

**RICKSON  
OUTHET  
ARCHITECT**

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**OWNER / CLIENT**  
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PLAYVALUE TOYS  
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Carp, ON, K0A 1L0  
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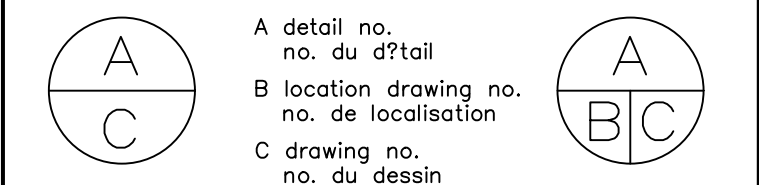
**STRUCTURAL ENGINEER**  
Moses Structural Engineers Inc.  
366 Adelaide Street West, Suite LL04,  
Toronto, ON, M5V 1R7  
Tel: 416-255-3337  
www.mosesstructures.com

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Nepean@aovltd.com

**CIVIL ENGINEERING**  
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110 Dossetter Way,  
Ottawa, Ontario K1G 4S5  
Tel: 613-739-0776  
ceg@rogers.com

**MECHANICAL & ELECTRICAL ENGINEERS**  
JRP ENGINEERING  
PROFESSIONAL ENGINEERS  
9 HOLGATE COURT,  
KANATA, ON, K2K 1B4  
Tel: 613 627 2462 E: admin@jrpeng.com

2	REVISED	MAY 13 22
1	SITE PLAN CONTROL RESPONSE #2	AUG 27 21
revision		date



project **PLAYVALUE TOYS** projet

130 DAVID MANCHESTER ROAD

drawing **OBC MATRIX, DRAWING LIST & SITE PLAN DETAILS** dessin

designed J.G. date APRIL 27 2020

drawn J.G. date APRIL 20 20

revised R.O. date APRIL 22 2020

approved R.O. date APRIL 27 20

tender R.O. date TBD

project no. 2020-06 no. du projet  
drawing no. A-0 no. du dessin

**DRAWING LIST**

**ARCHITECTURAL:**

- A0 SITE PLAN
- A0a SITE DETAILS
- A1 GROUND FLOOR PLAN
- A1A ROOF PLAN
- A2 ELEVATIONS
- A3 ELEVATIONS & CROSS SECTION
- A4 WALL SECTIONS & CONCRETE STAIR PLAN & SECTION
- A5 INTERIOR WALL ELEVATION, DOOR, FRAME & HARDWARE
- A6 OUTLINE SPECIFICATIONS

**STRUCTURAL:**

- S001 GENERAL NOTES
- S002 GENERAL NOTES
- S003 GENERAL NOTES
- S004 TYPICAL DETAILS
- S100 FOUNDATION AND GROUND FLOOR PLAN
- S101 ROOF PLAN
- S200 SECTIONS
- S201 SECTIONS
- S202 SECTIONS
- S203 SECTIONS
- S204 SECTIONS

**MECHANICAL:**

- M1 MECHANICAL LEGEND, GENERAL NOTES & DRAWING LIST
- M2 WAREHOUSE ADDITION - PLUMBING & PROPANE GAS
- M3 WAREHOUSE ADDITION - ROOF DRAINAGE
- M4 WAREHOUSE ADDITION - HVAC SYSTEMS
- M5 MECHANICAL SPECIFICATIONS

**ELECTRICAL:**

- E1 ELECTRICAL LEGEND, GENERAL NOTES, SINGLE LINE DIAGRAM
- E2 REFLECTED CEILING PLAN
- E3 DISTRIBUTION
- E4 SPECIFICATIONS

