

ZONING CONFIRMATION REPORT			
Municipality	City of Ottawa		
Legal Description	Block 1, Registered Plan 4M-1054		
Survey Information	Survey Information Prepared By: Farley, Smith & Denis Surveying Ltd., dated 2026 April 6		
Common Address	4 Baywood Drive	Ottawa, Ontario	City of Ottawa
Project Information	Lot Size	23,208.0 sm	
	Ground Floor Area	4,823sm Existing + 846sm Addition = 5,669 sm Total	
Zoning	118 H(15) / INZ	Institutional 1B	
	Bylaw Provisions	Proposed/Existing	Compliance
Minimum Lot Width	30m	147.50m (exist)	Complies
Minimum Lot Area	1,000 sm	23,208.0sm	Complies
Minimum Front Yard Setback	6m	26.1m (exist)	Complies
Minimum Rear Yard Setback	7.5m	38.7m	Complies
Minimum Interior Side Yard Setback	7.5m	14.0m (exist)	Complies
Minimum Corner Side Yard Setback	7.5m	N/A	N/A
Maximum Building Height	15.0m	7.1m (exist)	Complies
Required Parking (Schedule 1A - Area C) Rate = 1.5 per classroom (includes 19 exist classrooms + 6 exist kindergartens + 11 exist portables + 4 new classrooms + 2 new kindergartens = 42)	1.5 x 40 classrooms = 63 Spaces	59 existing spaces + 13 proposed = 72 provided	Complies
HC Parking Requirements	Based on 72 parking spaces provided = 1 Type A and 2 Type B required	1 existing Type A + 2 new Type B = 3 HC spaces provided	Complies
Required Bicycle Parking (1/100sm Gross Floor Area) existing school including 11 portables & new addition	1/100sm x 6,461sm = 65 spaces required	54 spaces (exist) + 9 new spaces = 66 provided	Complies
Required Loading Zones	1 Loading Zone = 3.5m(W) x 7m(L) x 4.2m(H) as per zoning Section 113 (V)	1 (exist)	Complies
Minimum Width of Landscaped Area (Landscape Buffer)	Abutting A Street = 3.0m	existing	existing
	Abutting B Street = 3.0m	existing	existing
	Other Cases - None	N/A	N/A
Landscaped Provisions for Parking Lots	Landscape buffer width: 3m abutting a street, 1.5m not abutting a street	existing	existing
	Refuse collection areas must be minimum 9.0m from property line abutting a street	existing	existing
	Refuse collection areas must be minimum 3.0m from other property lines	existing	existing
	Refuse collection area must be screened with minimum 2.0m height screen	existing	existing
	Minimum landscaped area of parking lot = 15%	existing	existing
		Parking lot area = 2423.46sm	Landscaped area around parking lot = 608sm = >15%

SYMBOL	DESCRIPTION
---	EXISTING TO REMAIN
- - - -	EXISTING TO BE DEMOLISHED
---	NEW CONSTRUCTION
---	EXISTING BUILDING TO REMAIN
---	NEW ADDITION
---	NEW CONCRETE WALK, SEE CIVIL
---	NEW SOD, SEE LANDSCAPE
---	NEW ASPHALT, SEE CIVIL
---	DEPRESSED CURB
---	EXISTING CONCRETE CURB
---	NEW CONCRETE CURB
(E)	EXISTING TO REMAIN
(X)	EXISTING TO BE DEMOLISHED
N	LIMITING DISTANCE
CC	NEW "COMPACT CAR PARKING ONLY" PARKING SIGN
HC	BARRIER FREE PARKING SIGN
B	EXISTING BOLLARD TO REMAIN
XX.XX	EXISTING GRADE ELEVATION
G	EXISTING GAS METER
FDC	EXISTING FIRE DEPARTMENT CONNECTION
↑	BUILDING ENTRANCE
↓	BUILDING EGRESS
WP	WALL PACK
BB	EXISTING BASKETBALL NET TO BE RELOCATED
PA	P.A. HORN, SEE ELECTRICAL
S	EXISTING SIGNAGE TO BE RELOCATED
HB	EXISTING HOSE BIB CONNECTION TO BE REMOVED
---	EXISTING FENCE TO BE REMOVED
---	EXISTING FENCE TO REMAIN
---	NEW GALVANIZED 1.2m HT. CHAIN-LINK FENCE

