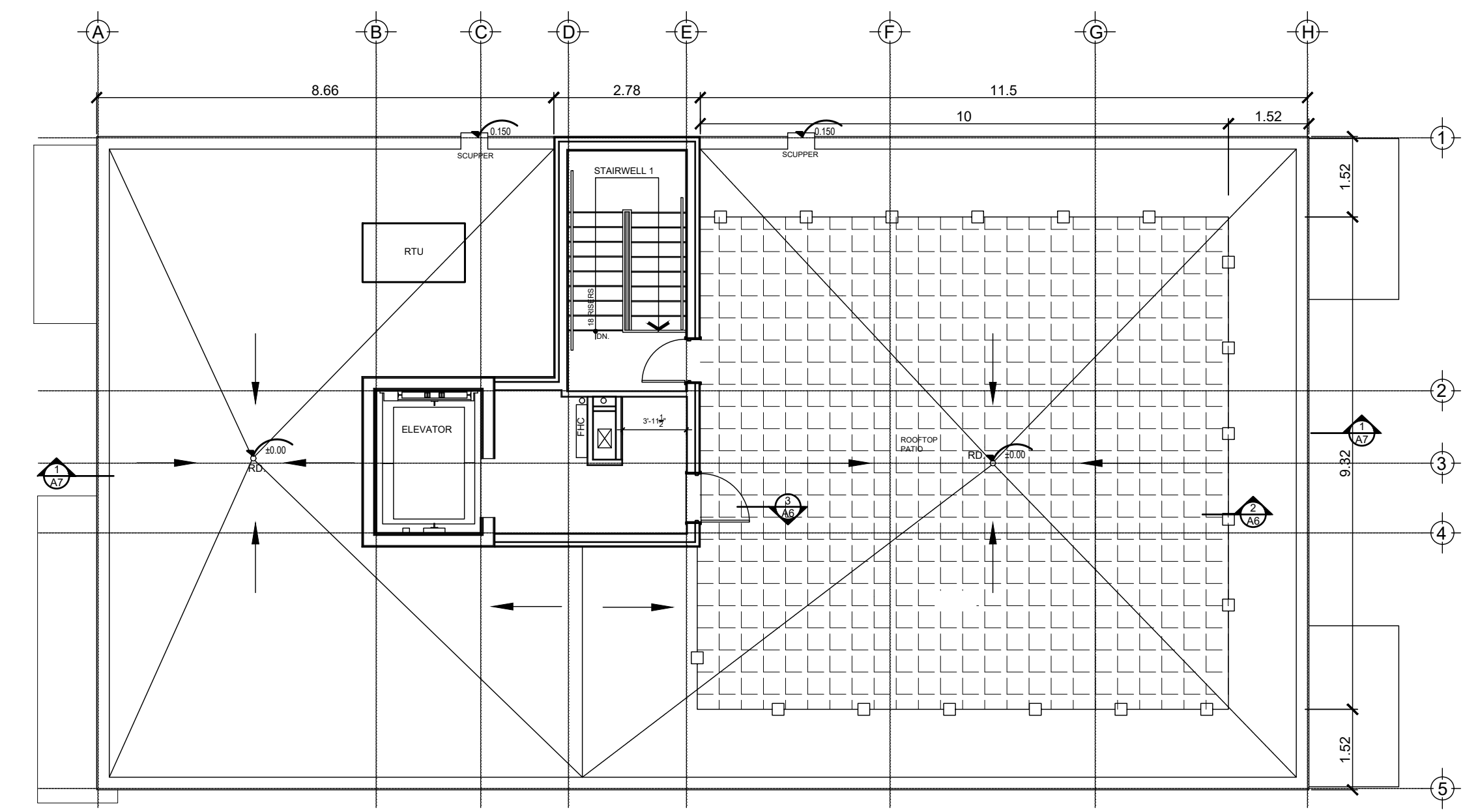
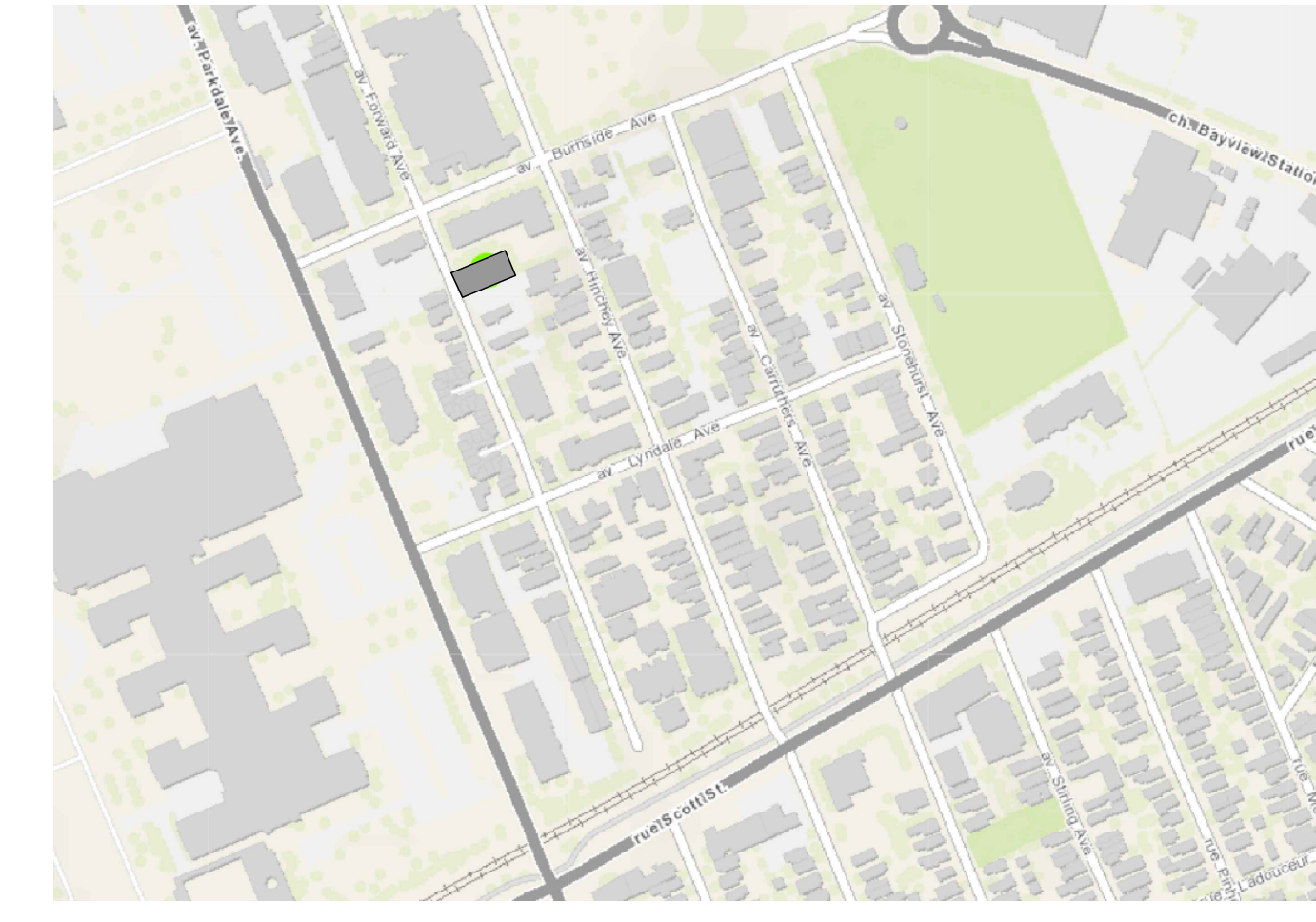
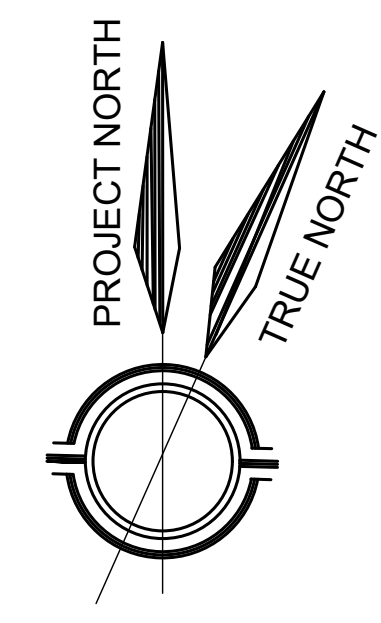