**CIVIL:**

- G1 SERVING, GRADING & DRAINAGE PLAN
- G2 EROSION & SEDIMENT CONTROL PLAN

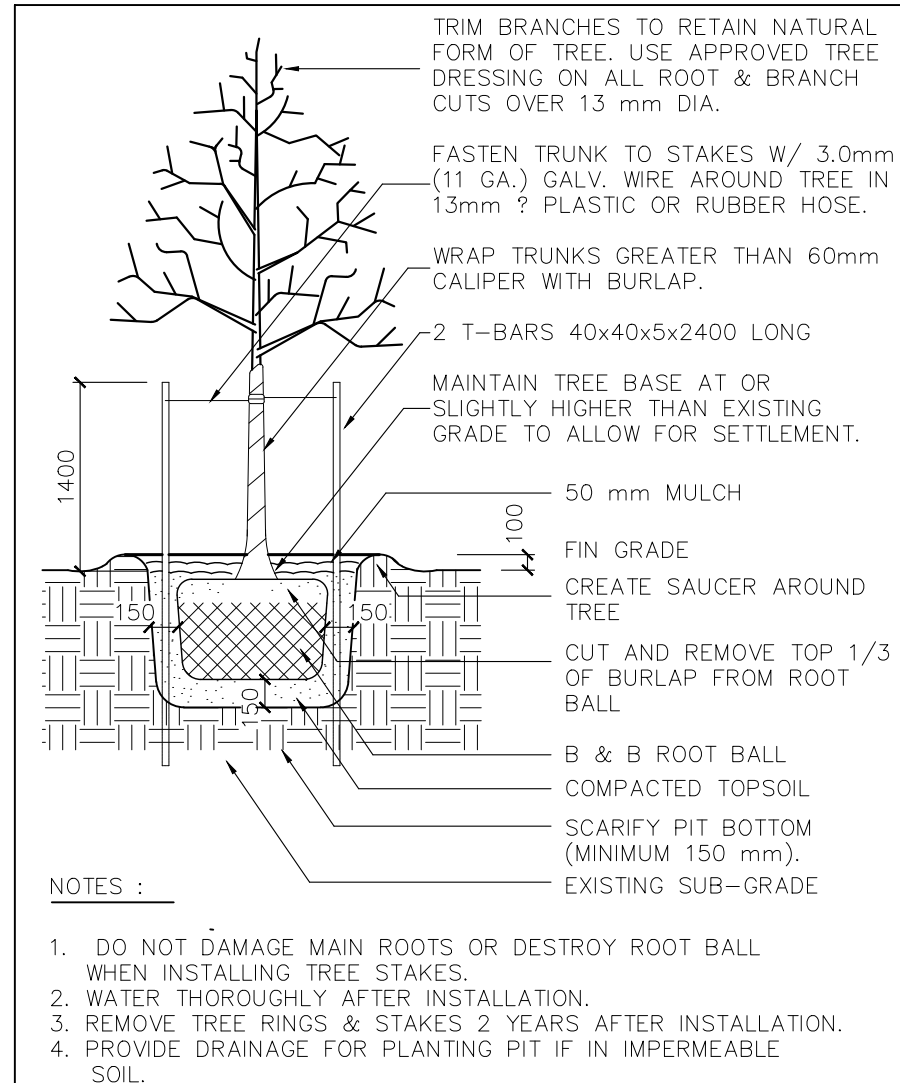


The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN.

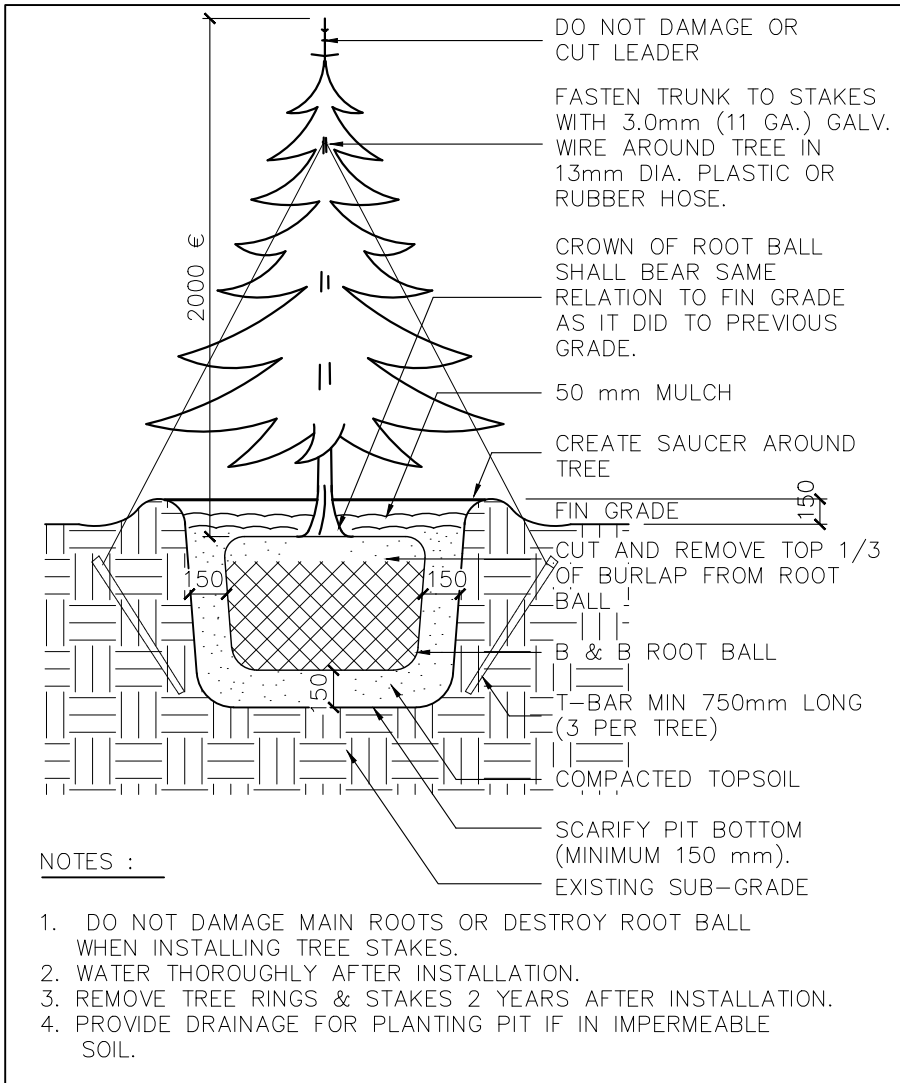
<b>Firm Name:</b> Rickson Ouhet Architect <b>Certificate of Practice Number:</b> 319 Daly Avenue Ottawa, Ontario The Certificate of Practice Number of the holder is the holder's BCDN.	
<b>Name of Project:</b> Playvalue Toys - Expansion	
<b>Location:</b> 130 David Manchester Road Ottawa, Ontario	
<b>Description:</b> New warehouse addition	

