

CONSULTANTS

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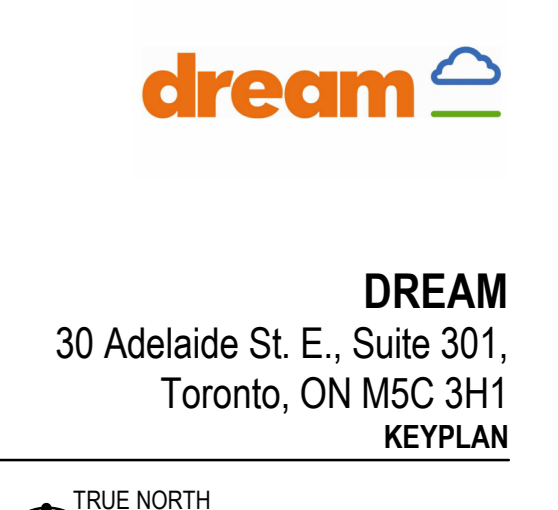
Two Row Architect
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Westview Projects
18 Louisa St., Ottawa, ON K1R 6Y6



PROJECT

LEBRETON LIBRARY PARCEL
665 Albert St
Ottawa, ON
Canada



ISSUE CHART

NO.	DATE	DESCRIPTION
1	2024-04-23	ISSUED FOR SPA / ZBA / SPA
2	2024-05-27	ISSUED FOR 60% SD
3	2024-06-10	ISSUED FOR 100% SD
4	2024-08-19	ISSUED FOR 60% SD
5	2024-09-30	ISSUED FOR 100% SD
6	2024-11-09	ISSUED FOR SPA RESUBMISSION
7	2024-11-09	ISSUED FOR NCC 99% FLUTIA
8	2024-12-09	ISSUED FOR FOUNDATION PERMIT
9	2024-12-16	ISSUED FOR SIGNING & EXCAVATION PERMIT
10	2024-01-27	ISSUED FOR ELEVATOR & EXCAVATION TENDER
11	2024-02-03	RESUBMITTED FOR SPA & NCC 99%
12	2024-02-17	ISSUED FOR FOUNDATION PERMIT
13	2024-03-03	ISSUED FOR PROGRESS REVIEW
14	2024-03-03	ISSUED FOR SITE PLAN CONTROL
15	2024-03-24	ISSUED FOR TENDER REVIEW
16	2024-04-13	ISSUED FOR TENDER REVIEW
17	2024-04-27	ISSUED FOR FOUNDATION PERMIT
18	2024-05-12	ISSUED FOR FOUNDATION PERMIT
19	2024-05-12	ISSUED FOR NCC 99% FLUTIA
20	2024-06-05	ISSUED FOR TENDER REVIEW
21	2024-07-14	ISSUED FOR TENDER REVIEW
22	2024-11-15	ISSUED FOR PERMIT
23	2024-12-28	ISSUED FOR TENDER REVIEW
24	2024-12-28	ISSUED FOR ADDENDUM 01
25	2024-01-15	ISSUED FOR CONSTRUCTION COORDINATION
44	2024-10-21	ISSUED FOR CONSTRUCTION
66	2024-06-10	ISSUED FOR SI-52
82	2024-10-29	ISSUED FOR SI-71
83	2024-10-29	ISSUED FOR SPA AMENDMENT
92	2024-02-06	ISSUED FOR SI-80
93	2024-02-06	ISSUED FOR SPA AMENDMENT

ISSUED FOR CONSTRUCTION 2024-10-21

TYPE	REQUIRED	PROPOSED
RETAIL	0	SHARED
OTHER (DAY CARE)	1	1
RESIDENTIAL	0	SHARED
TOTAL TYP LOADING SPACES	1	1

1 TYPE G LOADING SPACE IS PROVIDED FOR WASTE COLLECTION
1 ADDITIONAL LSI LOADING SPACE IS LOCATED IN P1 FOR WEST TOWER LOADING CONVENIENCE

BICYCLE PARKING SPACES

TYPE	PROVISION	REQUIRED	PROPOSED
RESIDENTIAL	0.5/unl	305	
RETAIL	1/250 m ²	6	
DAY CARE	1/250 m ²	5	
TOTAL REQUIRED		316	

PROVIDED SPACES	INTERIOR SECURE SPACES	EXTERIOR SPACES	TOTAL PROVIDED
MIN 25%	79	668	
MAX 50%	N/A	132	
TOTAL PROVIDED		800	

NUMBER OF REQUIRED SPACES TO BE PROVIDED

AT GROUND LEVEL HORIZONTAL	50% OF REQD
INTERIOR	158
EXTERIOR	132
TOTAL	290

STORAGE LOCKERS

TYPE	REQUIRED	PROPOSED
RETAIL	0	SHARED
OTHER (DAY CARE)	1	1
RESIDENTIAL	0	SHARED
TOTAL TYP LOADING SPACES	1	1

STORAGE LOCKERS

TOTAL: 422

SITE PLAN LEGEND

AD	AREA DRAIN
APV	ACCESSIBLE PARKING SIGNAGE
AW	AREA WELL GRATE POROSITY LESS THAN 20mm x 20mm
B	BOLLARD
B-F	BARRIER-FREE
BR	BIKE RACK (SEE LANDSCAPE)
CB	CATCH BASIN
CW	CONCRETE WALKWAY
DC	DEPRESSED CURB
EX-CW	EXISTING CONCRETE WALKWAY
EX-S	EXISTING LIGHT STANDARD
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FH-EX	EXISTING FIRE HYDRANT
FR	FIRE ROUTE SIGNAGE
H	HOSE BIB (SEE MECHANICAL)
MH	MANHOLE
NIC	NOT IN CONTRACT
TD	TRENCH DRAIN

