

LUSK DAYCARE
100 LUSK STREET, OTTAWA, ONTARIO



1 PERSPECTIVE VIEW
SPC-01



2 BIRDS EYE VIEW
SPC-01

ZONING INFORMATION
NOTE: All zoning definitions and requirements as per City of Ottawa Zoning By-laws 2008-250 and 2026-50. During the transition period, the most restrictive provision of either by-law governs. Exception [2265] provisions apply to both by-laws as confirmed by City Planner (Kelby).

ZONING MECHANISM		BY-LAW 2008-250 IP [2265] H12	BY-LAW 2026-50 IM [2265] H12	PROVIDED
IDENTIFICATION				
Address		100 Lusk Street, Ottawa, ON		
Definition	2008-250	IP [2265] H12 Business Park Industrial Zone	IM [2265] H12 Mixed Industrial Zone	Child Care Facility
EXCEPTION [2265] — Applies to Both By-laws				
Use Permission	Day Care / Child Care Facility	Permitted under exception [2265] (By-law 2019-449)	Permitted under exception [2265] (carried forward — confirmed by City Planner)	Child Care Facility Use confirmed by City Planner correspondence. Exception [2265] carries forward under 2026-50.
Min. Lot Area (Exception [2265])	Overrides base zone minimum	4,047 m²	4,047 m²	4,034.87 m² (source: geo Ottawa maps — 12.13 m² deficiency attributed to municipal corner triangle takeback. Accepted by City Planner — see correspondence.)
NOTE: The 4,047 m² minimum lot area is imposed by exception [2265] and applies under both by-laws. It supersedes the base IP zone minimum (750 m²) and base IM zone minimum (1,000 m²). The 12.13 m² shortfall is attributed to a City-initiated corner triangle dedication and has been accepted by the City Planner (Kelby). Written confirmation to be included as Schedule to SPC submission.				
LOT STANDARDS				
Min. Lot Width		No minimum	No minimum	No minimum — N/A
SETBACKS				
Min. Front Yard & Corner Side Yard Setback		6 m	3 m	6 m (governs: 2008-250 — most restrictive)
Min. Interior Side Yard Setback	(i) Abutting residential or institutional zone	6 m	15 m	N/A (no residential / institutional zone abutting — confirm on survey)
	(ii) All other cases	3 m	3 m	6 m (governs: either by-law — provided exceeds both)
Min. Rear Yard Setback	(i) Abutting residential or institutional zone	6 m	15 m	N/A (no residential / institutional zone abutting — confirm on survey)
	(ii) All other cases	6 m	3 m	6 m (governs: 2008-250 — most restrictive)
NOTE: Confirm with survey that no N1–N6 or INZ zone abuts the north or west property lines. If abutting residential/ institutional zone exists, interior side yard (IM) = 15 m and rear yard (IM) = 15 m. These would govern over 2008-250 and may not be satisfied by the 6 m provided setbacks.				
COVERAGE & MASSING				
Max. Lot Coverage		55%	65%	19.33% (governs: 2008-250 at 55% — well within limit)
Max. Building Height	(i) Within 20 m of residential / institutional zone	11 m	11 m	N/A (confirm no residential / institutional zone within 20 m)
	(ii) All other cases [H12 suffix overrides base zone]	12 m (H12 suffix)	12 m (H12 suffix)	±4.5 m to top of parapet (well within 12 m limit)
NOTE: The H12 suffix on both zone designations caps maximum building height at 12 m, overriding the base zone 22 m general provision. The drawing previously showed 11 m required — corrected to 12 m per H12 suffix.				
Max. Floor Space Index (FSI)		2.0	Not specified (IM Table 1003)	0.19 (GFA 780 m² / lot 4,034.87 m²)
LANDSCAPING				
Min. Width of Landscaped Area	(i) Abutting residential or institutional zone	6 m (may be reduced to 1 m with 1.4 m opaque screen)	3 m	N/A (no residential / institutional zone abutting — confirm)
	(ii) Abutting a street	3 m	3 m	3 m (at minimum — maintain precisely along Lusk St. frontage)
	(iii) All other cases	0 m (IP: no min.)	0 m (IM: no min.)	3 m min. provided (landscape buffer all sides)
PARKING (Area C: Suburban — Parking Provisions By-law)				
Parking Rate — Day Care / Child Care	Area C: Suburban	2.0 spaces / 100 m² GFA	2.0 spaces / 100 m² GFA	GFA = 780 m² → required: 16 spaces
Standard Parking Space Dimensions		2.6 m × 5.2 m	2.6 m × 5.2 m	2.6 m × 5.2 m ✓
Reduced Parking Space	Max. 40% of total	2.4 m × 4.6 m (max. 40%)	2.4 m × 4.6 m (max. 40%)	2.4 m × 4.6 m — 11% of total (2 of 18 spaces = 11% < 40% max ✓)
Accessible Parking Spaces	Type A: 3.4 m × 5.2 m Type B: 2.4 m × 5.2 m	2 spaces required	2 spaces required	2 spaces provided (1 × Type A + 1 × Type B) ✓
Total Parking Provided		16 required	16 required	18 spaces total (16 standard + 2 accessible) Meets requirement exactly at standard rate. No surplus capacity — any GFA increase triggers additional spaces.
Handicap Accessible Parking		2	2	2 ✓
Loading Spaces		N/A	N/A	N/A
Bicycle Parking	1 per 250 m² GFA	4 spaces required	4 spaces required	4 bicycle spaces provided ✓
OFFICIAL PLAN				
Official Plan Designation		Schedule B6 — Suburban, Mixed Industrial		

