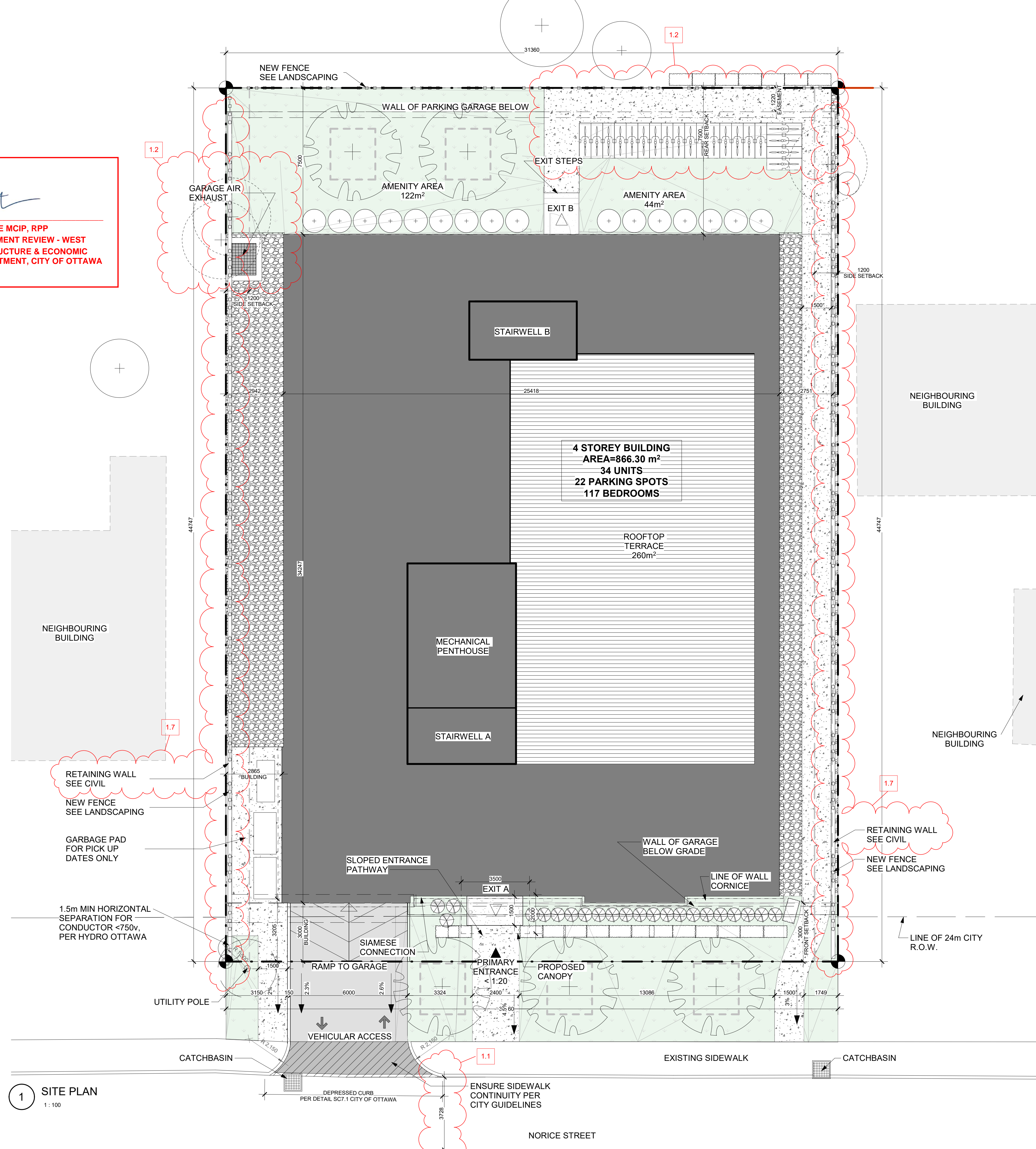
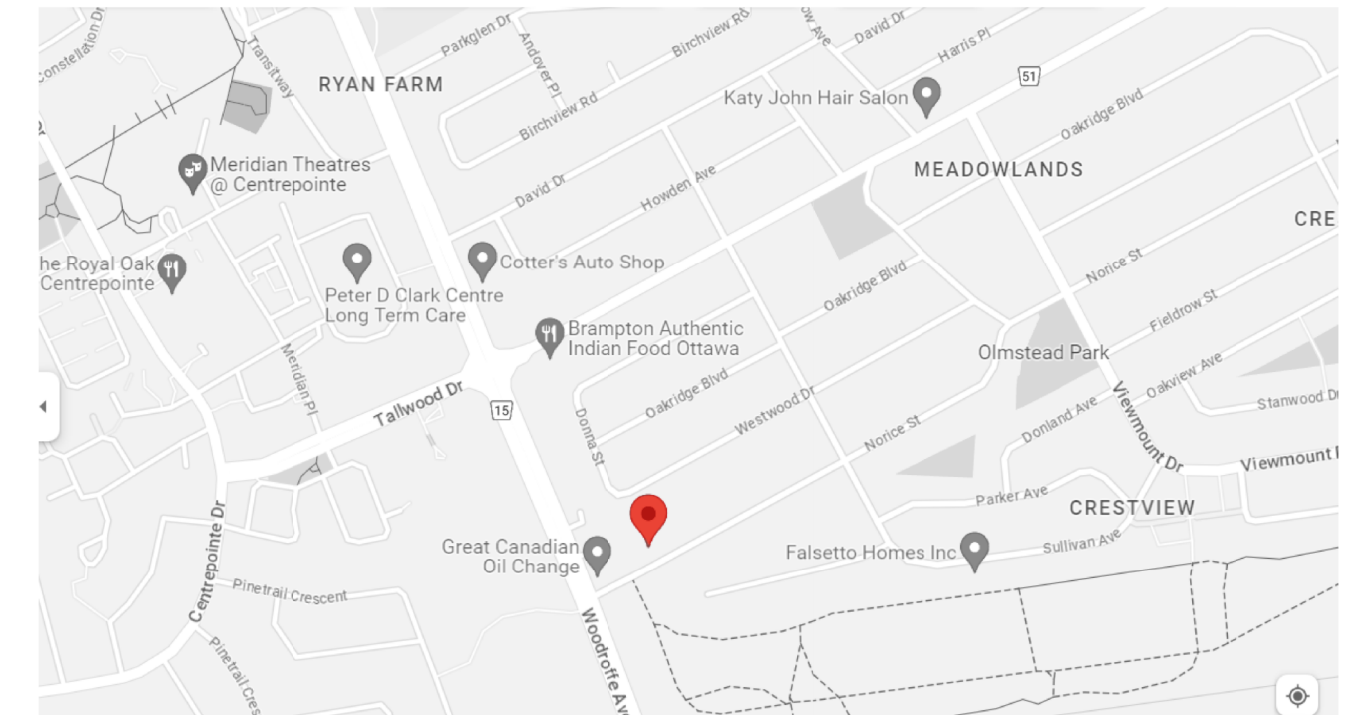


