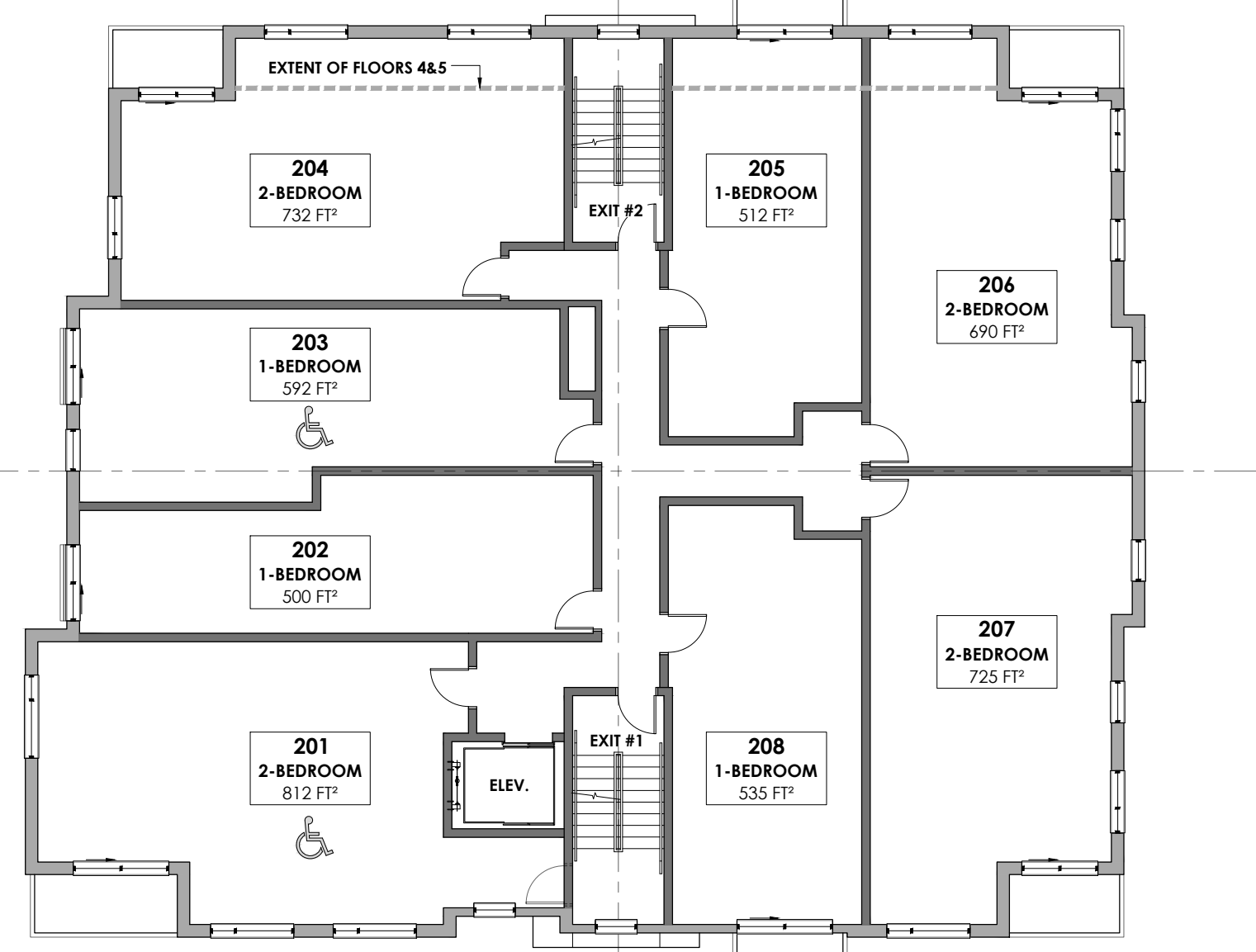
