
			GAS
			HYDRO / COMM

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D07-12-26-0018

A Hamlin

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DEPARTMENT, CITY OF OTTAWA

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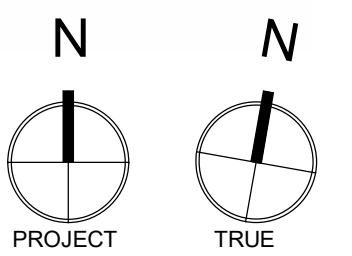
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SEAL



PROJECT

PERLEY HEALTH EXPANSION

LOCATION **1750 Russell Road** PROJECT No. **13330**
Ottawa, ON K1G 5Z6

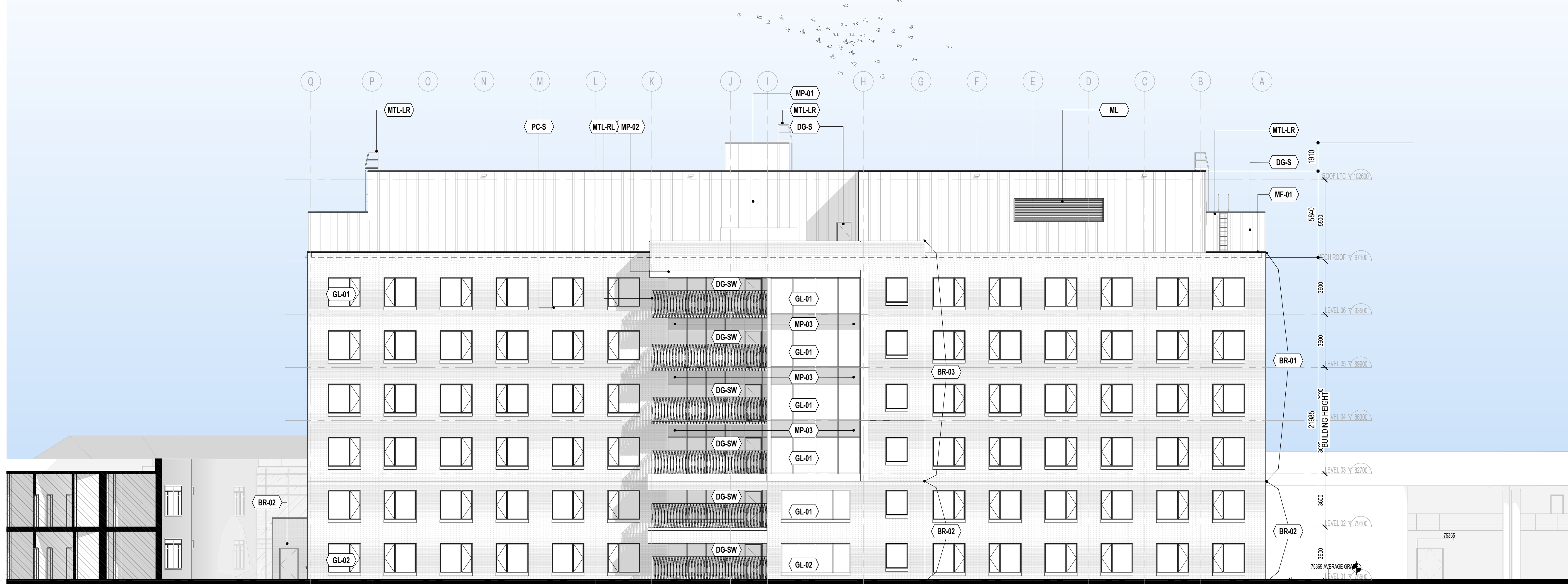
PROJECT NO.	REVISION	DATE (yyyy-mm-dd)
A	ISSUED FOR SITE PLAN APPLICATION	2026-02-09
B	ISSUED FOR SITE PLAN APPROVAL	2026-05-09

Preliminary
DO NOT USE FOR CONSTRUCTION

DRAWN BY: **GG** CHECKED BY: **LK**
DATE (yyyy-mm-dd): **2025-03-21** SCALE: **As indicated**

DRAWING TITLE
EXTERIOR ELEVATIONS SPA

REVISION: **B** DRAWING NUMBER: **A410**
#19458



GATINEAU BUILDING RESIDENCE | WEST LINK | CACF | LTC UNITS | HOME HUB | LTC UNITS | CENTER BLOCK

LTC - ELEVATION SOUTH SPA
ELEVATION
1:150

2
A410

MATERIALS LEGEND	
MP-01	PREFABRICATED METAL PANELS - GRAY VICWEST AD-300 PROFILE, 56161 CAMBRIDGE WHITE
MP-02	PREFABRICATED METAL PANELS - BROWN
MP-03	ALUMINIUM PANEL FOR SPANDREL PANEL IN CURTAIN WALL
MF-01	CAPPING/FLASHING - PARAPET

MATERIALS LEGEND CONT'D	
BR-01	BRICK FINISH - COLOUR: BROWN CANADA BRICK, HUDSON
BR-02	BRICK FINISH - COLOUR: VARIES (BROWN AND LIGHT BROWN) CANADA BRICK, CONESTOGA
BR-03	BRICK FINISH - COLOUR: BROWN PATTERNED CANADA BRICK, RUTHERFORD
BR-04	LIMESTONE MASONRY UNIT - COLOUR: SEPIA ARRISCRAFT, ADAIR