**SEAN MOORE MCIP, RPP**  
**MANAGER, DEVELOPMENT REVIEW - WEST**  
**PLANNING, INFRASTRUCTURE & ECONOMIC**  
**DEVELOPMENT DEPARTMENT, CITY OF OTTAWA**



**1 SITE PLAN**  
 1:100



**SITE CONTEXT**

**LEGEND**

- SURFACES**
- GRASS
  - RIVERSTONE
  - POURED CONCRETE
  - ASPHALT PAVING
  - PROPOSED NEW BUILDING
- LINE**
- PROPERTY LINE
  - SETBACK LINE
  - NEW FENCE
  - OVERHEAD WIRES
- VEGETATION**
- TREE: EXISTING TO REMAIN
  - TREE: EXISTING TO BE REMOVED
  - TREE: NEW PROPOSED
  - SHRUB: NEW PROPOSED
- SYMBOLS**
- DIRECTIONAL ARROWS
  - BUILDING ACCESS
  - BUILDING EGRESS
  - SIAMESE CONNECTION
  - UTILITY POLE
  - FIRE HYDRANT
  - CATCH BASIN / MANHOLE
  - DEPRESSED CURB
  - LANDSCAPE LIGHT
  - LIGHT POLE
  - WALL MOUNTED LIGHT
  - EXISTING GRADE ELEVATION
  - PROPOSED GRADE ELEVATION
  - LOT CORNERS
  - BIKE PARKING
  - CAR PARKING
  - BF PARKING
  - BF PARKING (TYPE A)

**GENERAL NOTES**

- NOTE A:**  
 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE B:**  
 ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE C:**  
 CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE D:**  
 REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE E:**  
 DO NOT SCALE DRAWINGS.
- NOTE F:**  
 ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

**SURVEY INFO**

TOPOGRAPHIC SURVEY OF:  
 PART OF LOT 32  
 CONCESSION 1 (RIDEAU FRONT)  
 GEOGRAPHIC TOWNSHIP OF NEPEAN  
 CITY OF OTTAWA  
 PREPARED BY ANNIS, O'SULLIVAN,  
 VOLLEBERG LTD.  
 MAY 3, 2024



**PROJECT INFORMATION**

SITE SUMMARY		SITE SUMMARY	
ADDRESS	193 NORICE ST, NEPEAN, ON	REQUIRED	PROPOSED
CURRENT ZONING	L2(2127)	0.00 m²	1403.05 m²
SITE AREA	1403.05 m²	0.00 m	31.39 m
PROPOSED USE	RESIDENTIAL	0.00 m	12.50 m
BUILDING AREA	866.30 m²	Max. building	1.20 m