Item	Ontario Building Code Data Matrix Parts 3 & 9	OBC Reference																																																																		
1	Project Description: <input type="checkbox"/> New <input checked="" type="checkbox"/> Part 11 11.1 to 11.4 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 2.1.1 2.1.1 <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration 11.1.1 to 11.1.4 2.1.1 9.10.1.3																																																																			
2	Major Occupancy(s): Retail store (E) & Warehouse (F2)	3.1.2.1.(1) 9.10.2																																																																		
3	Building Area (m <sup>2</sup> ): Existing 1 282.5 New 1 500 Total 1 782.5	1.1.3.2 1.1.3.2																																																																		
4	Gross Area: Existing 1 498.5 New 1 500 Total 2 998.5	1.1.3.2 1.1.3.2																																																																		
5	Number of Storeys: Above grade 1 Below grade 0	3.2.1.1 & 1.1.3.2 2.1.1.3																																																																		
6	Number of Streets/Fire Fighter Access (x3) David Manchester Road & Fire Routes	3.2.2.10 & 3.2.5. 9.10.19																																																																		
7	Building Classification: E - 3.2.2.61 & F2- 3.2.2.71	3.2.2.20-83 9.10.4																																																																		
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.20-83 9.10.8 3.2.1.5 3.2.2.17																																																																		
9	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing	3.2.9 N/A																																																																		
10	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing	3.2.4 9.10.17.2																																																																		
11	Water Service/Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing	3.2.5.7 N/A																																																																		
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing	3.2.6 N/A																																																																		
13	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-83 9.10.6																																																																		
14	Mezzanine(s) Area m <sup>2</sup> 216 (EXISTING)	3.2.1.1.(3)-(8) 9.10.4.1																																																																		
15	Occupant load based on <input type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building Basement: Occupancy n/a Load n/a persons Public: Occupancy _____ Load 100 persons Staff: Occupancy _____ Load 100 persons	3.1.16 9.9.1.3																																																																		
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8 9.5.2																																																																		
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19 9.10.1.3(4)																																																																		
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies (FRR) (Hours) Roof 0 Hours Mezzanine 0 Hours FRR of Supporting Members Listed Design No. or Description (SG-2) Listed Design No. Or Description (SG-2)	3.2.2.20-83 & 3.2.1.4 9.10.8 9.10.9																																																																		
19	Spatial Separation - Construction of Exterior Walls	3.2.3 9.10.14																																																																		
	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area of EBF (m<sup>2</sup>)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>Permitted Max. % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (Hours)</th> <th>Listed Design or Description</th> <th>Comb. Const.</th> <th>Comb. Constr. Nonc. Cladding</th> <th>Non-comb. Constr.</th> </tr> </thead> <tbody> <tr> <td>North/West</td> <td>71.25</td> <td>99.6</td> <td>Less than 3:1</td> <td>100</td> <td>11.8</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>South</td> <td>300.2</td> <td>27.2</td> <td>3:1 to 10:1</td> <td>100</td> <td>0.7</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>East</td> <td>562.4</td> <td>52.4</td> <td>3:1 to 10:1</td> <td>100</td> <td>0.9</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>West</td> <td>348.4</td> <td>50.2</td> <td>3:1 to 10:1</td> <td>100</td> <td>1</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>South/West</td> <td>49.4</td> <td>15</td> <td>Less than 3:1</td> <td>100</td> <td>4</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Constr. Nonc. Cladding	Non-comb. Constr.	North/West	71.25	99.6	Less than 3:1	100	11.8						South	300.2	27.2	3:1 to 10:1	100	0.7						East	562.4	52.4	3:1 to 10:1	100	0.9						West	348.4	50.2	3:1 to 10:1	100	1						South/West	49.4	15	Less than 3:1	100	4						
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	Health Requirements	3.7																																																																		
	Ventilation - see mechanical engineering drawings	3.7.3																																																																		