MATERIALS LEGEND CONT'D	
GL-01	GLASS CLEAR - TYPICAL
GL-02	GLASS CLEAR - SAFETY
PC-S	PRECAST WINDOW SILL

MATERIALS LEGEND CONT'D	
SP-03	SPANDREL - (DARK BROWN GREY)
R-01	METAL GUARDRAIL (DARK BROWN GREY)
L-01	MECHANICAL LOUVRES, GREY

BUILDING ELEMENTS LEGEND		
DG-SW	EXTERIOR AUTOMATIC GLASS DOOR	S.S. SUPPORT STRUCTURE (OPENINGS OVER 3000mm), STRUCTURAL STEEL HSS AND SHELF ANGLE ABOVE WINDOW (SEE STRUCTURAL ENGINEER FOR STRUCTURE TYPE, SIZE, SPACING, DIMENSIONS, LOCATIONS, ANCHORAGE ETC.)
DG-SG	EXTERIOR GLASS SWING DOOR	
DG-S	EXTERIOR METAL SOLID DOOR	
ML	MECHANICAL LOUVER	
MTL-RL	METAL RAILING	WALL BOXES (REFER TO MECHANICAL ENGINEER)
MTL-LR	ROOF ACCESS LADDER	
L.L.	GALVANIZED STEEL LOOSE LINTEL	
S.A.	GALVANIZED STEEL SHELF ANGLE	
S.S.A.	GALVANIZED STEEL SUSPENDED SHELF ANGLE	
C.J.	CONTROL JOINT	
SC.	OVERFLOW SCUPPER	

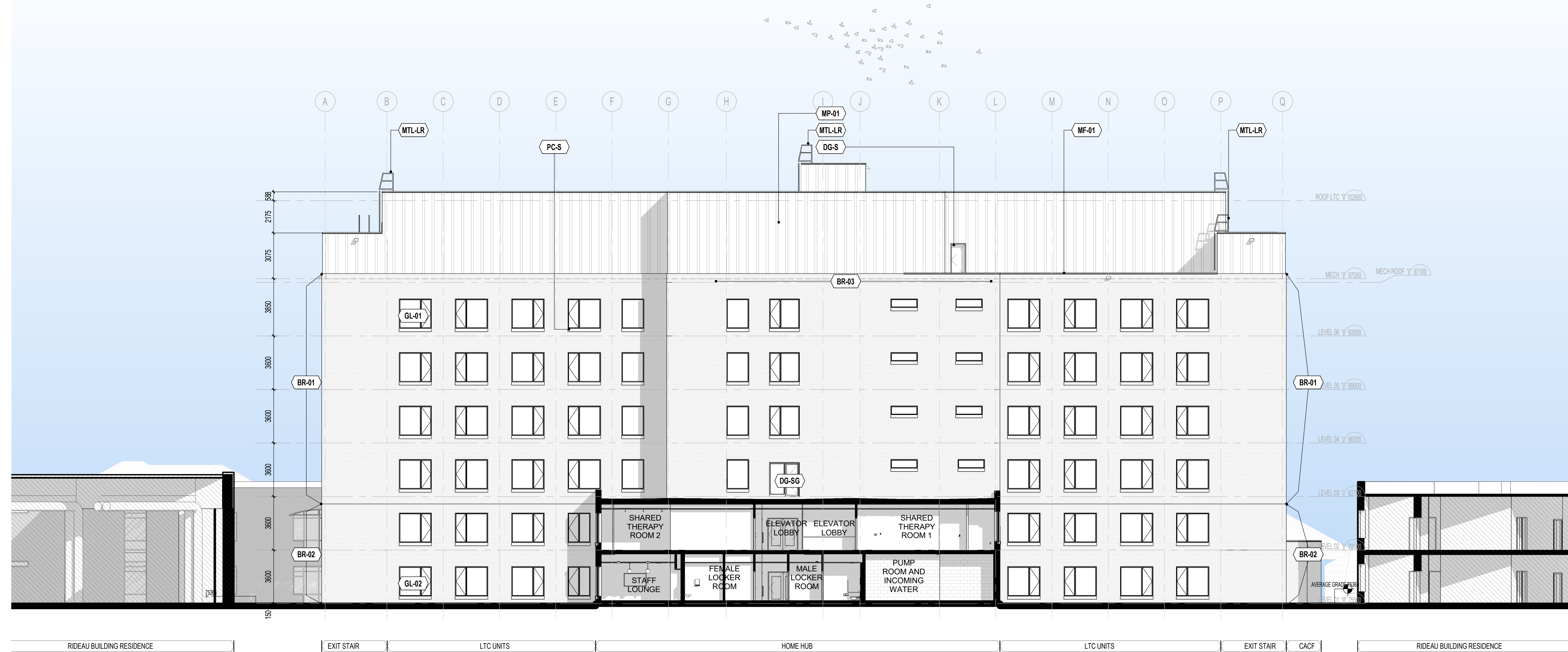
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DEPARTMENT, CITY OF OTTAWA