PROPERTY INFORMATION:

LEGAL DESCRIPTION:

BLOCK 01
REGISTERED PLAN 4M-1634
P.I.N. 04467-1980
CITY OF OTTAWA

PROJECT CONTACT INFORMATION:

PROPERTY OWNER: ZAHRA MAHAMED · DOLPHIN TALE DAY CARE
OTTAWA, ONTARIO
PHONE: (613) 263-5791

ARCHITECT: ATELIER 292 ARCHITECT INC.
292 MAIN STREET
OTTAWA, ONTARIO, K1S 1E1
PHONE: (613) 231-2245, FAX: (613) 234-3176

CIVIL ENGINEER: KRIS KILBORN — STANTEC CONSULTING LTD.
300-1331 CLYDE AVENUE WALGREEN ROAD
OTTAWA, ONTARIO, K2C 3G4
PHONE: (613) 297-0571

LANDSCAPE ARCHITECT: GINO J AIELLO — LANDSCAPE ARCHITECT,
110 DIDSBURY ROAD UNIT 9
OTTAWA, ONTARIO, K2T 0C2
PHONE: (613) 852-1343

PROJECT INFORMATION:

OCCUPANCY: GROUP A, DIVISION 2 — ASSEMBLY
BUILDING AREA (FOOTPRINT): 780 m²
GROSS FLOOR AREA: 780 m²
NUMBER OF STOREYS: 1
BUILDING HEIGHT: +/- 4.5m (TO TOP OF PARAPET)
BUILDING SPRINKLERED: NO
OF STREET ACCESS ROUTES: 1
BUILDING CLASSIFICATION: 3.2.2.22 — GROUP A, DIV. 2, 1 STOREY
CONSTRUCTION TYPE PERMITTED: COMBUSTIBLE OR NON-COMBUSTIBLE
CONSTRUCTION TYPE PROPOSED: NON-COMBUSTIBLE
CLADDING TYPE: NON-COMBUSTIBLE

DRAWING INDEX

SPC-01 PROJECT INFORMATION; ZONING
SPC-02 SITE PLAN; TYP. DETAILS
SPC-03 ELEVATIONS
SPC-04 FLOOR PLAN; ROOM DATA MATRIX

KEY PLAN - SITE

ATELIER 292 ARCHITECT INC.

292 main street
ottawa ontario k1s 1e1 canada
tel: 613 / 231.2245 fax: 613 / 234.3176
www.atelier292.com

DESIGNER
CERTIFIED
PASSIVE HOUSE
DESIGNER

GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO MANUFACTURING OR CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- THIS DRAWING SET IS THE EXCLUSIVE PROPERTY OF ATELIER 292 ARCHITECT INC. COPYRIGHT RESERVED.

IMPORTANT NOTE :

THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. THE CONTRACTOR MAY BE REQUIRED TO CORRECT THEM AT HIS OWN COST.