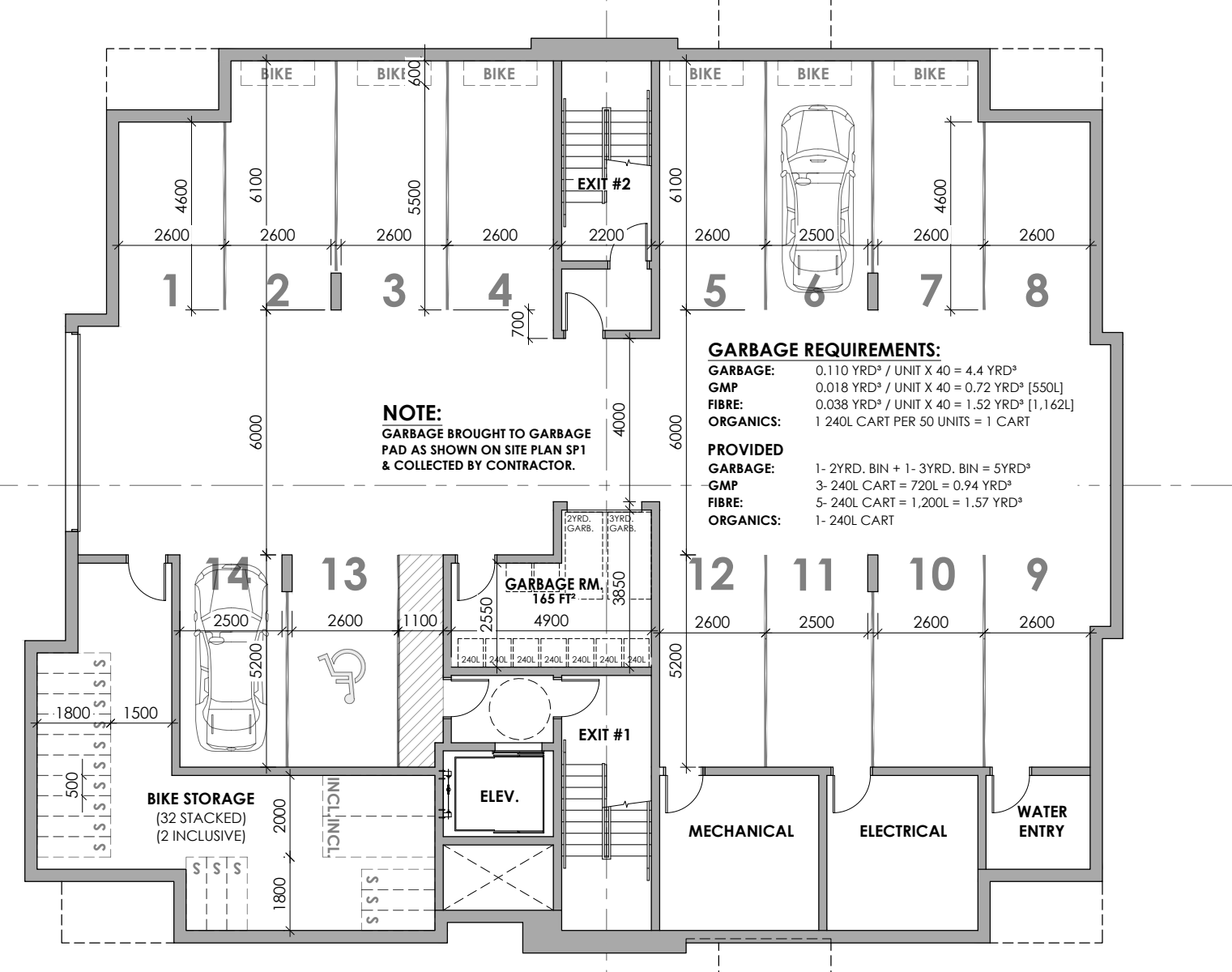