APPROVED

By Allison Hamlin at 5:23 pm, Jun 10, 2026



LTC - ELEVATION NORTH SPA
ELEVATION
1:150

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			WALL BOXES (REFER TO MECHANICAL ENGINEER)

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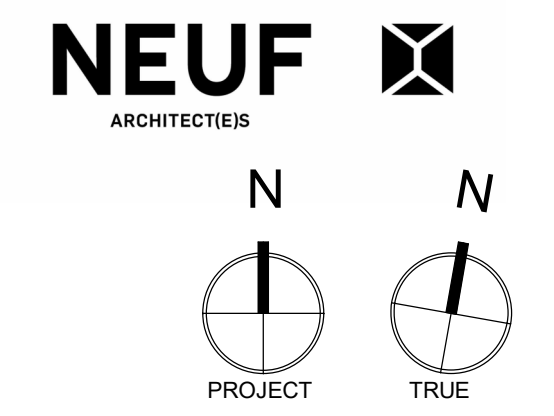
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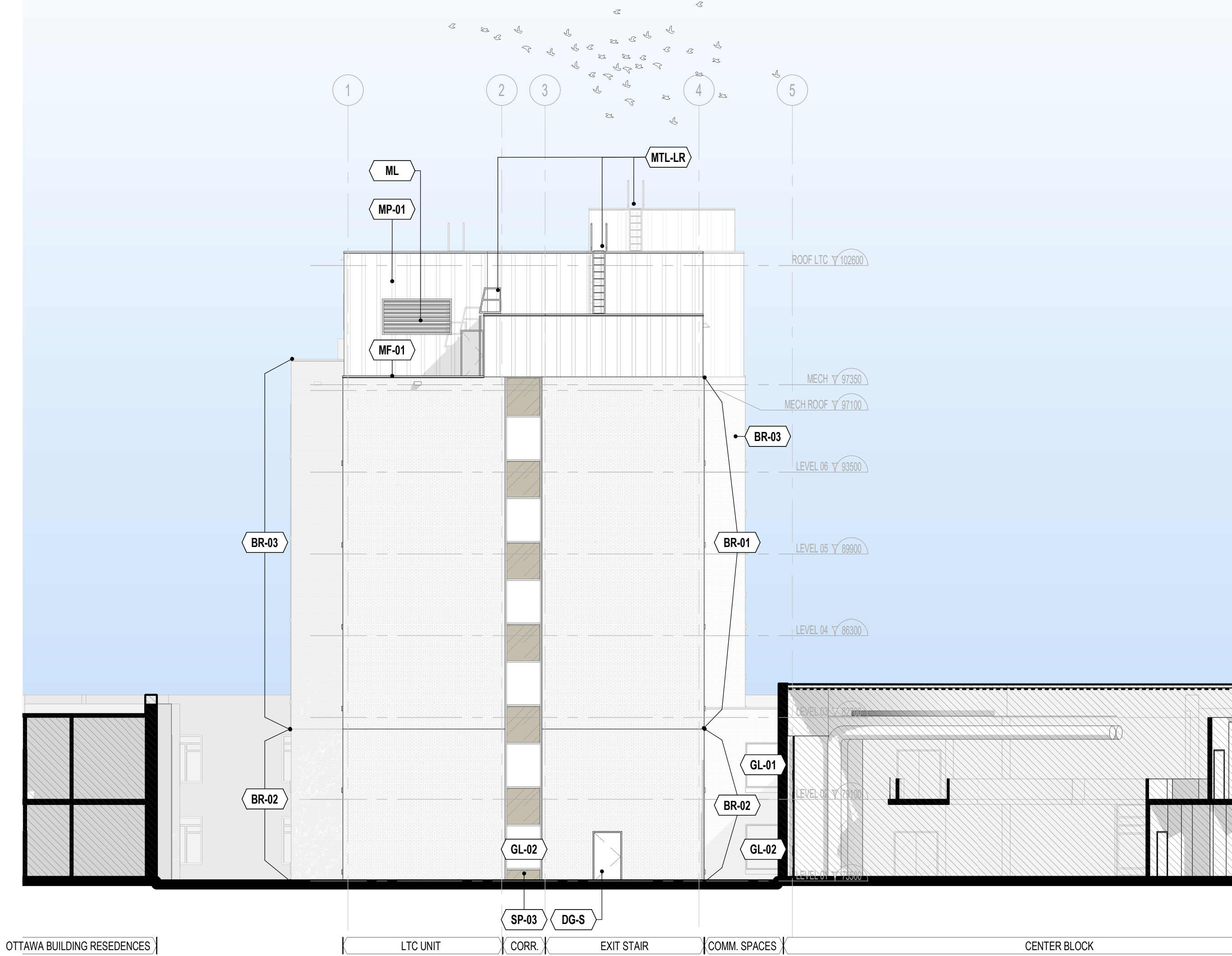
REVISION: B
DRAWING NUMBER: A411
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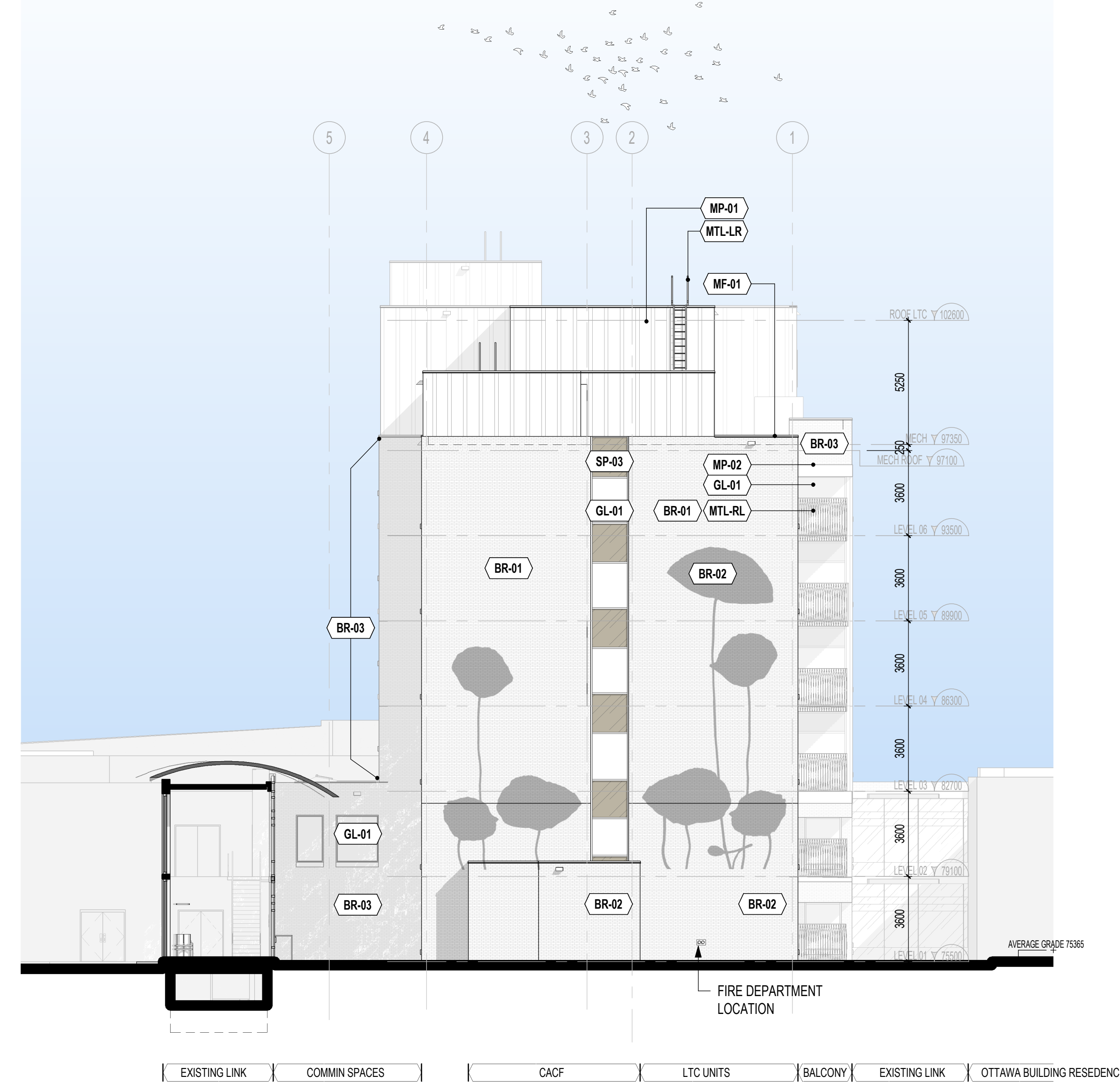
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APPROVED
By Allison Hamlin at 5:23 pm, Jun 10, 2026