Dolphin Tale Child Care

2026-04-29 SITE PLAN CONTROL
DATE ISSUED FOR

PROJECT NORTH:
N00°0'0"E
N045°0'0"E
E090°0'0"E
S045°0'0"E
S090°0'0"E
W090°0'0"E
W045°0'0"E

ARCHITECT'S SEAL:
OF ARCHITECTS
GAETAN J. DE VILLE
LICENCE 11260

PROJECT NAME:
100 LUSK CHILD CARE FACILITY
100 LUSK STREET, OTTAWA, ON

DRAWING NAME:
PROJECT INFORMATION; ZONING

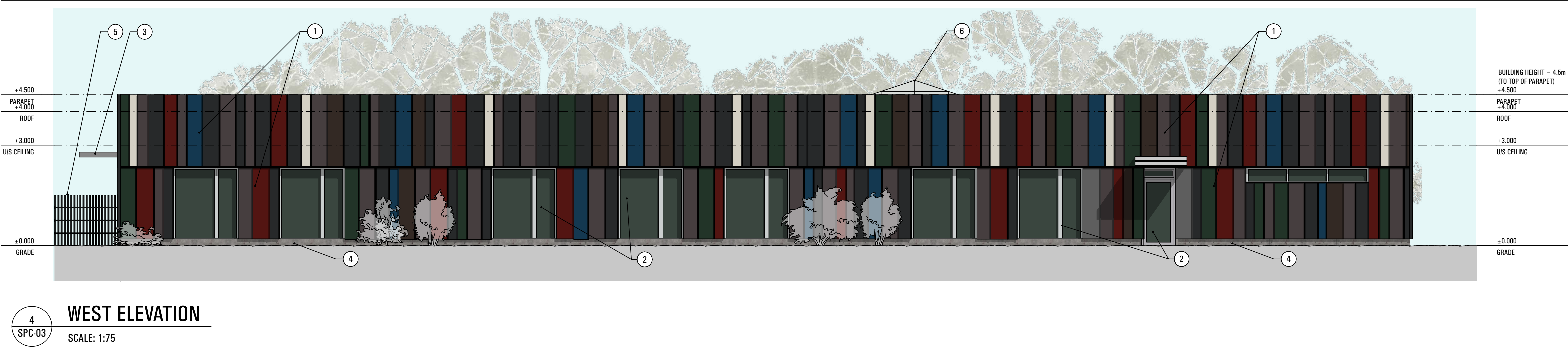