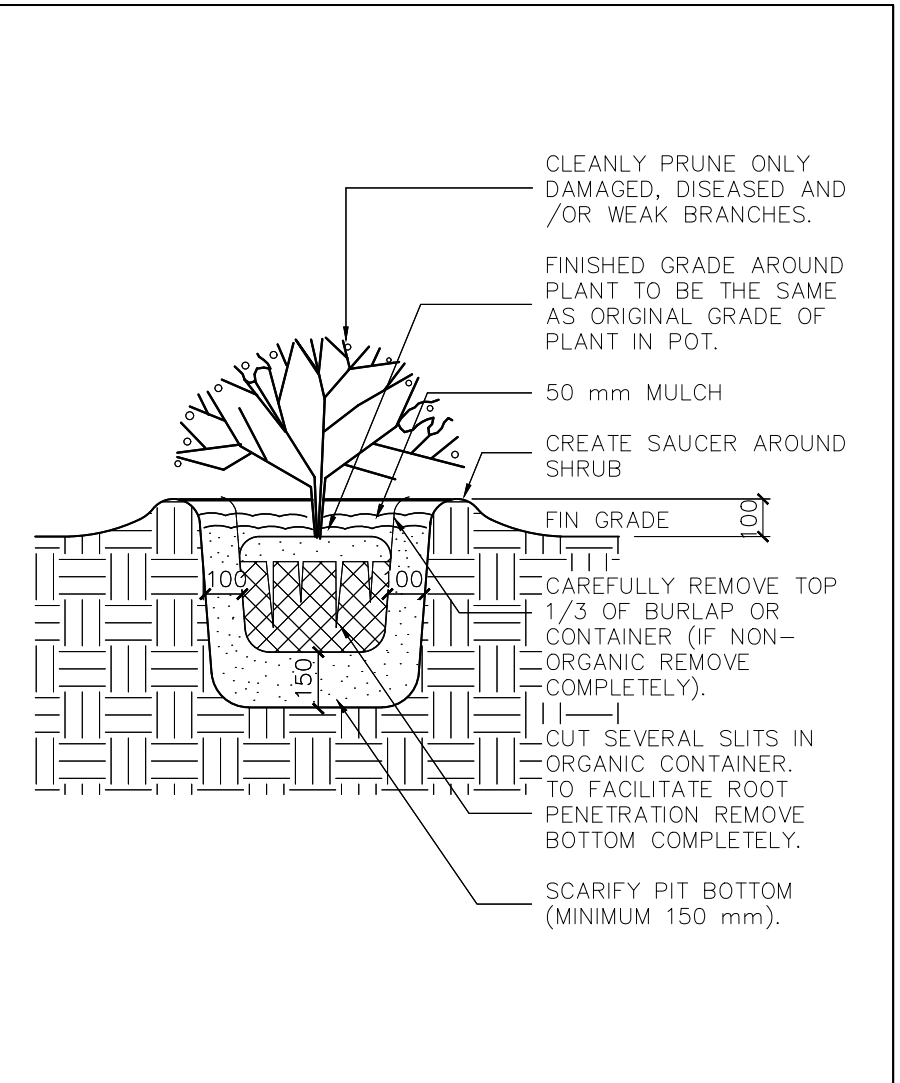
20	Plumbing fixtures Existing Occupant load retail: public 100 peak load, 50 per sex (1) W/C each 300 males, (1) W/C each 150 females (3.7.4.8 (2)) Warehouse + retail staff (8): (1) W/C each sex (3.7.4.8(1)) New warehouse addition conforms to OBC 3.7.4.1.(3) Plumbing fixtures need not be provided in a building that is not normally occupied by persons where such installations are impractical and other fixtures are available in nearby buildings when the subject building is in use	3.7.4 3.7.4.1.(3)
21	Safety Requirements within Floor Areas Separations of Suites Egress Requirements	3.3 3.3.1.1, 3.1.3.1 3.3.1.5, 3.4.2.1
22	Location of Design of Access Routes -n/a	3.2.5.4, 5, & 6
23	Protection of Exits Facilities	3.2.3.13
24	Reserved	
25	Reserved	
26	Lighting & Emergency Power	3.2.7
27	Safety Requirements for exits	3.4