LTC - ELEVATION EAST SPA
ELEVATION
1:150

1
A412



LTC - ELEVATION WEST SPA
ELEVATION
1:150

2
A412

MATERIALS LEGEND	
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DG-SG	EXTERIOR GLASS SWING DOOR		
DG-S	EXTERIOR METAL SOLID DOOR		
ML	MECHANICAL LOUVER		
MTL-RL	METAL RAILING		
MTL-LR	ROOF ACCESS LADDER		
L.L.	GALVANIZED STEEL LOOSE LINTEL		
S.A.	GALVANIZED STEEL SHELF ANGLE		
S.S.A.	GALVANIZED STEEL SUSPENDED SHELF ANGLE		
C.J.	CONTROL JOINT		
SC.	OVERFLOW SCUPPER		

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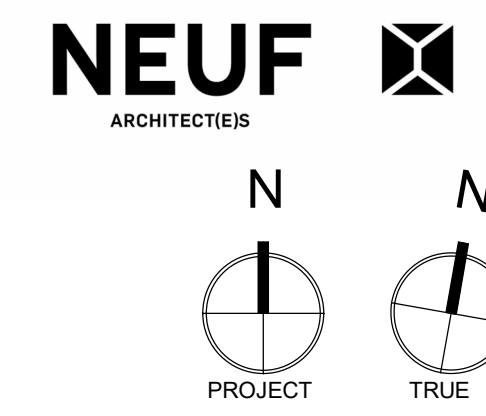
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SEAL