NO.	DESCRIPTION	DATE
05	ISSUED FOR TENDER	2026 MAY 07
04	ISSUED FOR SITE PLAN CONTROL	2026 APR 30
03	ISSUED FOR 85% REVIEW	2026 APR 10
02	ISSUED FOR 50% REVIEW	2026 MAR 06
01	ISSUED FOR CLIENT REVIEW	2025 DEC 04

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NO.	DESCRIPTION
1	REMOVE EXISTING PAINTED LINES
2	REMOVE EXISTING CURB
3	REMOVE PORTION OF EXISTING CONCRETE WALK & CURB
4	REMOVE EXISTING 1.5m x 1.2m HT. CHAIN LINK STEEL FENCE
5	REMOVE EXISTING ASPHALT - SEE CIVIL
6	REMOVE EXISTING TREE - SEE LANDSCAPE
7	EXISTING CONCRETE SIDEWALK TO REMAIN
8	PROTECT EXISTING PAD MOUNT TRANSFORMER & CONCRETE BOLLARDS TO REMAIN
9	PROTECT EXISTING TREE TO REMAIN - SEE LANDSCAPE
10	NEW PAINTED LINES, TYP.
11	NEW CONCRETE SIDEWALK - SEE CIVIL
12	NEW 12m WIDE CHAIN-LINK GATE
13	NEW PAIR OF 3.8m CHAIN LINK FENCE GATES
14	EXISTING PLAY STRUCTURE TO BE RELOCATED. SEE LANDSCAPE
15	RELOCATED PLAY STRUCTURE. SEE LANDSCAPE
16	REMOVE PORTION OF EXISTING GRASS
17	EXISTING GRASS TO REMAIN
18	NEW SOD ON NEW TOP SOIL
19	REMOVE & RELOCATE EXISTING OUTDOOR FURNITURE - SEE LANDSCAPE
20	NEW PLANTED TREE - SEE LANDSCAPE
21	REMOVE & RELOCATE EXISTING GROUND MOUNTED MUSICAL INSTRUMENTS & BASE. EXACT LOCATION TO BE CONFIRMED ON SITE.
22	REMOVE EXISTING COLUMN & CONCRETE BASE
23	REGRADE AROUND NEW DOOR TO PROVIDE FLUSH ACCESS. SEE CIVIL.
24	REMOVE & RELOCATE EXISTING WALL MOUNTED BASKETBALL HOOPS
25	REMOVE & RELOCATE EXISTING WALL MOUNTED SIGN
26	REMOVE & RELOCATE TWO (2) EXISTING SHEDS IN LOCATIONS SHOWN. PROVIDE NEW P.T. WOOD SLEEPERS/BASE AS REQUIRED.
27	REMOVE EXISTING SAND & SOIL. REFER TO CIVIL FOR NEW ASPHALT.
28	REMOVE EXISTING WOOD CURB.
29	NEW GALVANIZED 12M HT. CHAIN-LINK FENCE
30	SCRAPE, PREP, PRIME & REPAINT EXISTING RUSTING GARBAGE ENCLOSURE STEEL STRUCTURE.
31	REMOVE PLANTER BOX
32	OUTLINE OF NEW CANOPY ABOVE
33	PROVIDE NEW MIN. 3.7M X 4.0M 200MM GRAN. A PAD AS SHOWN
34	REMOVE EXISTING HEDGE - SEE LANDSCAPE
35	REMOVE EXISTING PORTABLE, SKIRT, STAIR & BASE. RELOCATE ON NEW GRANULAR PAD, 150MM GRAN. A MIN. GRADE & COMPACT TO OCSB STANDARD. REINSTATE C/W SALVAGED SKIRT & PROVIDE NEW STAIR.
36	REMOVE EXISTING CURB. PROVIDE NEW CONCRETE CURB AS PER CIVIL.
37	REINSTATE TRENCH - SEE CIVIL
38	RAMP TO PLAYGROUND - SEE LANDSCAPE
39	NEW STOCK TANK PLANTER - SEE LANDSCAPE
40	REMOVE EXISTING GRANULAR BASE & PROVIDE NEW SOIL/SOD.