1 SITE PLAN
Scale: 1/100

AVERAGE GRADE= (62.48+62.55+63.77+63.41)/4=63.05



2 ROOF PLAN
Scale: 1/100



PROPERTY DESCRIPTION:
Legal Description: PART 1 - PLAN OF OF LOT 3
EAST FORWARD AVE.
REGISTERED PLAN 35
CITY OF OTTAWA
Base on survey prepared by Annis, O'Sullivan, Vollebakk Ltd.

DEVELOPMENT DATA:
Site Zoning Designation: R4UD
Site area: 504.46 m²
Frontage as per survey: 15.34 m.
Depth as per survey: 32.91 m.
Building Area (Footprint): 285.31 m² (57% lot coverage)
Gross Floor Area : 1070.96 m²

	City of Ottawa Zoning By-law No. 2008-250 and By-law No. 2026-50		PROPOSED
	By-law No. 2008-250 -R4-UD	By-law No. 2026-50 -N4B	
LOW RISE APARTMENT 4 STOREY, 18 UNIT			
MINIMUM LOT WIDTH	15m	7.5m	15.34m
MINIMUM LOT AREA	450m ²	no	504.46m ²
MAXIMUM BUILDING HEIGHT	14.5m	14.5m	13.93m
MINIMUM FRONT YARD SETBACK	(1.57+4.5)/2=3.03m	1.57 (Neighboring building)	2.50m (M.V. Granted)
MINIMUM CORNER SIDE YARD SETBACK	3m	3m	N/A
MINIMUM REAR YARD SETBACK	7.5m	7.5m	7.5m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	1.8m (total both sides)	1.5m & 1.5m
LANDSCAPE AREA	30%	N/A	43%
SOFT LANDSCAPE AT FRONT YARD	20% OF FRONT YARD	20% OF FRONT YARD	23% OF FRONT YARD
SOFT LANDSCAPE AT REAR YARD	50% OF REAR YARD REAR YARD AREA: 79.8 m ²	50% OF REAR YARD REAR YARD AREA: 79.8 m ²	51% OF REAR YARD
FENESTRATION ON FRONT WALL	25%	N/A	30%
BALCONIES AT FRONT YARD	1/UNIT (FACING STREET)	N/A	1/UNIT (FACING STREET)
Bicycle Parking (0.5/unit)	18 UNIT @0.5=9 (Tenant) 2 (Visitor)	18 UNIT @1=18 (Long-term) 2 (Short-term)	18 (Tenant) 2 (Visitor)
Vehicle Parking	Visitor: 18 -12 =6 @0.1=0.6 Tenant: 0	0	1 0

LEGEND:

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- REMOVE EXISTING WALL
- NEW BUILDING
- LANDSCAPE AREA
- INTERLOCKING WALKWAY
- RIVER ROCK
- RETAINING WALL

CLIENT:
IN HARMONY DEVELOPMENTS
IN HARMONY

ENTUITIVE
275 Slater St. Suite 1001
Ottawa, Ontario K1P 5H9
Tel: 343 308 9274
Email: greg.woltman@entuitive.com

JAIN CONSULTANTS
7405 East Danbro Crescent,
Mississauga, Ontario, L5N 6P8
Tel: 905 285 9900, Fax: 905 567 5246
Email : mail@jainconsultants.com

SURVEYOR:
ANNIS, O'SULLIVAN, VOLLEBEKK Ltd.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850
Fax: (613) 727-1079

PLANNING:
HP URBAN inc.

CIVIL:
exp.

ARCHITECT:
SUSAN D. SMITH ARCHITECT
941 MERIVALE RD
Ottawa, Ontario
613-722-5327
S.SMITH@SDSARCH.CA

No.	REVISION	DATE
4	REISSUED FOR SPC	MAY 13/26
3	REISSUED FOR B. PERMIT	APR. 30/26
2	REISSUED FOR SPC	MAR. 11/26
1	REISSUED FOR SPC	FEB. 18/26
0	ISSUED FOR SPC	DEC. 10/25