PROJECT
PERLEY HEALTH EXPANSION
LOCATION
**1750 Russell Road
Ottawa, ON K1G 5Z6**
PROJECT No.
13330

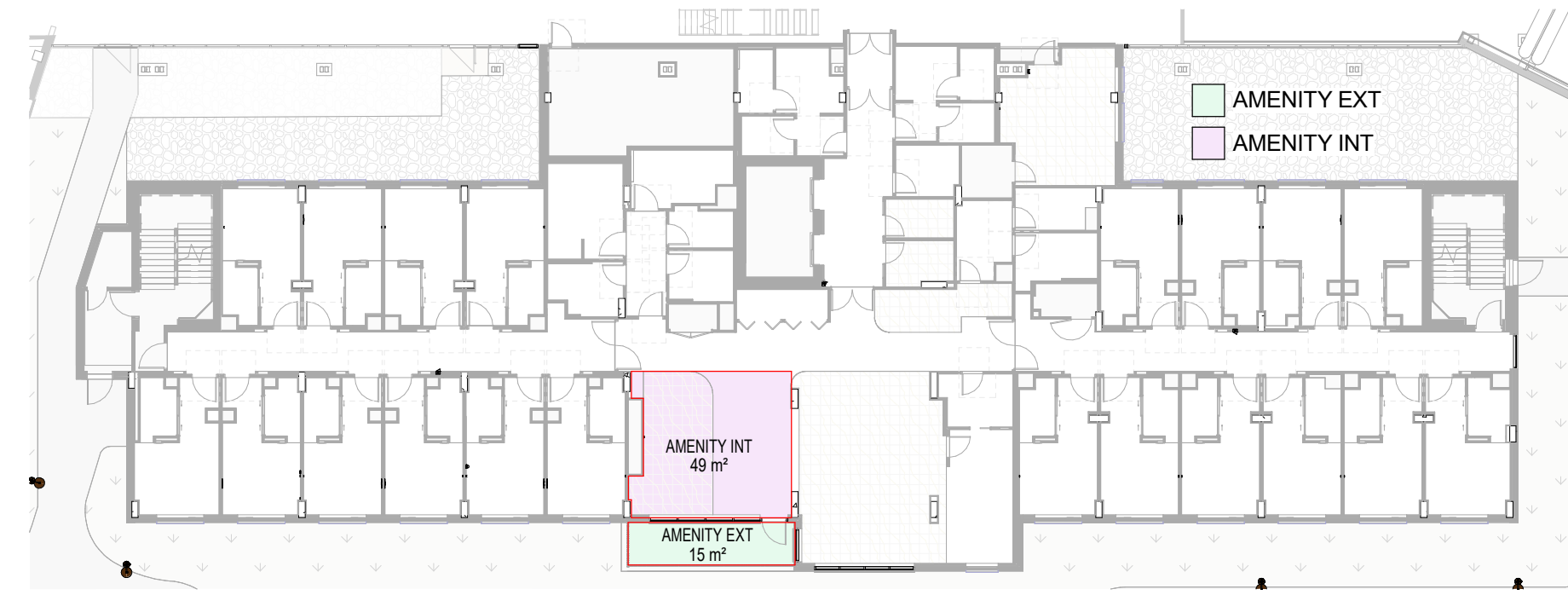
PROJECT NO. REVISION DATE (yyyy-mm-dd)
A ISSUED FOR SITE PLAN APPLICATION 2026-02-09
B ISSUED FOR SITE PLAN APPROVAL 2026-05-09