FLOORS 4 & 5
SCALE 1:150



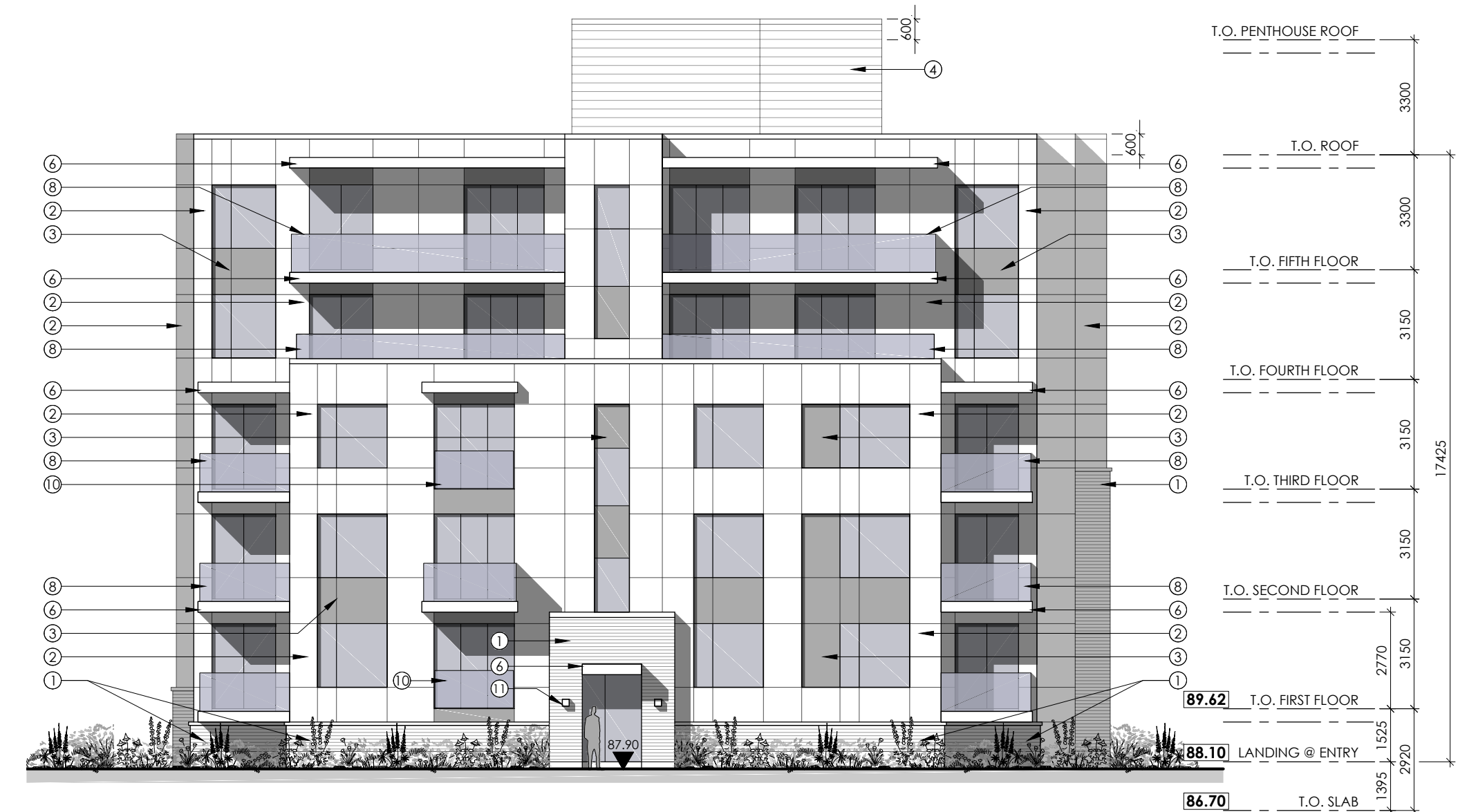
FLOORS 1 - 3
SCALE 1:150



BASEMENT FLOOR PLAN
SCALE 1:150

MATERIALS SCHEDULE:

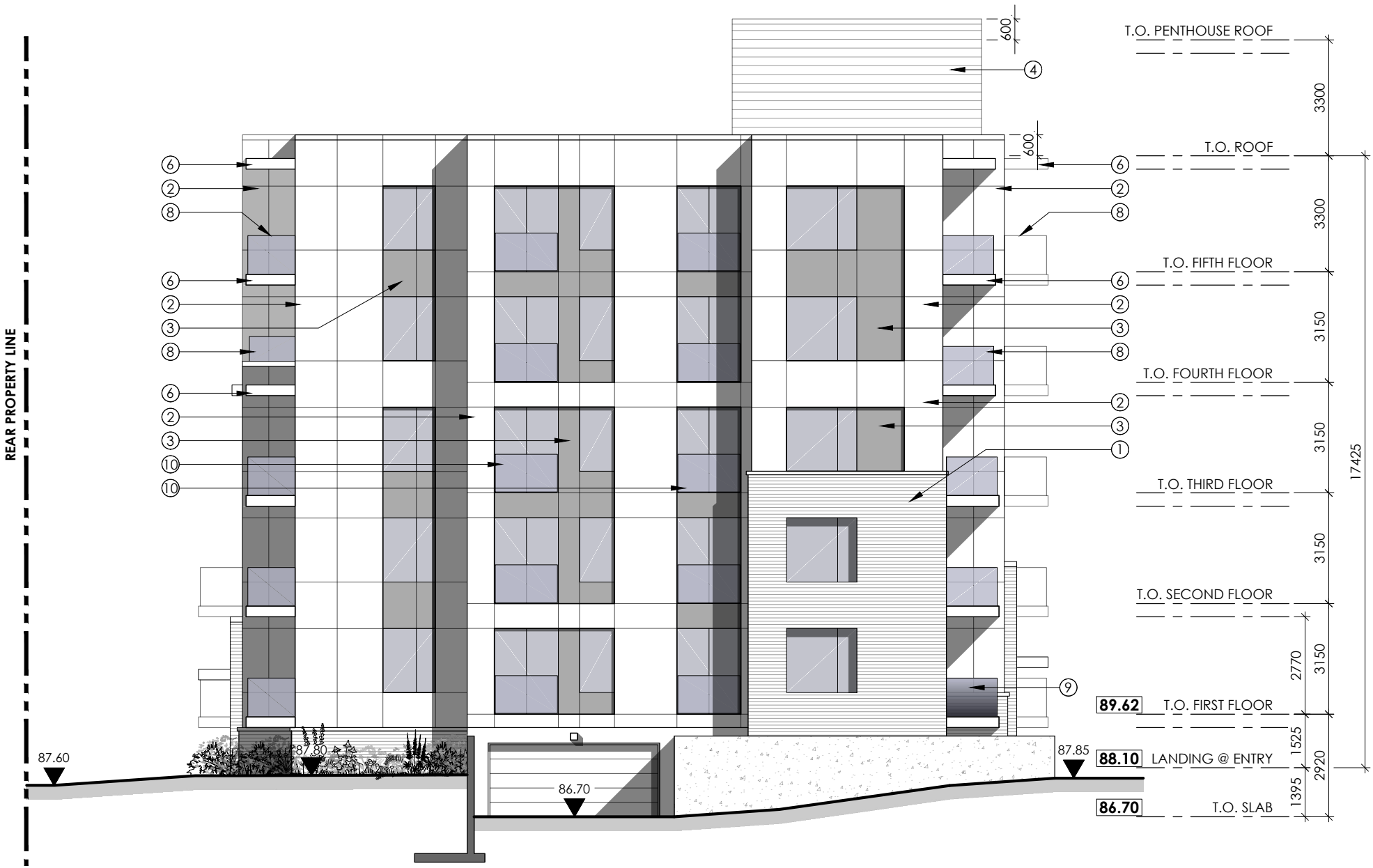
- BRICK VENEER
- METAL PANEL #1
- METAL PANEL #2
- STEEL SIDING-IDEAL ROOFING-URBAN ACCENT
- CORRUGATED STEEL SIDING
- PREFINISHED METAL
- PRECAST CONCRETE
- GLASS BALCONY GUARD
- FRITTED GLASS BALCONY GUARD
- GLASS JULIET BALCONY GUARD
- EXTERIOR LIGHT FIXTURE