NOTE:
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

NEW APARTMENT BUILDING
133 FORWARD AVE.
OTTAWA, ONT.
K1Y 1L4

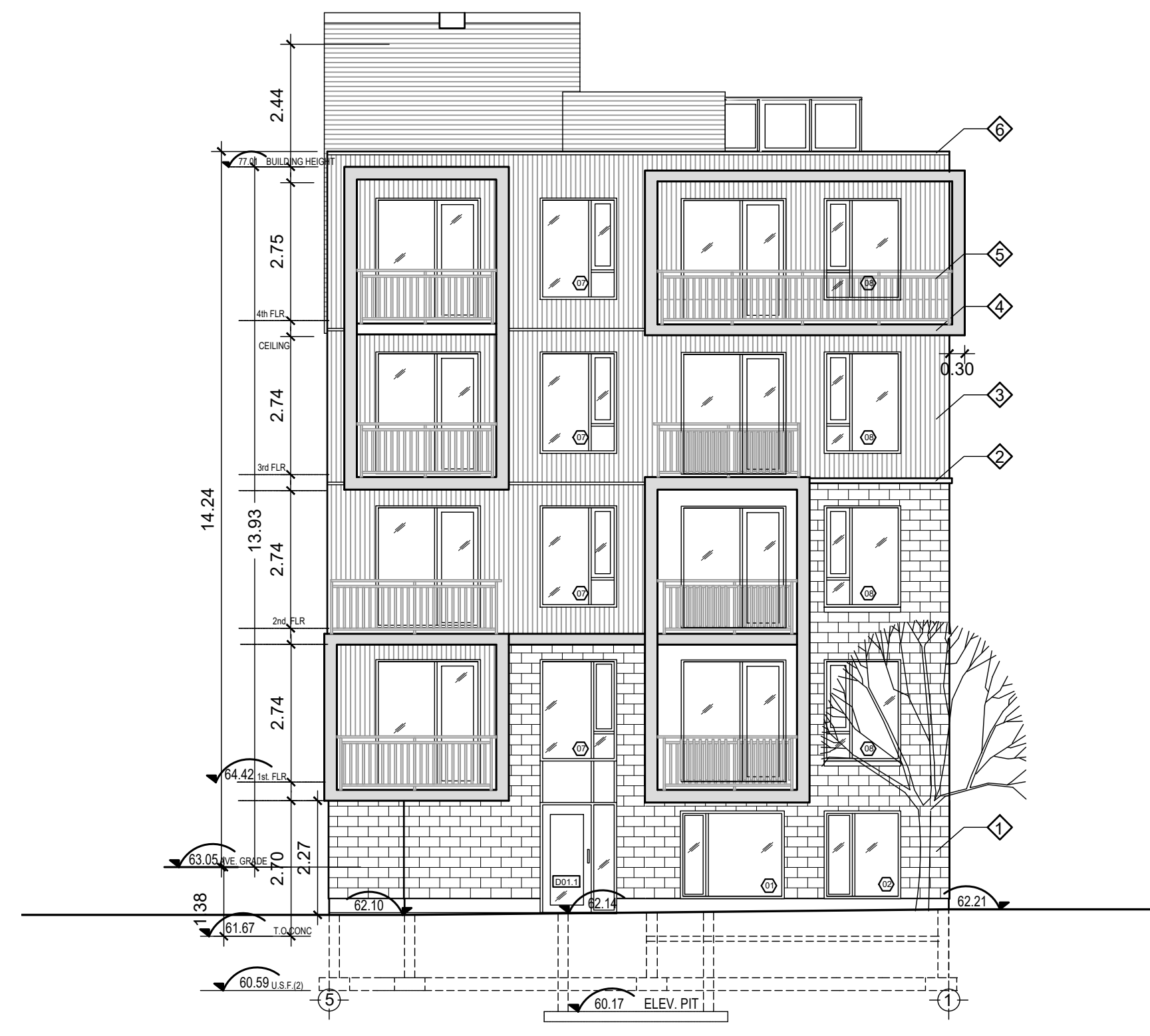
SITE PLAN

Scale	AS NOTES
Drawn	TD
Checked	SDS
Date	OCT/2025
Job #	2561

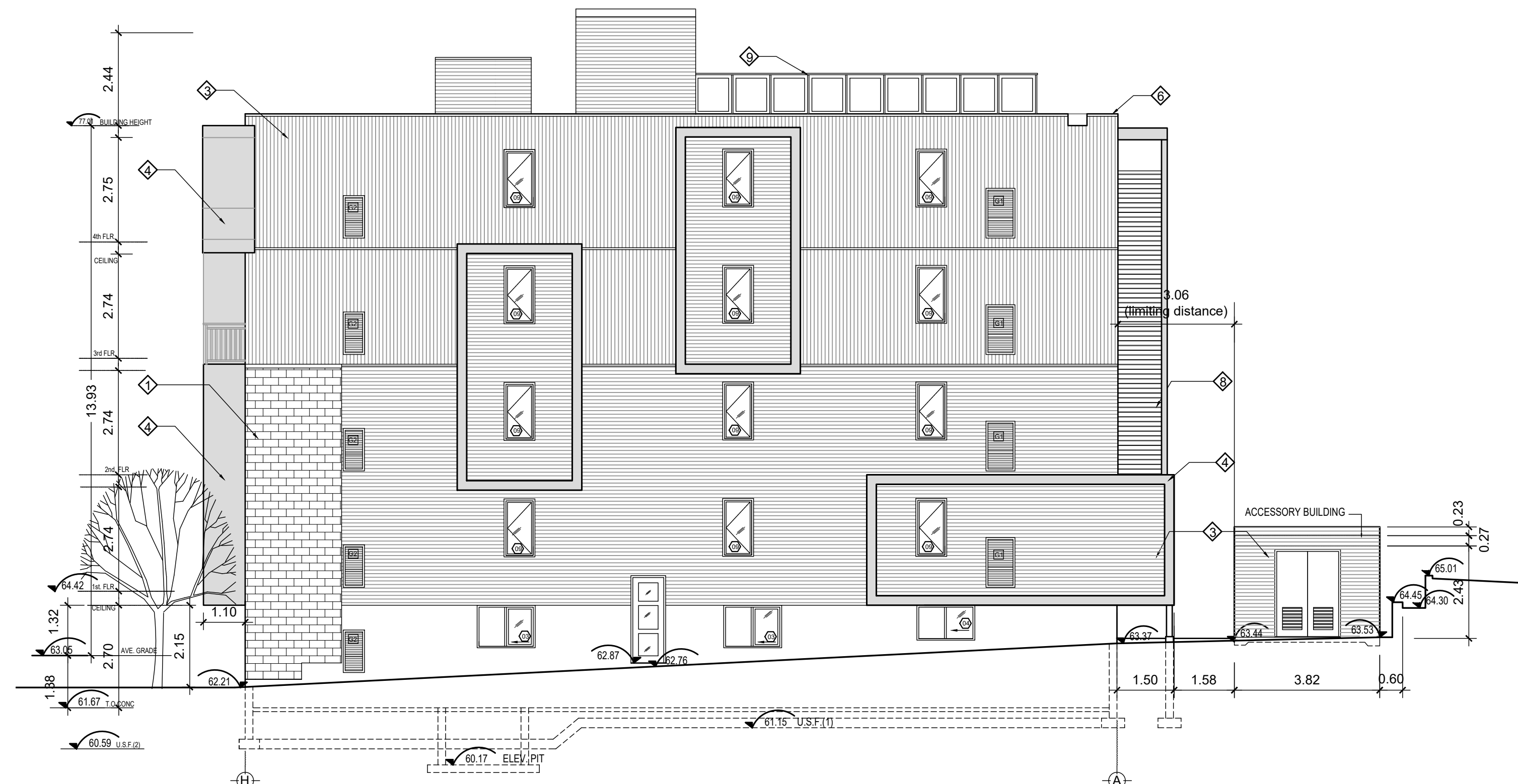
SP

#19414

D07-12-25-0174

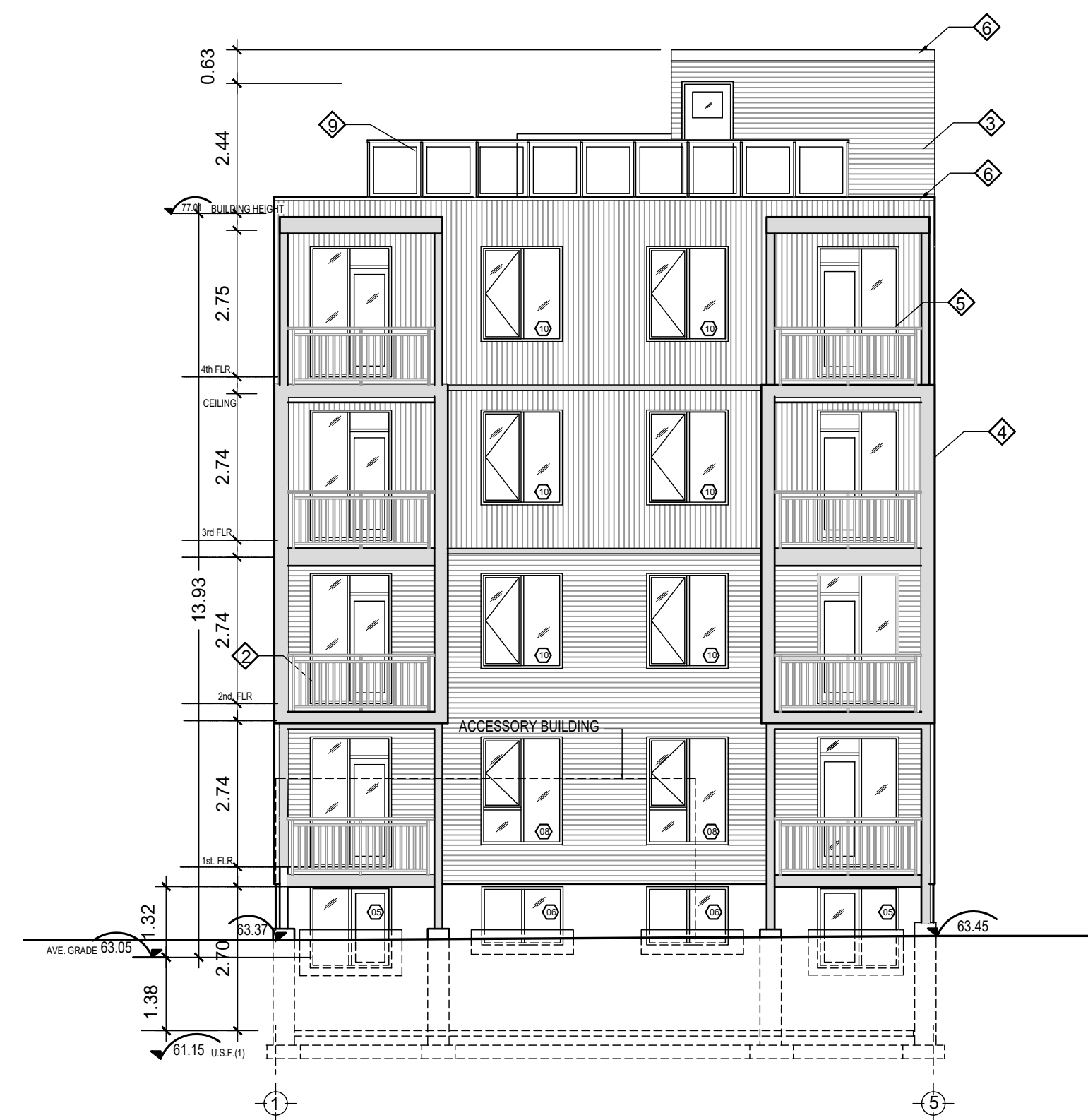