DRAWN BY: GG
CHECKED BY: lk
DATE (yyyy-mm-dd): 12/15/25
SCALE: As indicated

DRAWING TITLE
**EXTERIOR ELEVATIONS
SPA**

REVISION DRAWING NUMBER
B A412
#19458

Autodesk Docs://13330_PERLEY HEALTH ALT_R24/PRSL_13330_ARC_INT_R24.rvt



AMENITY AREA PLAN - LEVEL 01

PLAN
1:300

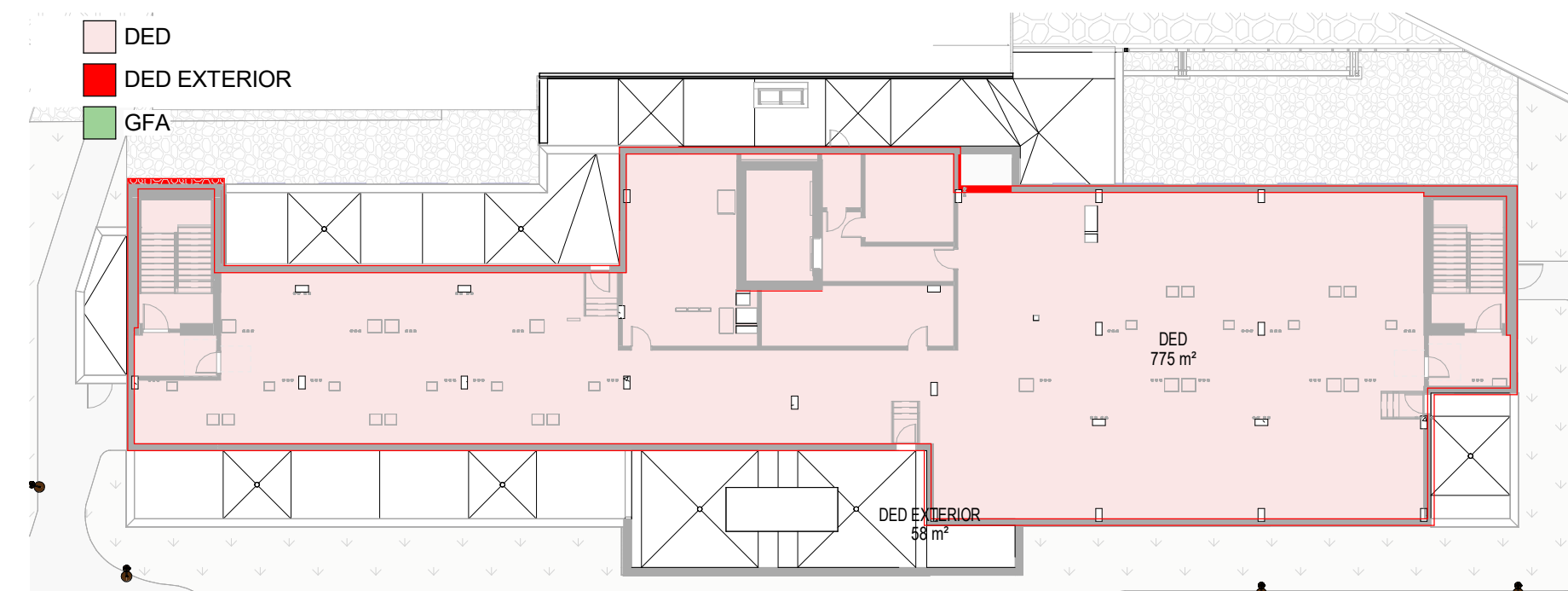
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SK-041



GFA LTC - LEVEL 04

PLAN
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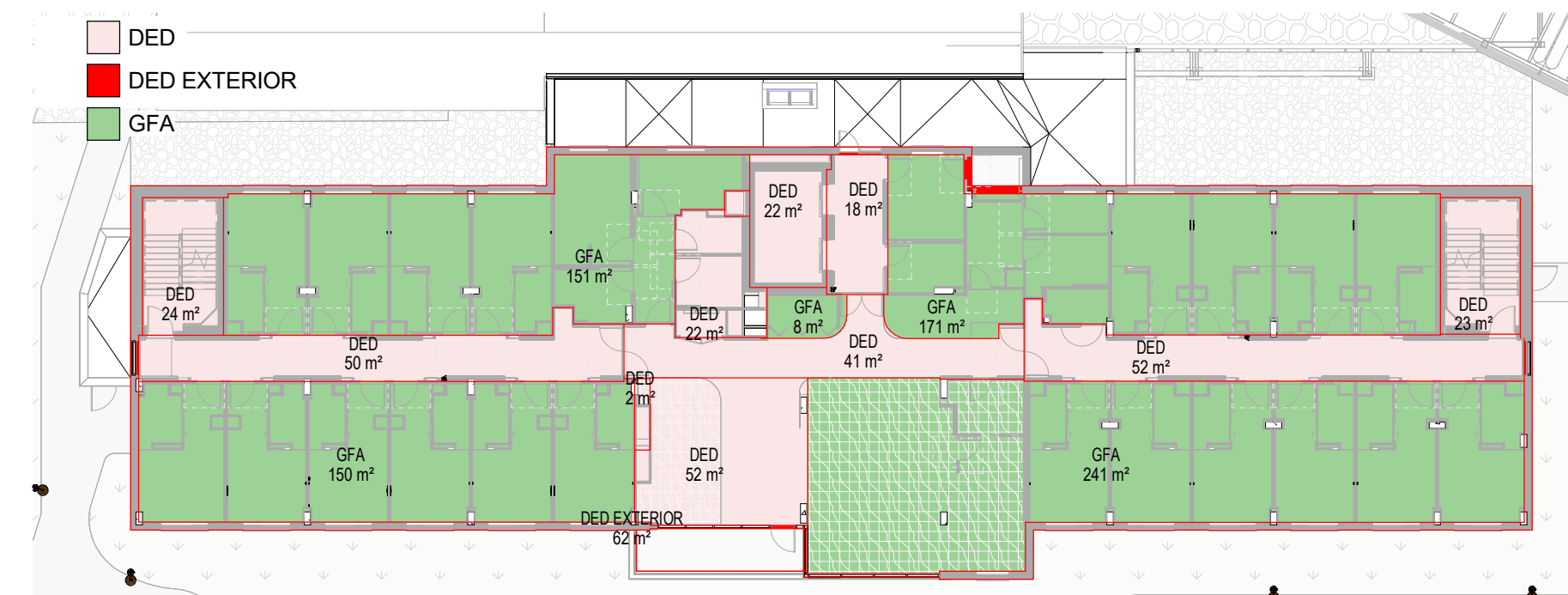
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GFA LTC - MECHANICAL LEVEL 07