REAR [NORTH] ELEVATION
SCALE 1:150



FRONT [BASELINE RD.] ELEVATION
SCALE 1:150



SIDE [WEST] ELEVATION
SCALE 1:150



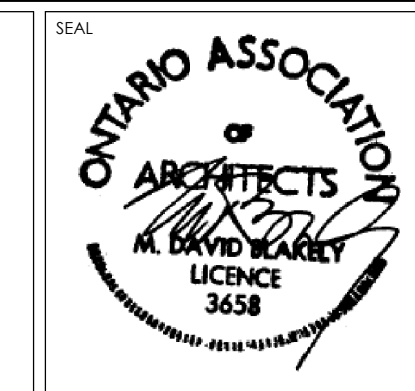
SIDE [EAST] ELEVATION
SCALE 1:150

M. David Blakely Architect Inc.
2330 Prince of Wales Dr., Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

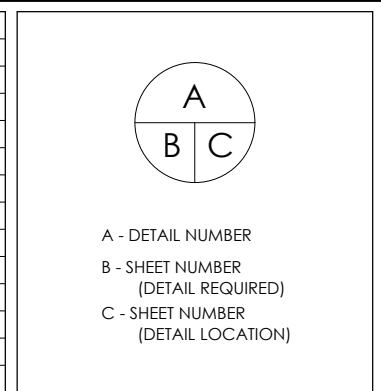
GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
WITHOUT THE AUTHORIZATION OF THE ARCHITECT 6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

OWNER: 760527 ONTARIO INC., 524 TRILBY COURT, OTTAWA, ON K2R 0A4
ARCHITECT: M. DAVID BLAKELY ARCHITECT INC., 2330 PRINCE OF WALES DR., SUITE 101 OTTAWA, ON K2E 6Z9 (613) 226-8811
CIVIL ENGINEER: ARCADIS PROFESSIONAL SERVICES (CANADA) INC., 333 PRESTON ST SUITE 500 OTTAWA, ON K1S 5N4 (613) 721-0555

LANDSCAPE ARCHITECT: JAMES B. LENNOX & ASSOCIATES INC., 3332 CARLING AVE NEPEAN, ON K2E 7S6 (613) 725-5168
SURVEYOR: ANNIS O'SULLIVAN VOLLEBEK LTD., 14 CONCORSE GATE, SUITE 500 NEPEAN, ON K2E 7S6 (613) 727-0850



No.	DATE/DAVY	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
12.				24.			
11.				23.			
10.				22.			
9.				21.			
8.				20.			
7.				19.			
6.				18.			
5.				17.			
4.	30/04/26	AS PER CITY COMMENTS ROUND #1/ FOR RESUBMISSION	MB	16.			
3.	20/02/26	GENERAL REVISIONS/ FOR RE-SUBMISSION	MB	15.			
2.	09/02/26	AS PER CITY COMMENTS/ FOR RE-SUBMISSION	MB	14.			
1.	08/01/26	FOR SITE PLAN SUBMISSION	MB	13.			