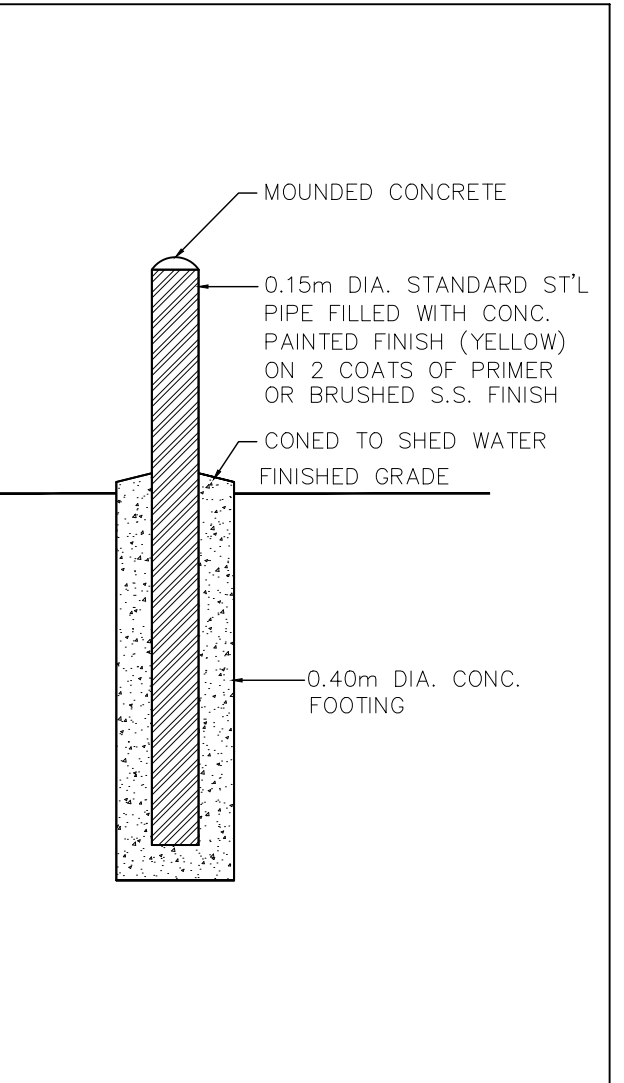
**(A) DECIDUOUS TREE PLANTING**  
N.T.S.