PLAN
1:300

7
SK-041



GFA LTC - LEVEL 03

PLAN
1:300

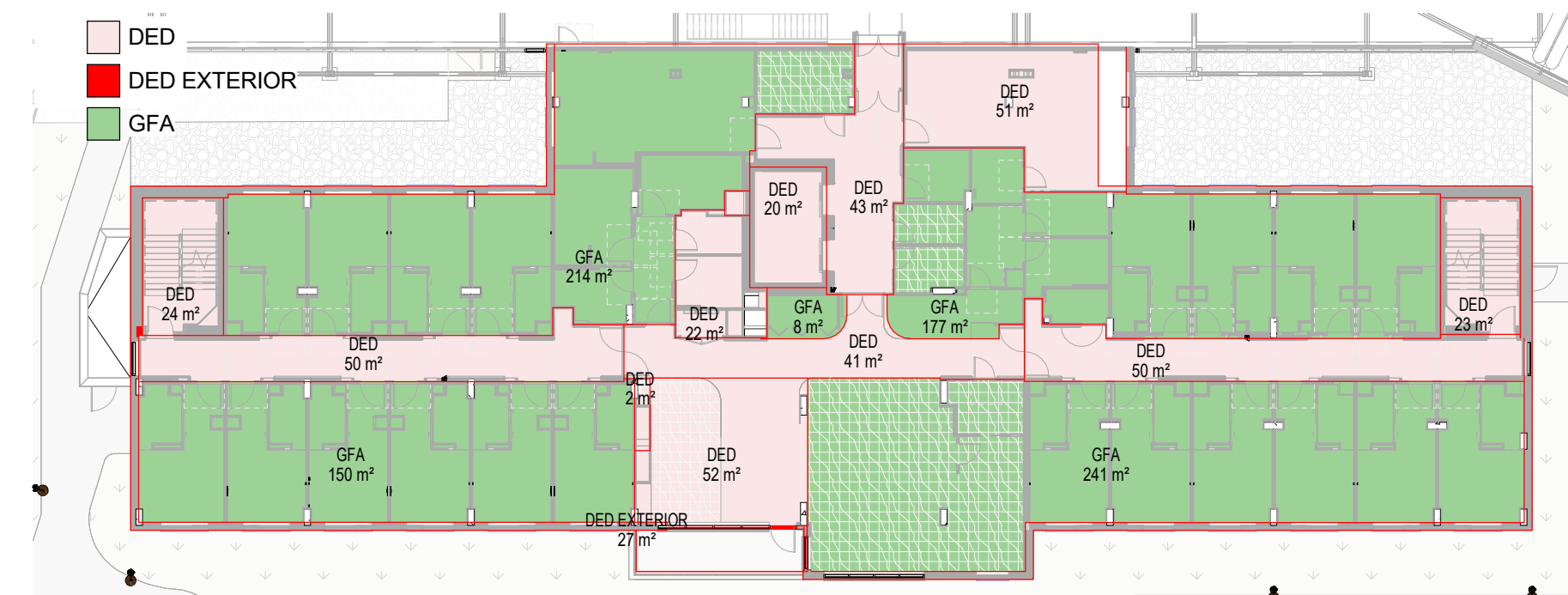
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SK-041



GFA LTC - LEVEL 06

PLAN
1:300

6
SK-041



GFA LTC - LEVEL 02

PLAN
1:300

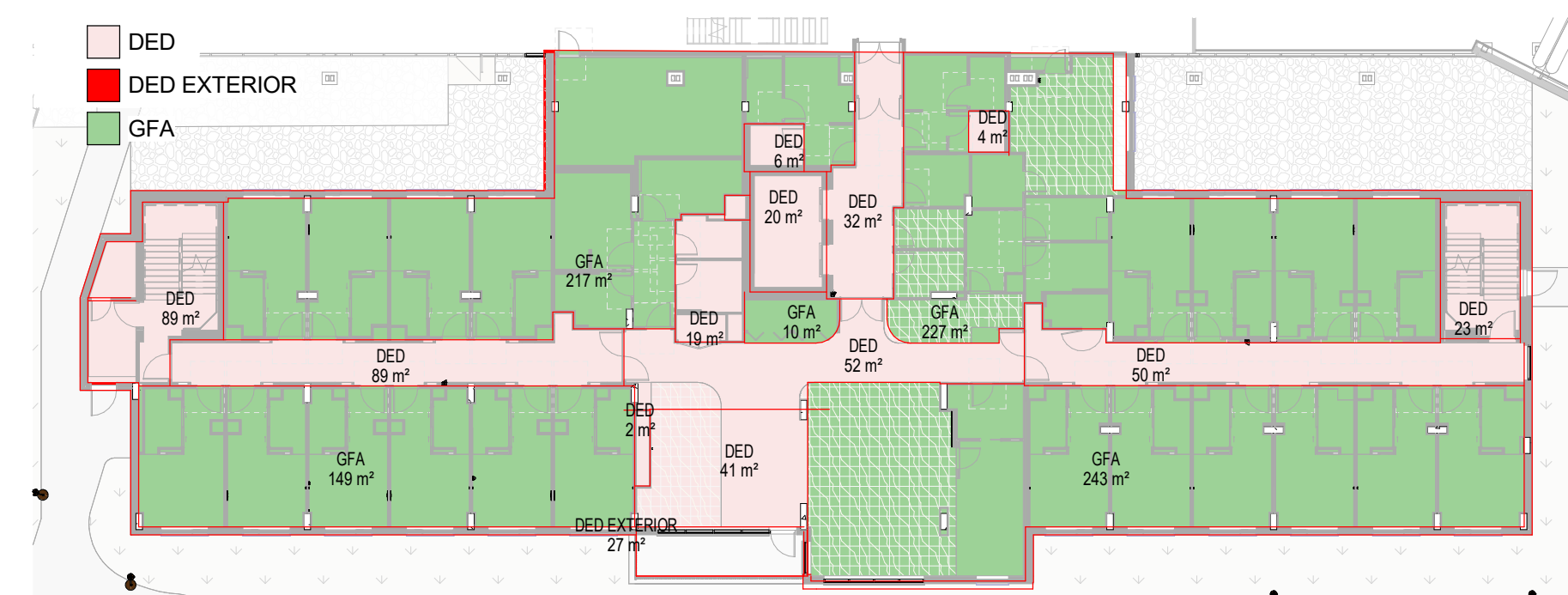
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SK-041