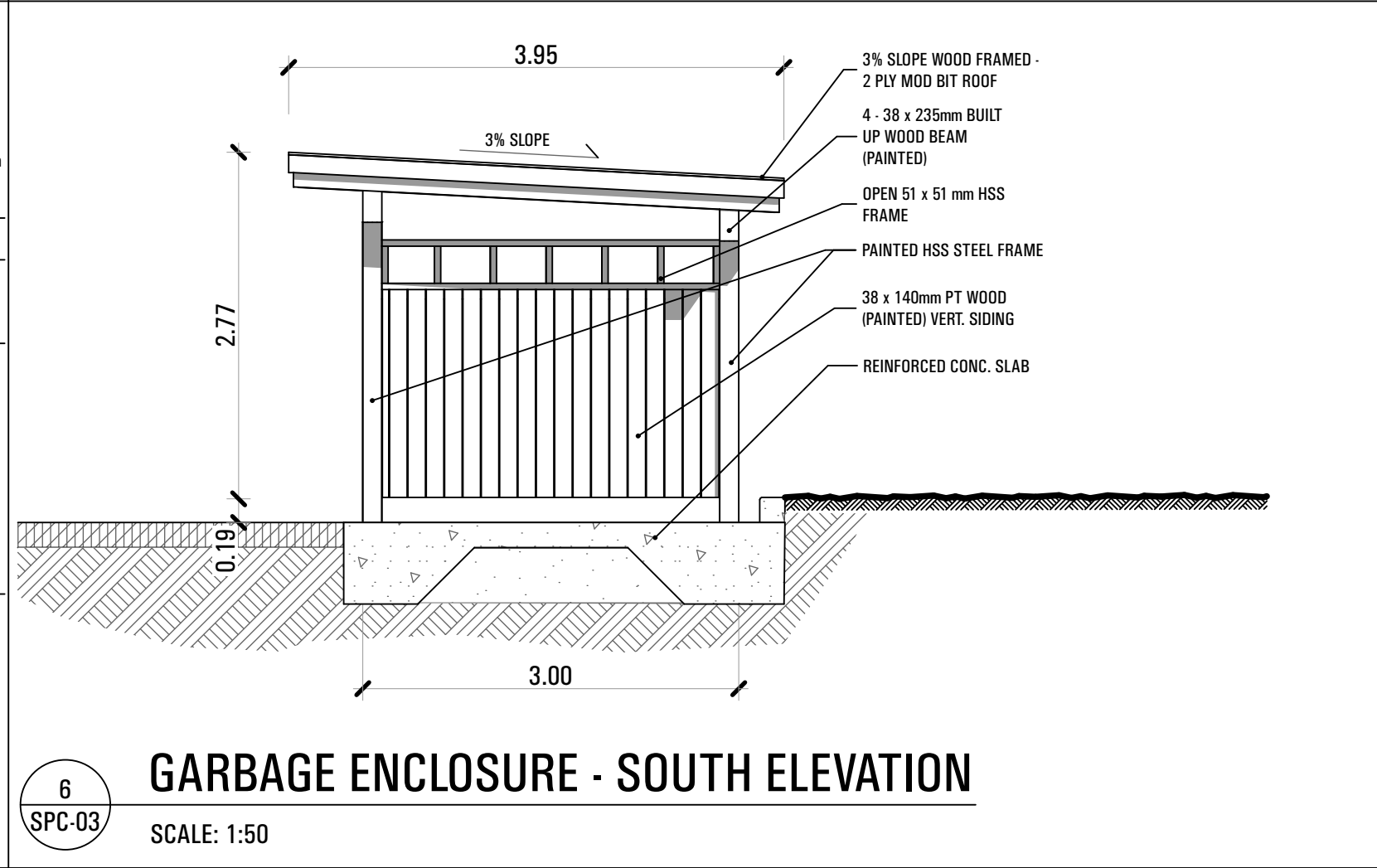
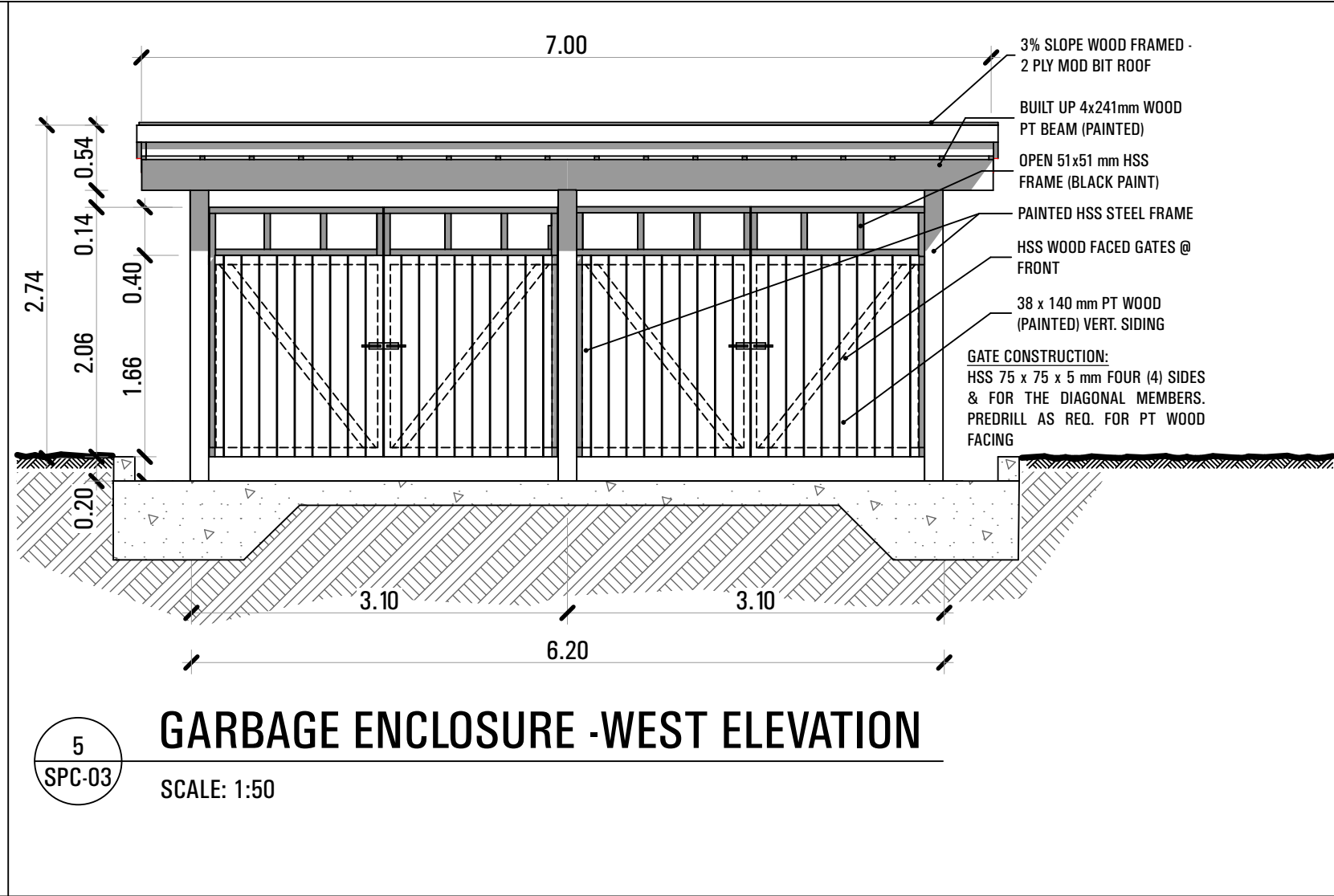
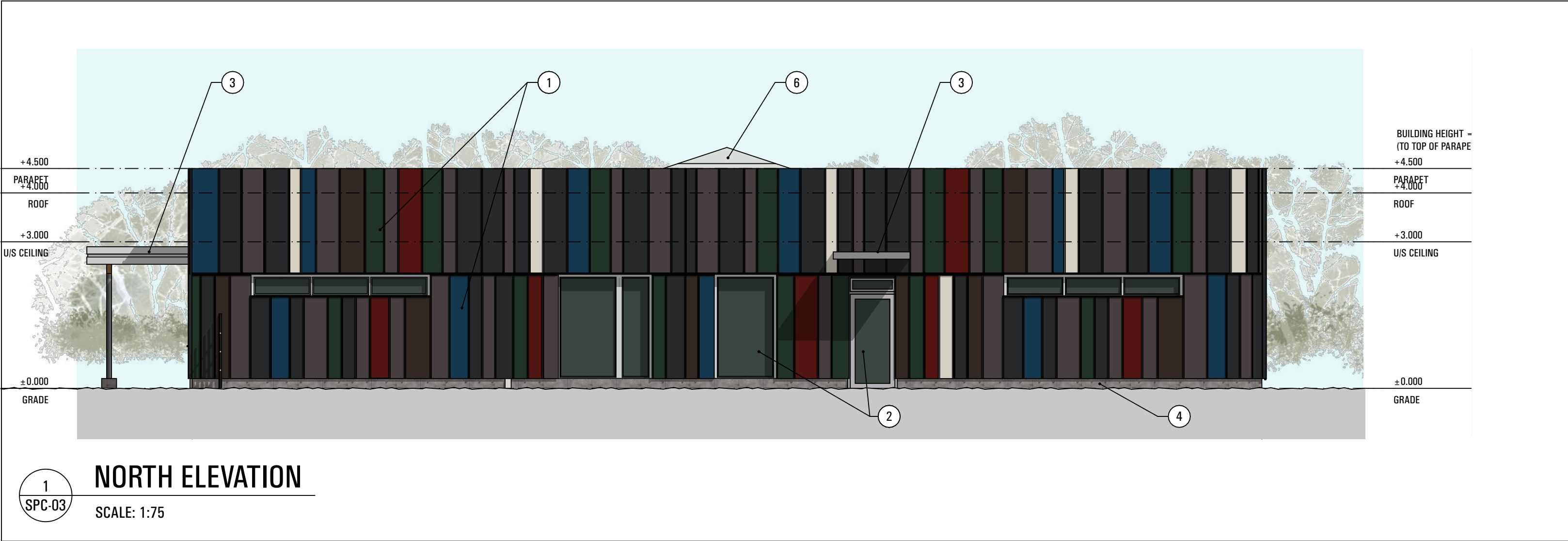
DATE: 2026-04-29
PROJECT NO.: 2523
DRAWN BY: PF, GD
CHECKED BY: PF
DRAWING NO.:

SPC FILE No. D07-12-20-0110 | PRE-CONSULTATION FILE No. PC2025-0225

SPC-01



SPC-02



EXTERIOR MATERIALS LEGEND		
100 LUSK DAYCARE – EXTERIOR CLADDING		
KEY	MATERIAL / SYSTEM	DESCRIPTION
1	MAC METAL M51 MODULAR SIDING	VERTICAL CONCEALED FASTENER STEEL PANEL SYSTEM
2	HIGH-PERFORMANCE WINDOWS & DOORS	FRAME COMPOSITION TBD – TO BE DEVELOPED AT DESIGN DEVELOPMENT STAGE
3	ENTRY CANOPY	PAINTED STEEL ROUND COLUMNS WITH FINISHED WOOD BEAM @ MAIN ENTRANCE
4	CONCRETE – BASE / FOUNDATION	CONCRETE FOUNDATION WALL AT GRADE
5	METAL PICKET FENCING	1500mm MIN. HEIGHT TO PLAY AREA ENCLOSURE
6	SKYLIGHT(S)	GLAZED ROOF UNITS – MANUFACTURER AND PROFILE TBC
7	LIMESTONE LANDSCAPE WALL	LOW LIMESTONE WALL – 600mm HEIGHT TYP.
8	BUILDING SIGNAGE	DAYCARE IDENTIFICATION SIGNAGE ABOVE MAIN ENTRY CANOPY – DESIGN AND MATERIAL TBC
		COLOURS / NOTES
		AUTUMN BLUE, SANDSTONE RED, CHARCOAL GREY, DARK BROWN, ENGLISH GREEN, TITANIUM WHITE, SLATE GREY
		–
		COLOUR TO MATCH ADJACENT PANEL SYSTEM – CONFIRM WITH ARCHITECT
		NATURAL FINISH UNLESS OTHERWISE NOTED
		FINISH AND COLOUR TBC
		–
		FINISH AND COLOUR TBC
		NON-ILLUMINATED

ATELIER 292 ARCHITECT INC.
292 main street
ottawa ontario k1s 1e1 canada
tel: 613 / 231.2245 fax: 613 / 234.3176
www.atelier292.com



GENERAL NOTES:

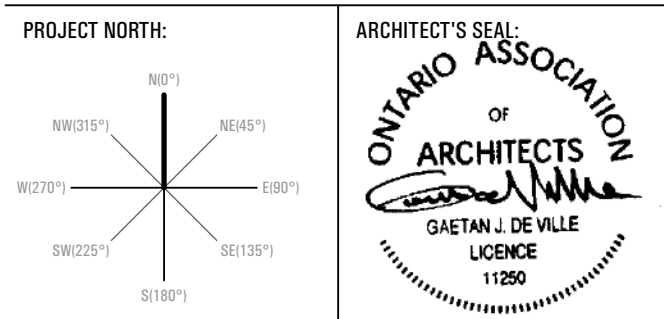
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO MANUFACTURING OR CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- THIS DRAWING SET IS THE EXCLUSIVE PROPERTY OF ATELIER 292 ARCHITECT INC. COPYRIGHT RESERVED.

IMPORTANT NOTE :

THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. THE CONTRACTOR MAY BE REQUIRED TO CORRECT THEM AT HIS OWN COST.



2026-04-29	SITE PLAN CONTROL
2026-04-10	COORDINATION
2025-04-01	CLIENT REVIEW
2025-08-11	SPC PRE-CONSULTATION
DATE	ISSUED FOR