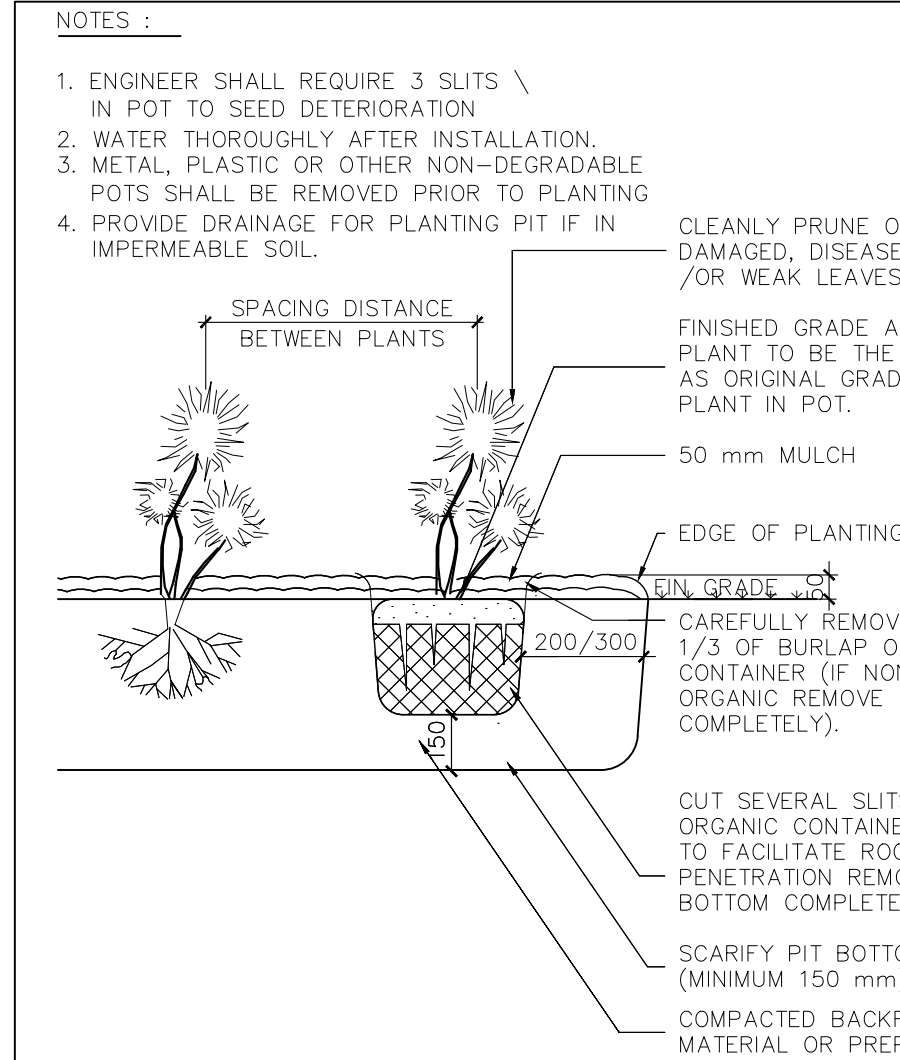
**(B) CONIFEROUS TREE PLANTING**  
N.T.S.



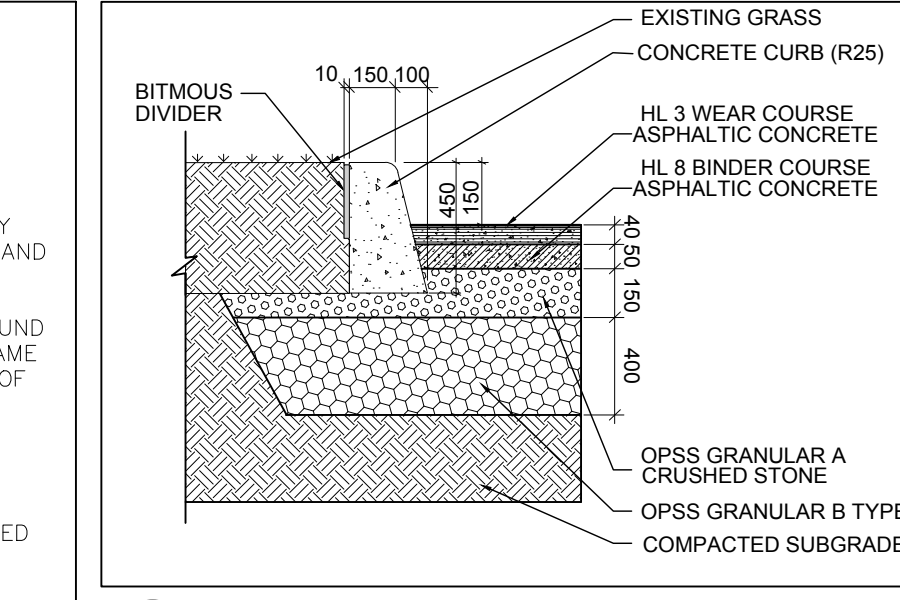
**(C) SHRUB PLANTING**  
N.T.S.