▲	PRIMARY ENTRY/EXIT
▲	EXIT
---	PROPERTY AND EASEMENT LINES
- - -	FIRE ROUTE

SITE PLAN & STATISTICS

SHEET NUMBER	TITLE
G01-01	SITE PLAN

NOTES

SITE PLAN BASED ON TOPOGRAPHIC SURVEY BY: STANTEC GEOMATICS LTD.
300-1331 CLYDE AVENUE,
OTTAWA, ON, K2C 0A9
C/O R. G. BENNETT
APRIL 7, 2022

SITE / ZONING DATA

	REQUIRED	PROVIDED
TOTAL LOT AREA	9,629 m ²	9,629 m ²
GROSS FLOOR AREA	38,936.13 m ²	38,936.13 m ²
FLOOR SPACE INDEX	4.04	4.04
LOT FRONTAGE ON ALBERT STREET	144.0 m	144.0 m
LOT FRONTAGE ON BOOTH STREET	77.9 m	77.9 m
LOT FRONTAGE ON LRT	138.6 m	138.6 m
LOT FRONTAGE ON EAST PROPERTY LINE	63.8 m	63.8 m
PROPOSED BUILDING LENGTH AT GRADE ON ALBERT STREET		
EAST TOWER (PARALLEL)	23.6 m	23.6 m
EAST TOWER (ANGLED)	43.1 m	43.1 m
WEST TOWER (PARALLEL)	42.8 m	42.8 m
WEST TOWER (ANGLED)	24.5 m	24.5 m
PROPOSED BUILDING LENGTH AT GRADE ON BOOTH STREET		
WEST TOWER	24.5 m	24.5 m
PROPOSED BUILDING LENGTH AT GRADE ON LRT		
EAST TOWER (PARALLEL)	42.2 m	42.2 m
EAST TOWER (ANGLED)	21.8 m	21.8 m
EAST TOWER (ANGLED)	15.3 m	15.3 m
WEST TOWER (PARALLEL)	45.8 m	45.8 m
WEST TOWER (ANGLED)	11.4 m	11.4 m
PROPOSED BUILDING LENGTH AT GRADE ON EAST PROPERTY LINE		
EAST TOWER	47.3 m	47.3 m
SETBACK DATA		
FRONT YARD (ALBERT STREET)	NO MIN	1.8 m-4.7 m
CORNER SIDE YARD SETBACK	NO MIN	0.0 m-8.5 m
EASTERLY INTERIOR SIDE YARD SETBACK	9.0 m	9.0 m
REAR YARD SETBACK (LRT)	NO MIN	10.1 m
TOWER SETBACK FROM EASTERLY SIDE YARD	14.5 m	15.5 m
TOWER DATA		
TOWER SEPARATION	23.0 m	55.3 m
TOWER FLOOR-PLATE AREA	750 m ² MAX	750 m ²
BUILDING HEIGHT		
EAST TOWER AVERAGE GRADE		62.91 m
MIDPOINT OF EAST TOWER ROOF		166.84 m
EAST TOWER BUILDING HEIGHT	110 m	103.92 m
WEST TOWER AVERAGE GRADE		62.59 m
MIDPOINT OF WEST TOWER ROOF		182.65 m
WEST TOWER BUILDING HEIGHT	127 m	120.06 m

AMENITY AREA

AMENITY LOCATION	AMENITY FUNCTION	AREA
INDOOR AMENITY	COMMUNAL AMENITY	1799.28 m ²
OUTDOOR AMENITY	COMMUNAL AMENITY	2310.09 m ²
OUTDOOR AMENITY	PRIVATE AMENITY	1519.22 m ²
TOTAL AMENITY SPACE		5538.59 m ²

REQUIRED AMENITY AREA = 609 Units x 6m x 3654 m² 50% IS REQUIRED TO BE COMMUNAL = 1827 m²

PARKING SPACES

TYPE	REQUIRED	REQUIRED	PROPOSED
RESIDENT	N/A, MAX 1.5per	0 MIN, 910 MAX	139
RESIDENT BARRIER-FREE	N/A	0	8
TOTAL RESIDENTIAL			148
VISITOR RESIDENTIAL	0.1/unl	61	58 (+3 BPT)
VISITOR RETAIL	N/A, MAX 10	0	8
VISITOR DAY CARE	N/A	0	4
VISITOR BARRIER-FREE	20-99 spaces = 1	1 of 61	4
TOTAL VISITOR			76
GRAND TOTAL		61 MIN	224

LOADING SPACES

TYPE	REQUIRED	PROPOSED
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OTHER (DAY CARE)	1	1
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COORDINATION OF ALBERT STREETSCAPE ONGOING WITH CITY STAFF DELIVERING ALBERT SLATER RECONSTRUCTION PROJECT

GENERATOR ENCLOSURE, SEE GENERATOR ENCLOSURE DWGS

SEE RETAINING WALL DRAWINGS FOR RETAINING WALLS

APPROX LOCATION OF FUTURE PARKING AND LOADING ACCESS TO ADJACENT SITE

TRENCH DRAIN, SEE CIVIL

PUBLIC ART WALL, UNDER DEVELOPMENT

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