OTTAWA CATHOLIC SCHOOL BOARD

570 WEST HUNT CLUB ROAD, NEPEAN, ON, K2G 3K4 (613)224-4455

SITE PLAN - LEGEND

EXISTING TO REMAIN

EXISTING TO BE DEMOLISHED

NEW CONSTRUCTION

EXISTING BUILDING TO REMAIN

NEW ADDITION

NEW CONCRETE WALK, SEE CIVIL

NEW SOD, SEE LANDSCAPE

NEW ASPHALT, SEE CIVIL

DEPRESSED CURB

EXISTING CONCRETE CURB

NEW CONCRETE CURB

EXISTING TO REMAIN

EXISTING TO BE DEMOLISHED

LIMITING DISTANCE

NEW "COMPACT CAR PARKING ONLY" PARKING SIGN

BARRIER FREE PARKING SIGN

EXISTING BOLLARD TO REMAIN

EXISTING GRADE ELEVATION

EXISTING GAS METER

EXISTING FIRE DEPARTMENT CONNECTION

BUILDING ENTRANCE

BUILDING EGRESS

WALL PACK

EXISTING BASKETBALL NET TO BE RELOCATED

P.A. HORN, SEE ELECTRICAL

EXISTING SIGNAGE TO BE RELOCATED

EXISTING HOSE BIB CONNECTION TO BE REMOVED

EXISTING FENCE TO BE REMOVED

EXISTING FENCE TO REMAIN

NEW GALVANIZED 1.2m HT. CHAIN-LINK FENCE

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SEAL

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PROJECT NORTH

P R PYE & RICHARDS - TEMPRANO & YOUNG ARCHITECTS INC.

824 Meath St. Suite 200 613.724.7700
Ottawa, ON K1Z 6E8 info@prty.ca

PROJECT

GUARDIAN ANGELS CATHOLIC SCHOOL ADDITION

4 BAYWOOD DRIVE OTTAWA, ONTARIO

DRAWING

SITE PLAN

PROJECT NO.	25032	DRAWING NO.	A100
SCALE	AS NOTED		
DRAWN -	DL		
CHECKED -	IR		
PLOT DATE -	11/05/2026	PLOTTED BY:	



OTTAWA CATHOLIC SCHOOL BOARD

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SITE PLAN - LEGEND

- EXISTING TO REMAIN
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SITE PLAN NOTES:

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GENERAL SITE NOTES:

1. SEE SITE SERVICES, ELECTRICAL & MECHANICAL DRAWINGS FOR UNDERGROUND UTILITIES LINES AND FOR NEW GRADING, EXCAVATE BACKFILL & PROVIDE CONCRETE TO REQUIREMENTS OF MECHANICAL, ELECTRICAL & SITE SERVICES DRAWINGS AND SPECIFICATIONS AND TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION
2. CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION FENCING ALONG PROPERTY LINE TO PROTECT THE PUBLIC DURING CONSTRUCTION.
3. CONTRACTOR TO REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES ON SITE PLAN WITH ACTUAL SITE CONDITIONS TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
4. CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AND AUTHORITIES PRIOR TO ANY EXCAVATION AND ASCERTAIN LOCATIONS OF UNDERGROUND SERVICES. CONTRACTOR IS TO COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
5. CONTRACTOR TO MAINTAIN POSITIVE SURFACE RUN-OFF THROUGHOUT ENTIRE CONSTRUCTION PERIOD.
7. NO PARKING LOT WORK CAN OCCUR WHILE THE SCHOOL YEAR IS IN SESSION.

REV.	DESCRIPTION	DATE
05	ISSUED FOR TENDER	2026 MAY 07
04	ISSUED FOR SITE PLAN CONTROL	2026 APR 30

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SEAL PROJECT NORTH

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T Y TEMPRANO & YOUNG
ARCHITECTS INC.