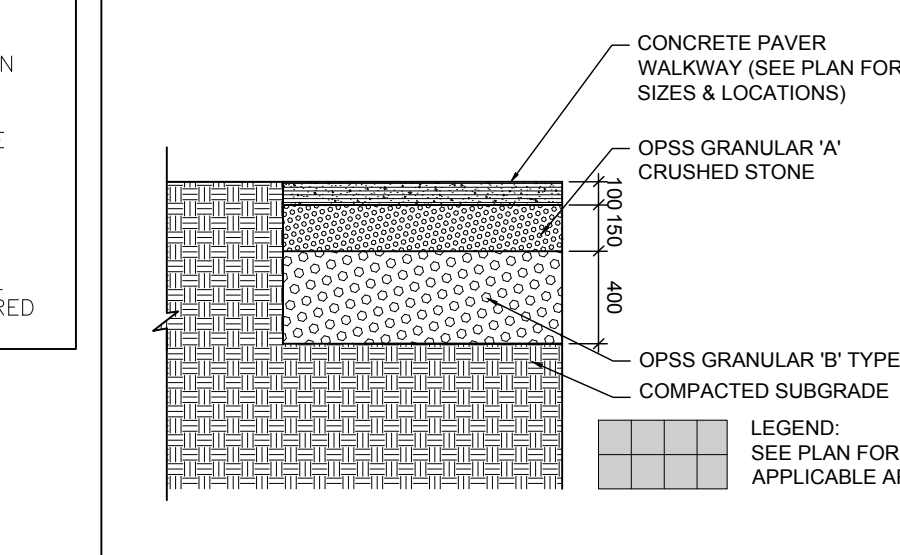
**(D) BOLLARD DETAIL**  
N.T.S.



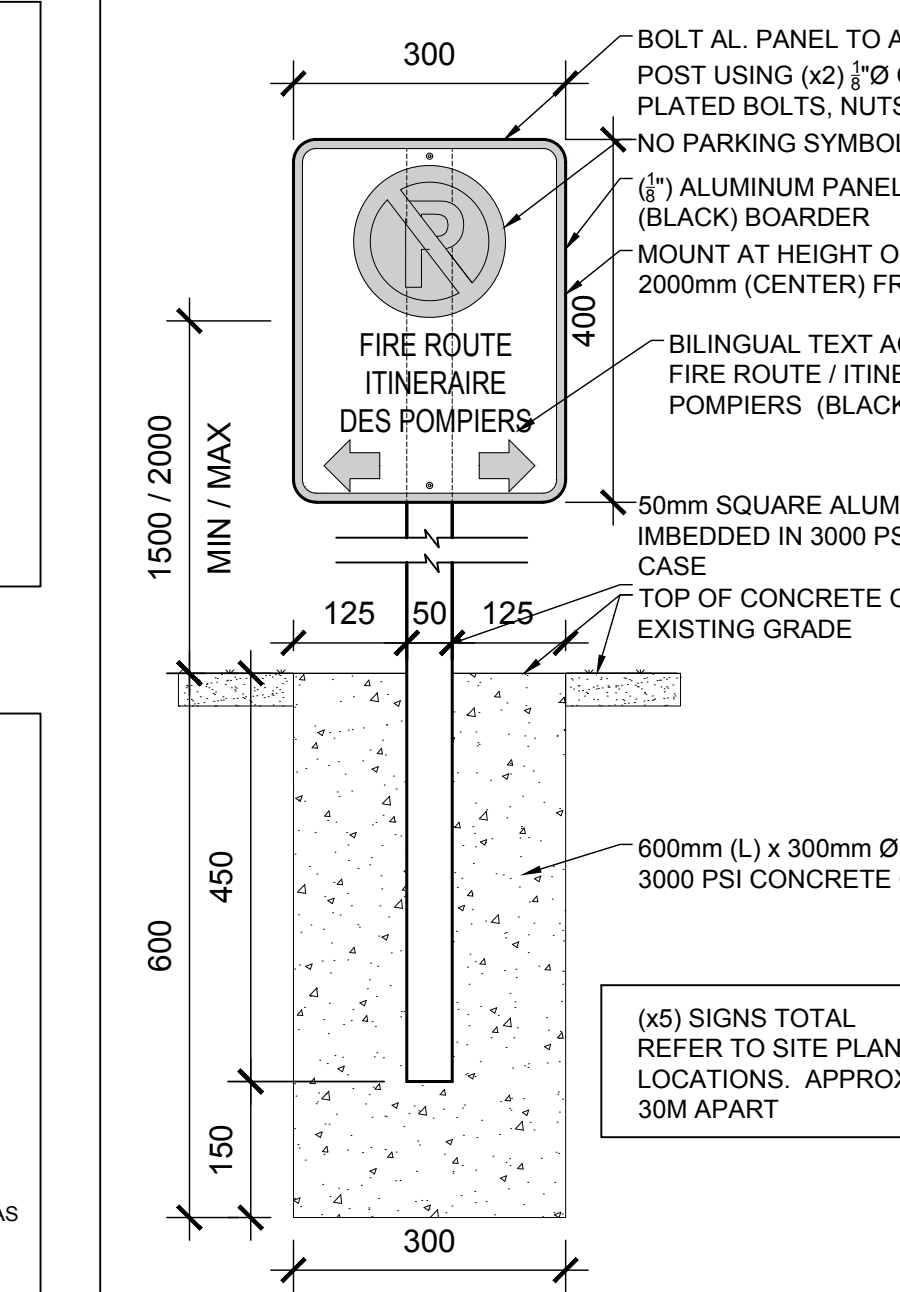
**(E) PERENNIAL PLANTING**  
N.T.S. (PREPARED AND POTTED)