1 WEST ELEVATION
EL SCALE: 1/100

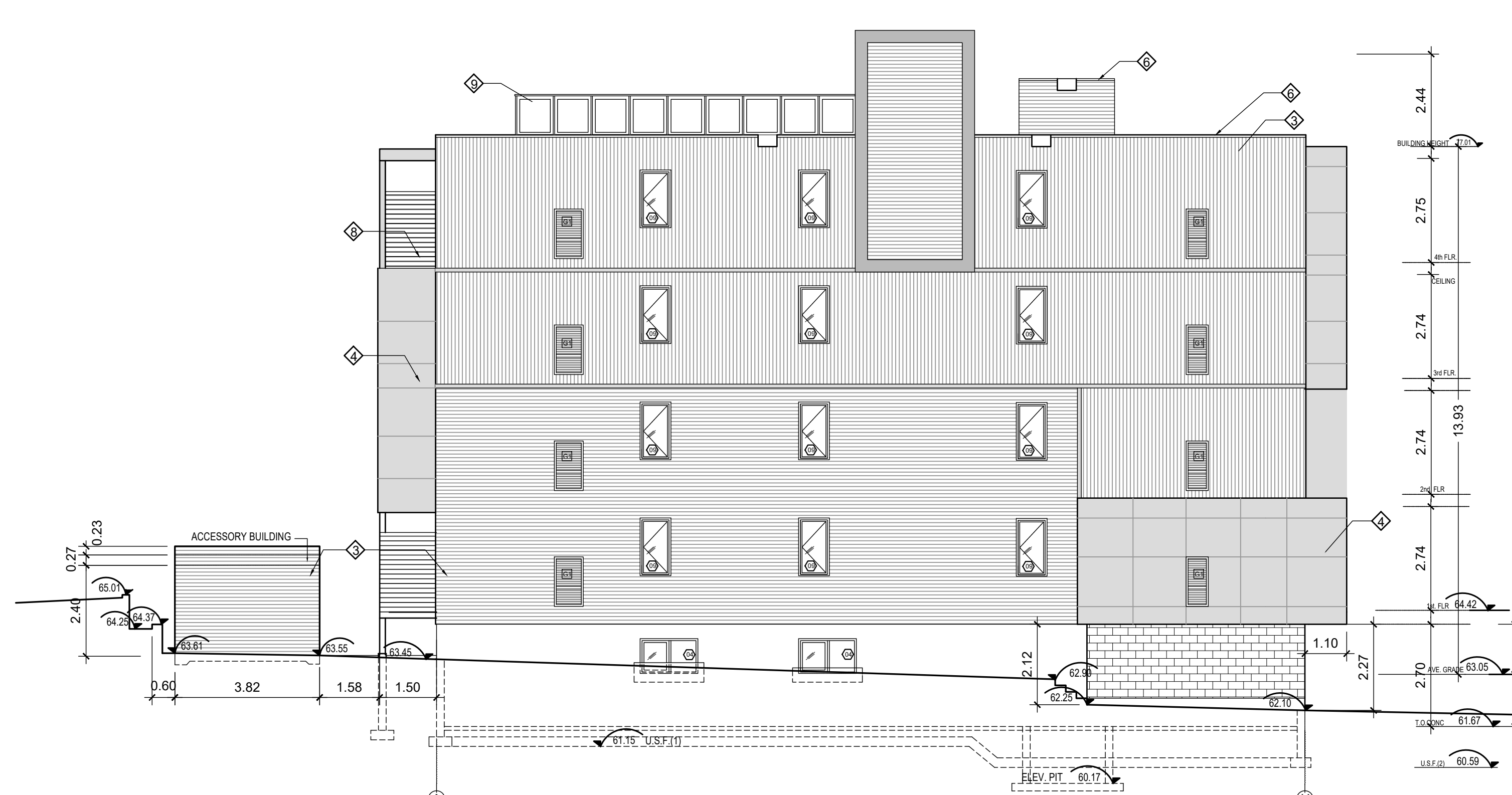


2 SOUTH ELEVATION
EL SCALE: 1/100

- DRAWINGS NOTES:
- 1/ MASONRY CLADDING
 - 2/ MASONRY SILL
 - 3/ DISTINCTION STEEL SIDING BLACK - SMOKED BLACK
 - 4/ JAMES HARDIE PANELS - LIGHT GREY
 - 5/ METAL HANDRAIL - LIGHT GREY
 - 6/ ALUMINUM CAPPING - BLACK
 - 7/ VERTICAL METAL BAR- WOOD TEXTURE
 - 8/ OPAQUE SCREENING
 - 9/ GLASS GUARDRAIL. PROVIDE PRE-ENG. APPROVED SHOP DRAWINGS TO CITY INSPECTOR



3 EAST ELEVATION
EL SCALE: 1/100



4 NORTH ELEVATION
EL SCALE: 1/100

CLIENT:
IN HARMONY DEVELOPMENTS
IN-HARMONY

SURVEYOR:
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No.	REVISION	DATE
3	REISSUED FOR SPC	MAY 13/26
2	REISSUED FOR SPC	MAR. 11/26
1	REISSUED FOR SPC	FEB. 18/26
0	ISSUED FOR SPC	DEC. 03/25

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NEW APARTMENT BUILDING
133 FORWARD AVE.
OTTAWA, ONT.
K1Y 1L4

ELEVATIONS

Scale	AS NOTES
Drawn	TD
Checked	SDS
Date	OCT/2025
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EL

#19414

D07-12-25-0174