GFA LTC - LEVEL 05

PLAN
1:300

5
SK-041



GFA LTC - LEVEL 01

PLAN
1:300

1
SK-041

ZONING BY-LAW 2008-250, OTTAWA, ONTARIO

Definitions (Section 54)

- GROSS FLOOR AREA** means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:
- (a) floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326);
 - (b) common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings (By-law 2008-326) (By-law 2017-302);
 - (c) bicycle parking, motor vehicle parking or loading facilities;
 - (d) common laundry, storage and washroom facilities that serve the building or tenants;
 - (e) common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
 - (f) common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
 - (g) living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

GFA LTC ADDITION ZONING BY-LAW 2008-250

LEVEL	FLOOR AREA, m ²	DEDUCTIONS, m ²	GFA, m ²	EXTERIOR WALL, m ²	CGFA TOTAL, m ²
LEVEL 1	1,186 m ²	339 m ²	846 m ²	27 m ²	1,213 m ²
LEVEL 2	1,169 m ²	380 m ²	789 m ²	27 m ²	1,196 m ²
LEVEL 3	1,029 m ²	308 m ²	721 m ²	62 m ²	1,091 m ²
LEVEL 4	1,029 m ²	316 m ²	713 m ²	62 m ²	1,091 m ²
LEVEL 5	1,029 m ²	308 m ²	721 m ²	62 m ²	1,091 m ²
LEVEL 6	1,029 m ²	309 m ²	720 m ²	61 m ²	1,091 m ²
LEVEL 7	775 m ²	775 m ²	0 m ²	58 m ²	833 m ²
TOTAL	7,246 m ²	2,736 m ²	4,511 m ²	359 m ²	7,605 m ²

AMENITY AREA SCHEDULE

Name	Area
LEVEL 01	
AMENITY EXT	15 m ²
AMENITY INT	49 m ²
	64 m ²
LEVEL 02	
AMENITY EXT	15 m ²
AMENITY INT	49 m ²
	65 m ²
LEVEL 03	
AMENITY EXT	15 m ²
AMENITY INT	49 m ²
	65 m ²
LEVEL 04	
AMENITY EXT	15 m ²
AMENITY INT	49 m ²
	65 m ²
LEVEL 05	
AMENITY EXT	15 m ²
AMENITY INT	49 m ²
	65 m ²
LEVEL 06	
AMENITY EXT	15 m ²
AMENITY INT	49 m ²
	65 m ²
	389 m ²

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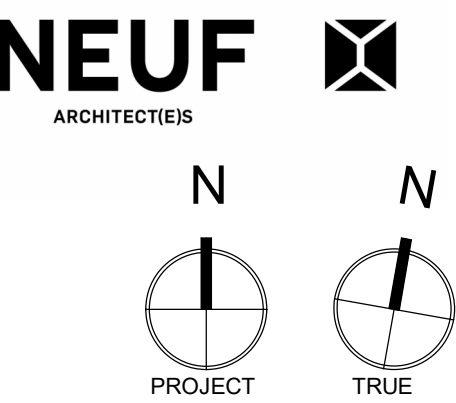
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SEAL



Allison Hamlin

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MANAGER, DEVELOPMENT REVIEW ALL WARDS
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Allison Hamlin at 5:23 pm, Jun 10, 2026

PROJECT

PERLEY HEALTH EXPANSION

LOCATION PROJECT No.
1750 Russell Road 13330
Ottawa, ON K1G 5Z6

PROJECT NO	REVISION	DATE (yyyy-mm-dd)
A	ISSUED FOR SITE PLAN APPLICATION	2026-02-09
B	ISSUED FOR SITE PLAN APPROVAL	2026-05-09

REVISION	DRAWING NUMBER
B	SK-041

DRAWN BY: Author
CHECKED BY: LK
DATE (yyyy-mm-dd): 2024-01-08
SCALE: As indicated

DRAWING TITLE
GFA DIAGRAMS (ZONING)

REVISION: B
DRAWING NUMBER: SK-041
#19458