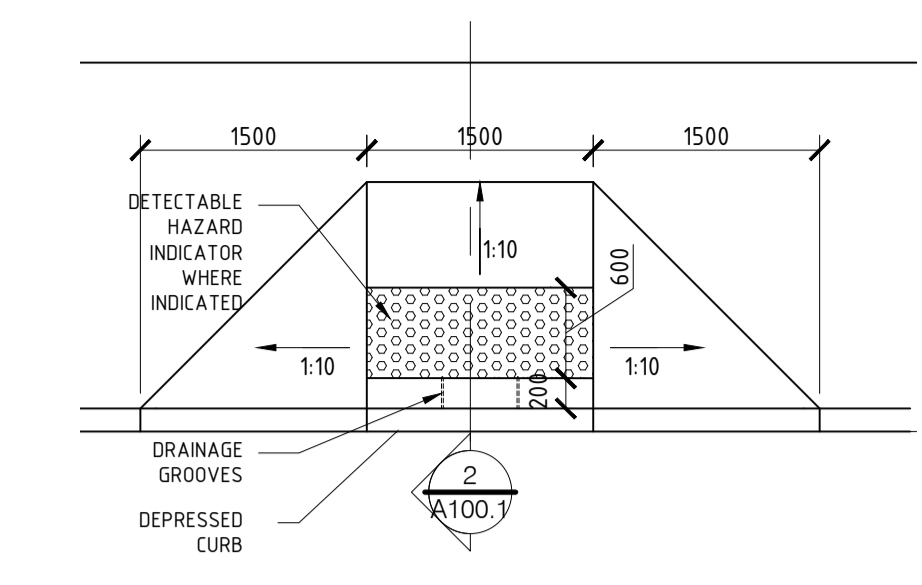
824 Meath St. Suite 200 613.724.7700
Ottawa, ON K1Z 6E8 info@prty.ca