PROJECT: 1773 & 1767 BASELINE ROAD OTTAWA, ONTARIO
OWNER: 760527 ONTARIO INC., 524 TRILBY COURT OTTAWA, ON K2R 0A4

DRAWING TITLE: BUILDING ELEVATIONS FLOOR PLANS
DATE: JAN., 2026
SCALE: 1 : 150
DRAWN BY: mdb
CHECKED: MDB

SHEET NO.: A1

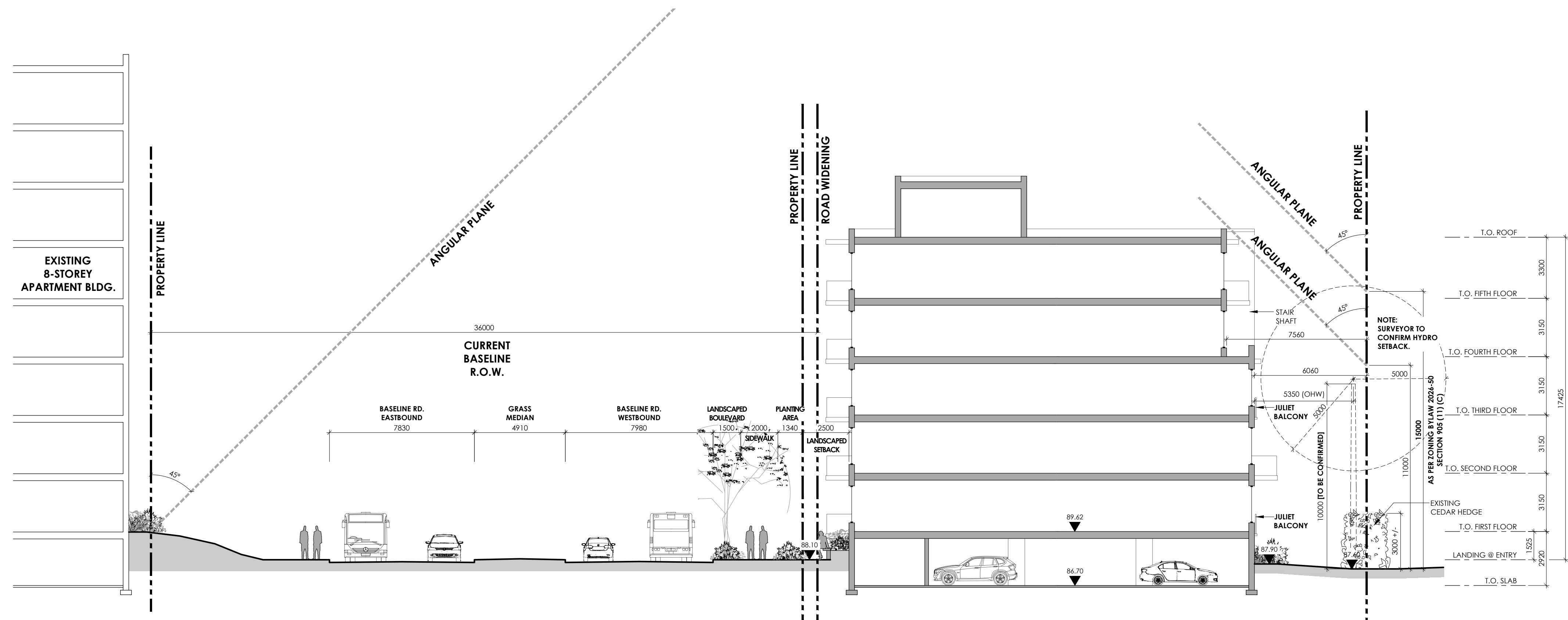
D07-12-25-0169



PERSPECTIVE VIEW #2 | BASELINE RD. EASTBOUND



PERSPECTIVE VIEW #1 | BASELINE RD. WESTBOUND



SECTION THROUGH BASLINE RD.

SCALE 1:150

M. David Blakely Architect Inc.
 2330 Prince of Wales Dr., Suite 101 Ottawa, Ontario
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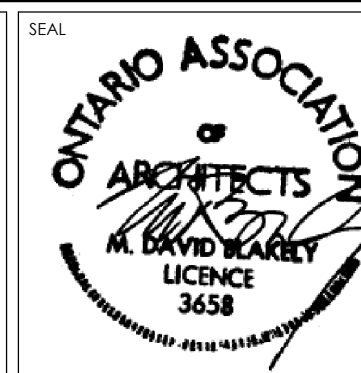
OWNER: 760527 ONTARIO INC.
 524 TRILBY COURT
 OTTAWA, ON K2R 0A4

ARCHITECT: M. DAVID BLAKELY ARCHITECT INC.
 2200 PRINCE OF WALES DR., SUITE 101
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 333 PRESTON ST SUITE 500
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 3332 CARLING AVE
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 14 CONCOURSE GATE, SUITE 500
 NEPEAN, ON K2E 7S6
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13.			

A - DETAIL NUMBER
 B - SHEET NUMBER (DETAIL REQUIRED)
 C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: 1773 & 1767
 BASELINE ROAD
 OTTAWA, ONTARIO

OWNER: 760527 ONTARIO INC.
 524 TRILBY COURT
 OTTAWA, ON K2R 0A4

DRAWING TITLE: SITE SECTION
 BUILDING RENDERINGS

DATE: JAN., 2026

SCALE: 1 : 150

SHEET NO.: A2

DRAWN BY: mdb

CHECKED: MDB

D07-12-25-0169