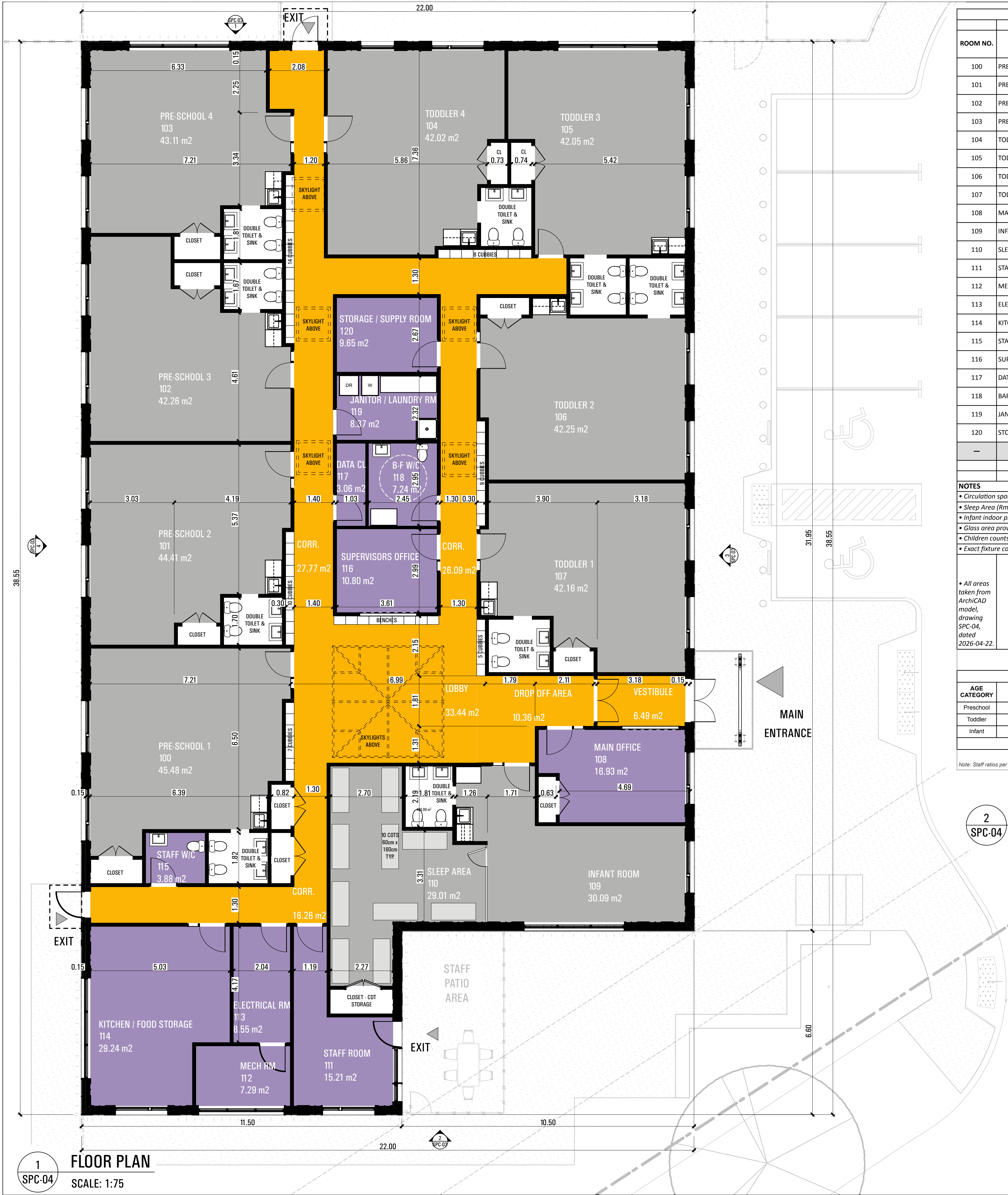


PROJECT NAME:
100 LUSK CHILD CARE FACILITY
100 LUSK STREET, OTTAWA, ON

DRAWING NAME:
ELEVATIONS

DATE: 2026-04-29
PROJECT NO.: 2523
DRAWN BY: PF, GD
CHECKED BY: PF
DRAWING NO.:

SPC-03



1 FLOOR PLAN
SCALE: 1:75
SPC-04

100 LUSK STREET – DAYCARE PROGRAM MATRIX								
ROOM NO.	ROOM NAME	AGE CATEGORY	AREA REQUIRED (m²) MINISTRY	AREA PROVIDED (m²)	GLASS AREA REQUIRED (m²) 10% OF FLOOR AREA	GLASS AREA PROVIDED (m²)	CHILDREN	STAFF
100	PRE-SCHOOL 1 CLASSROOM	Preschool	44.80	45.48	4.55	COMPLIES	16	2
101	PRE-SCHOOL 2 CLASSROOM	Preschool	42.00	44.41	4.44	COMPLIES	15	2
102	PRE-SCHOOL 3 CLASSROOM	Preschool	42.00	42.26	4.23	COMPLIES	15	2
103	PRE-SCHOOL 4 CLASSROOM	Preschool	42.00	43.11	4.31	COMPLIES	15	2
104	TODDLER 4 CLASSROOM	Toddler	42.00	42.02	4.20	COMPLIES	15	3
105	TODDLER 3 CLASSROOM	Toddler	42.00	42.05	4.21	COMPLIES	15	3
106	TODDLER 2 CLASSROOM	Toddler	42.00	42.25	4.23	COMPLIES	15	3
107	TODDLER 1 CLASSROOM	Toddler	42.00	42.16	4.22	COMPLIES	15	3
108	MAIN OFFICE	Support	-	16.93	1.69	COMPLIES	-	-
109	INFANT ROOM	Infant	28	30.09	3.009	COMPLIES	10	3
110	SLEEP AREA (INFANT)	Infant	-	29.01	N/A	N/A	-	-
111	STAFF ROOM	Support	-	15.21	N/A	N/A	-	-
112	MECH RM	Support	-	7.29	N/A	N/A	-	-
113	ELECTRICAL RM	Support	-	8.55	N/A	N/A	-	-
114	KITCHEN / FOOD STORAGE	Support	-	29.24	N/A	N/A	-	-
115	STAFF W/C	Support	-	3.88	N/A	N/A	-	-
116	SUPERVISOR'S OFFICE	Support	-	10.80	1.08	COMPLIES	-	-
117	DATA CLOSET	Support	-	3.06	N/A	N/A	-	-
118	BARRIER-FREE W/C	Support	-	7.24	N/A	N/A	-	-
119	JANITOR / LAUNDRY RM	Support	-	8.37	N/A	N/A	-	-
120	STORAGE / SUPPLY ROOM	Support	-	9.65	N/A	N/A	-	-
—	TOTAL OCCUPANTS	—	—	—	—	—	131	23

NOTES

- Circulation spaces (corridors, lobby, vestibule, drop-off) are excluded from this matrix; included in building GFA of 780 m² shown in Summary sheet.
- Sleep Area (Rm 110) is ancillary to Infant Room (Rm 109); area not counted toward licensed child capacity.
- Infant indoor program area is shown at 2.8 m²/child; infant count limited to 10 children per MOE group cap.
- Glass area provided is to be confirmed from net clear glazed area, not rough opening.
- Children counts shown are preliminary proposed planning counts based on current schematic layout.
- Exact fixture counts and final staff numbers to be confirmed at permit / licensing stage.

• All areas taken from ArchiCAD model, drawing SPC-04, dated 2026-04-22.

CCEYA STAFF-TO-CHILDREN RATIO SUMMARY						
AGE CATEGORY	ROOMS	CHILDREN (TOTAL)	CCEYA RATIO (STAFF : CHILDREN)	MIN. STAFF REQUIRED	STAFF PROVIDED	STATUS
Preschool	100–103	61	1 : 8	8	8	✓ COMPLIES
Toddler	104–107	60	1 : 5	12	12	✓ COMPLIES
Infant	109	10	3 : 10	3	3	✓ COMPLIES
TOTAL		131	—	23	23	✓ COMPLIES

Note: Staff ratios per Ontario Child Care and Early Years Act (CCEYA) O. Reg. 137/15. Min. staff = CEILING(children ÷ ratio, 1). Staff counts to be confirmed at licensing stage.

2 ROOM DATA MATRIX
SPC-04

ATELIER 292 ARCHITECT INC.
292 main street
ottawa ontario k1s1e1 canada
tel 613 / 231.2245 fax 613 / 234.3176
www.atelier292.com



GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO MANUFACTURING OR CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- THIS DRAWING SET IS THE EXCLUSIVE PROPERTY OF ATELIER 292 ARCHITECT INC. COPYRIGHT RESERVED.

IMPORTANT NOTE :

THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. THE CONTRACTOR MAY BE REQUIRED TO CORRECT THEM AT HIS OWN COST.



2026-04-29 SITE PLAN CONTROL

2026-04-10 CONSULTANT COORDINATION

2026-04-01 CLIENT REVIEW

2026-03-27 CONSULTANT COORDINATION

2025-08-11 SPC PRE-CONSULTATION

PROJECT NORTH:

ARCHITECT'S SEAL:
ONTARIO ASSOCIATION
OF
ARCHITECTS
GAETAN J. DE VILLE
LICENCE
11260

PROJECT NAME:
100 LUSK CHILD CARE FACILITY
100 LUSK STREET, OTTAWA, ON

DRAWING NAME:
FLOOR PLAN; ROOM DATA MATRIX

DATE: 2026-04-29
PROJECT NO.: 2523
DRAWN BY: PF, GD
CHECKED BY: PF
DRAWING NO.: SPC-04