ZONING SUMMARY		REQUIRED	PROPOSED
LOT AREA	0.00 m²	1403.05 m²	
LOT WIDTH	0.00 m	31.39 m	
MIN. LOT WIDTH	0.00 m	12.50 m	
MAX. BUILDING HEIGHT	12.50 m	n/a	1.20 m
MAX. PARAPET HEIGHT	n/a		1.20 m

VEHICULAR PARKING		REQUIRED	PROPOSED
MIN PARKING SPACES	15	15	
MIN VISITOR PARKING SPACES	7	7	
MIN ACCESSIBLE PRKG SPACES*	1	1	

BICYCLE PARKING		REQUIRED	PROPOSED
MIN PARKING SPACES	17	20	

WASTE CONTAINERS		REQUIRED	PROPOSED
GARBAGE (0.231 y³ / unit)	8	8	
RECYCLING GMP (0.018 y³ / unit)	1	2	
RECYCLING FEL (0.002 y³ / unit)	2,108	3	
ORGANICS (indiv. Kit Catcher) 240L	1	2	

AMENITY AREA		REQUIRED	PROPOSED
6m² / UNIT + 10% gross = (6 x 34) + 10% of (2758.23 m²)	486.00 m²		
= 204m² + 276m² = 480m²			
COMMUNAL - EXT. = 50% (min)	240.00 m²	166.00 m²	
Exterior on grade		260.00 m²	
Rooftop Terrace		61.95 m²	
COMMUNAL - INT.			
TOTAL		487.95 m²	

BUILDING SUMMARY		UNITS	GFA - OBC	GFA - CITY
LEVEL 1	7	866.30 m²	547.80 m²	
LEVEL 2	9	865.61 m²	736.81 m²	
LEVEL 3	9	865.61 m²	736.81 m²	
LEVEL 4	9	864.79 m²	736.81 m²	



L450.323 Coventry Rd, Ottawa, ON K1K 3X6  
 Tel : 819-416-6228



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**PROJECT TEAM / ÉQUIPE DU PROJET :**

Civil Engineer:  
 DB Gray Engineering  
 700 Long Point Cir, Gloucester, ON K1T 4E9  
 613-425-8044

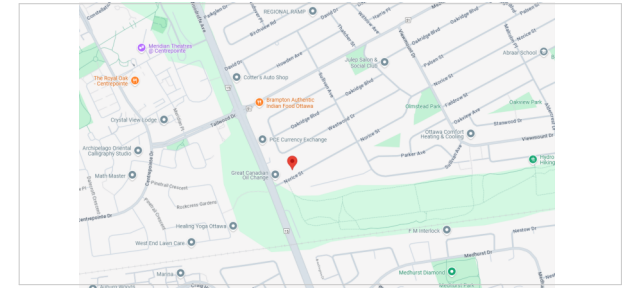
Structural Engineer:  
 Metaligna  
 404 Hatney Street, Amprior, ON K7S 3G7  
 613-680-0185

Mechanical Engineer:  
 Groupe LCA  
 Unité 6 - 15 Rue de Valcour, Gatineau, QC J8T 8H1  
 819-243-8383

Electrical Engineer:  
 Groupe LCA  
 Unité 6 - 15 Rue de Valcour, Gatineau, QC J8T 8H1  
 819-243-8383

Landscape Architect:  
 James B. Lennox & Associates  
 3332 Carling Avenue, Ottawa, ON K2H 5A8  
 416-231-4181

**KEY PLAN / PLAN CLÉ :**



**CLIENT :**



Tel : 613-791-2237 | www.karnakdevelopments.com

1.7 SPA REVISION	2026-03-10
1.4 Coordination	2025-10-05
1.2 PERMIT REV 01	2025-07-11
1.1 SPA REVISION	2025-06-23
1.0 SPA REVISION	2025-04-28

**PROJECT NAME / NOM DU PROJET :**

**193 Norice**

193 Norice St, Nepean, ON K2G 2Y5

**DRAWING NAME / NOM DU DESSIN :**

**SITE PLAN**

**DRAWING INFORMATION / INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **25001**  
 DATE : **23/06/05**  
 DRAWN BY / DESSINÉ PAR : **SB**  
 REVIEWED BY / VÉRIFIÉ PAR : **LG**  
 SCALE / ÉCHELLE : **As indicated**

**PROJECT PHASE / PHASE DU PROJET :**

**3**

**DWG NO. / NO. DESSIN :**

**A050**

**REVISION NO. / NO. DE RÉVISION :**

**1.7**