GUARDIAN ANGELS CATHOLIC SCHOOL ADDITION

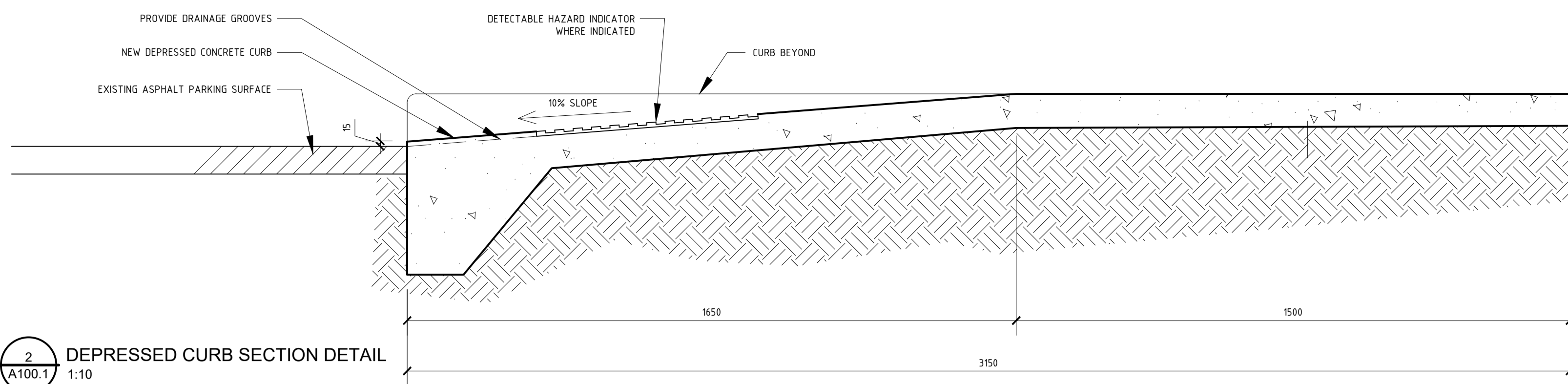
4 BAYWOOD DRIVE OTTAWA, ONTARIO

DRAWING ENLARGED SITE PLAN & SITE DETAILS

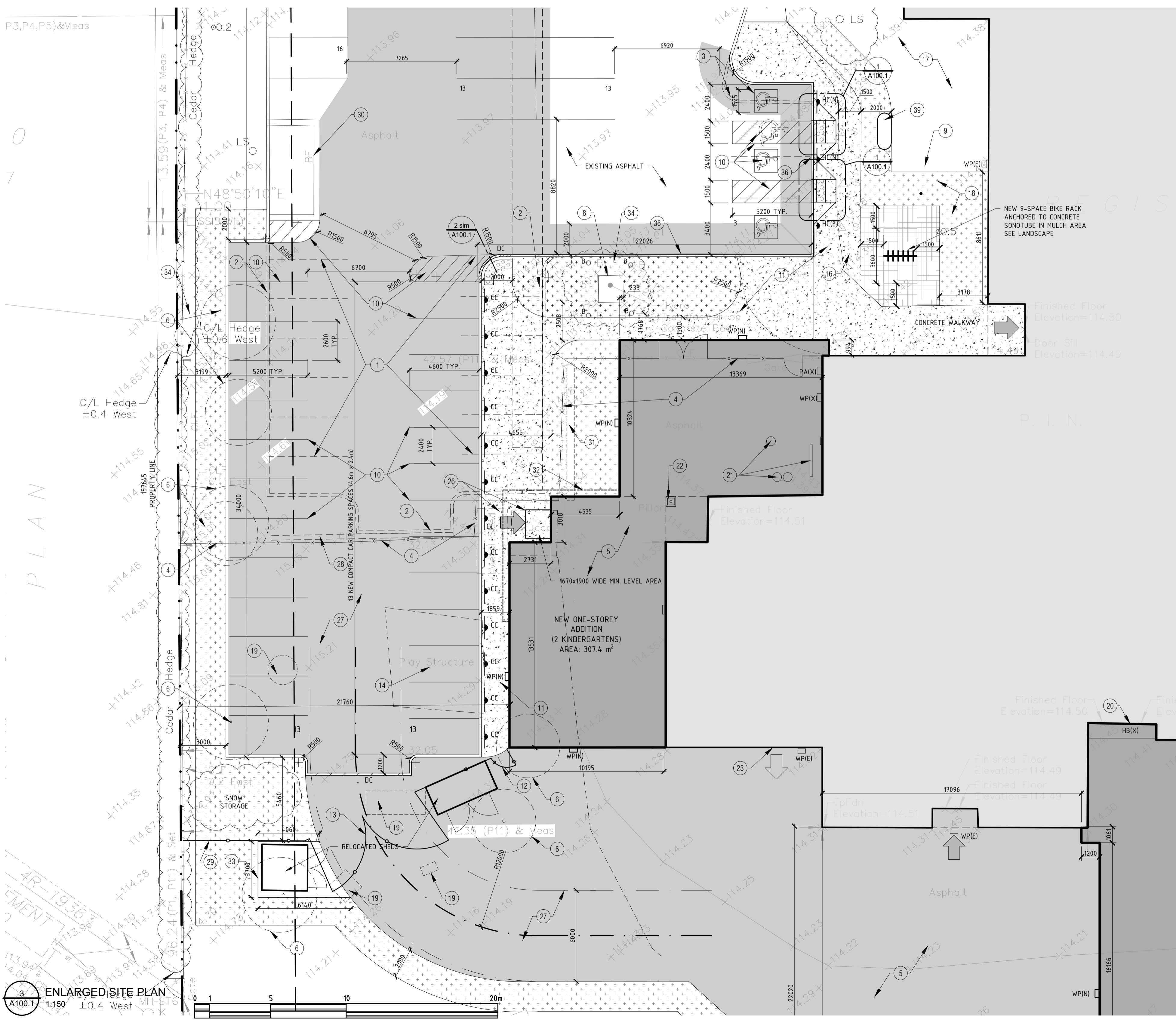
PROJECT NO.	25032	DRAWING NO.	A100.1
SCALE	AS NOTED		
DRAWN -	DL		
CHECKED -	IR		
PLOT DATE	-11/05/2026	PLOTTED BY:	



1 DEPRESSED CURB PLAN DETAIL 1:50



2 DEPRESSED CURB SECTION DETAIL 1:10



3 ENLARGED SITE PLAN 1:150 ±0.4 West