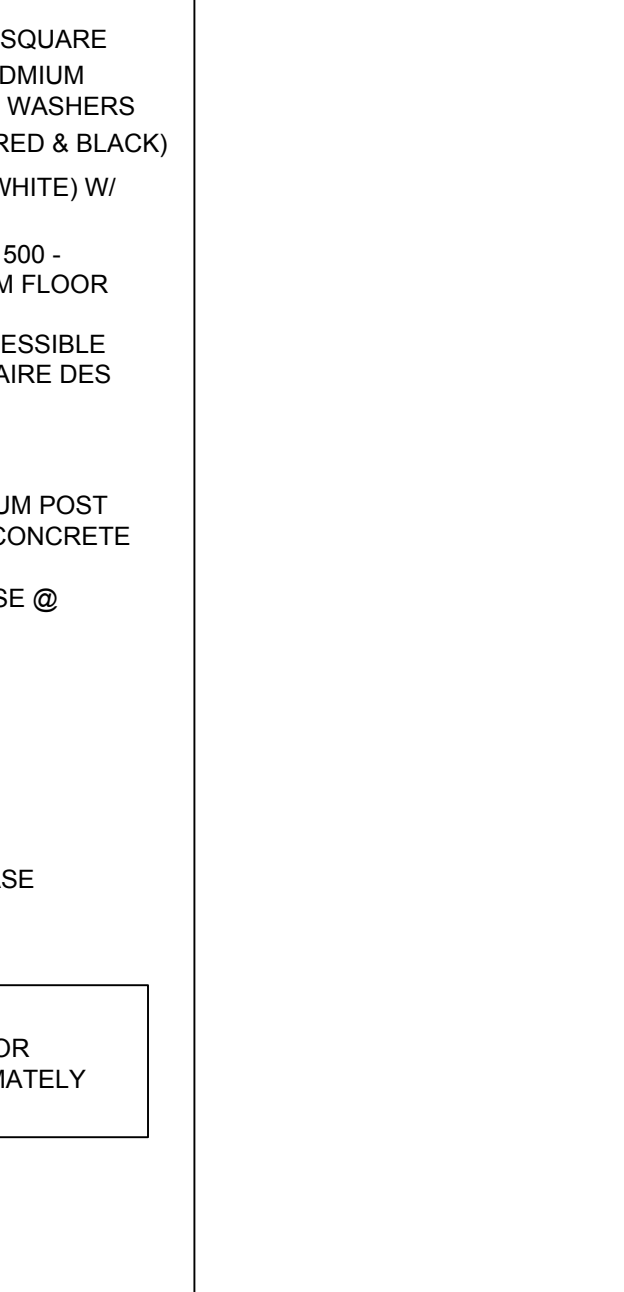
**(F) CONCRETE CURB**  
N.T.S.



**(G) ASPHALT PAVEMENT**  
N.T.S.



**(I) FIRE ROUTE SIGNAGE**



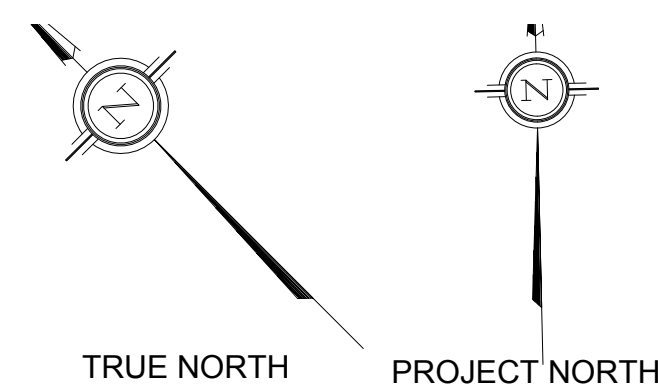
**(J) TURF STONE PAVERS**  
N.T.S.



**(H) CONCRETE PAVERS**  
N.T.S.

**APPROVED**  
By Sarah McCormick at 2:15 pm, Apr 17, 2026

**SARAH MCCORMICK**  
PLANNER III  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA



APPROXIMATE LOCATION