

3 ZONING SETBACK PLAN  
SP-01 SCALE: 1 : 250

UNIT COUNT																				
NAME	L01	L02	L03	L04	L05	L06	L07	L08	L09	L10	L11	L12	L13	L14	L15	L16	L17	L18	TOTAL COUNT	PERCENTAGE
STUDIO	0	8	9	9	9	9	0	0	0	0	0	0	0	0	0	0	0	0	44	19%
1-BED	1	2	4	4	4	4	6	6	5	7	7	7	7	7	7	7	0	0	85	37%
1-BED + DEN	0	3	3	3	3	3	2	2	3	0	0	0	0	0	0	0	0	0	22	10%
2-BED	2	2	3	3	3	3	4	4	4	3	3	3	3	3	3	3	3	3	55	24%
3-BED	1	1	2	2	2	2	0	0	0	1	1	1	1	1	1	1	3	23	10%	
TOTAL	4	16	21	21	21	21	12	12	12	11	11	11	11	11	11	11	6	6	229	100%

VEHICLE PARKING		
LEVEL	TYPE	COUNT
ENTRY	SHORT-TERM PARKING	3
LEVEL P1	RESIDENTIAL	29
LEVEL P1	VISITOR	20
LEVEL P2	RESIDENTIAL	48
LEVEL P2	VISITOR	2
TOTAL		102

BICYCLE PARKING	
LEVEL	COUNT
LEVEL 01	8
LEVEL P1	234
TOTAL	242

GROSS BUILDING AREA		
LEVEL	AREA	AREA (SF)
LEVEL 01	916.0 m <sup>2</sup>	9,859 SF
LEVEL 02	1,032.4 m <sup>2</sup>	11,113 SF
LEVEL 03	1,307.2 m <sup>2</sup>	14,071 SF
LEVEL 04	1,307.2 m <sup>2</sup>	14,070 SF
LEVEL 05	1,307.2 m <sup>2</sup>	14,070 SF
LEVEL 06	1,307.2 m <sup>2</sup>	14,070 SF
LEVEL 07	846.0 m <sup>2</sup>	9,106 SF
LEVEL 08	846.0 m <sup>2</sup>	9,106 SF
LEVEL 09	846.3 m <sup>2</sup>	9,106 SF
LEVEL 10	761.0 m <sup>2</sup>	8,191 SF
LEVEL 11	761.0 m <sup>2</sup>	8,191 SF
LEVEL 12	761.0 m <sup>2</sup>	8,191 SF
LEVEL 13	761.0 m <sup>2</sup>	8,191 SF
LEVEL 14	761.0 m <sup>2</sup>	8,191 SF
LEVEL 15	761.0 m <sup>2</sup>	8,191 SF
LEVEL 16	761.0 m <sup>2</sup>	8,191 SF
LEVEL 17	724.1 m <sup>2</sup>	7,794 SF
LEVEL 18	676.9 m <sup>2</sup>	7,286 SF
LEVEL 19	349.9 m <sup>2</sup>	3,767 SF
TOTAL	16,793.1 m <sup>2</sup>	180,760 SF
LEVEL P1	1,978.6 m <sup>2</sup>	21,297 SF
LEVEL P2	1,939.6 m <sup>2</sup>	20,878 SF
TOTAL	3,918.2 m <sup>2</sup>	42,175 SF
TOTAL	20,711.2 m <sup>2</sup>	222,935 SF

GFA (CITY OF OTTAWA)		
LEVEL	AREA	AREA (SF)
LEVEL 01	293.5 m <sup>2</sup>	3,159 SF
LEVEL 02	837.8 m <sup>2</sup>	9,018 SF
LEVEL 03	1,141.3 m <sup>2</sup>	12,284 SF
LEVEL 04	1,141.3 m <sup>2</sup>	12,284 SF
LEVEL 05	1,141.3 m <sup>2</sup>	12,284 SF
LEVEL 06	1,141.3 m <sup>2</sup>	12,284 SF
LEVEL 07	726.2 m <sup>2</sup>	7,839 SF
LEVEL 08	726.2 m <sup>2</sup>	7,839 SF
LEVEL 09	726.2 m <sup>2</sup>	7,839 SF
LEVEL 10	659.9 m <sup>2</sup>	7,103 SF
LEVEL 11	659.9 m <sup>2</sup>	7,103 SF
LEVEL 12	659.9 m <sup>2</sup>	7,103 SF
LEVEL 13	659.9 m <sup>2</sup>	7,103 SF
LEVEL 14	659.9 m <sup>2</sup>	7,103 SF
LEVEL 15	659.9 m <sup>2</sup>	7,103 SF
LEVEL 16	659.9 m <sup>2</sup>	7,103 SF
LEVEL 17	622.1 m <sup>2</sup>	6,686 SF
LEVEL 18	575.7 m <sup>2</sup>	6,197 SF
TOTAL	13,697.8 m <sup>2</sup>	147,442 SF

PRIVATE AMENITY		
LEVEL	AREA	AREA (SF)
LEVEL 01	77.3 m <sup>2</sup>	832 SF
LEVEL 07	227.0 m <sup>2</sup>	2,443 SF
LEVEL 08	24.0 m <sup>2</sup>	258 SF
LEVEL 09	24.0 m <sup>2</sup>	258 SF
LEVEL 10	55.1 m <sup>2</sup>	593 SF
LEVEL 11	24.0 m <sup>2</sup>	258 SF
LEVEL 12	24.0 m <sup>2</sup>	258 SF
LEVEL 13	24.0 m <sup>2</sup>	258 SF
LEVEL 14	24.0 m <sup>2</sup>	258 SF
LEVEL 15	24.0 m <sup>2</sup>	258 SF
LEVEL 16	24.0 m <sup>2</sup>	258 SF
LEVEL 17	31.7 m <sup>2</sup>	341 SF
LEVEL 18	49.9 m <sup>2</sup>	537 SF
TOTAL	632.8 m <sup>2</sup>	6,812 SF

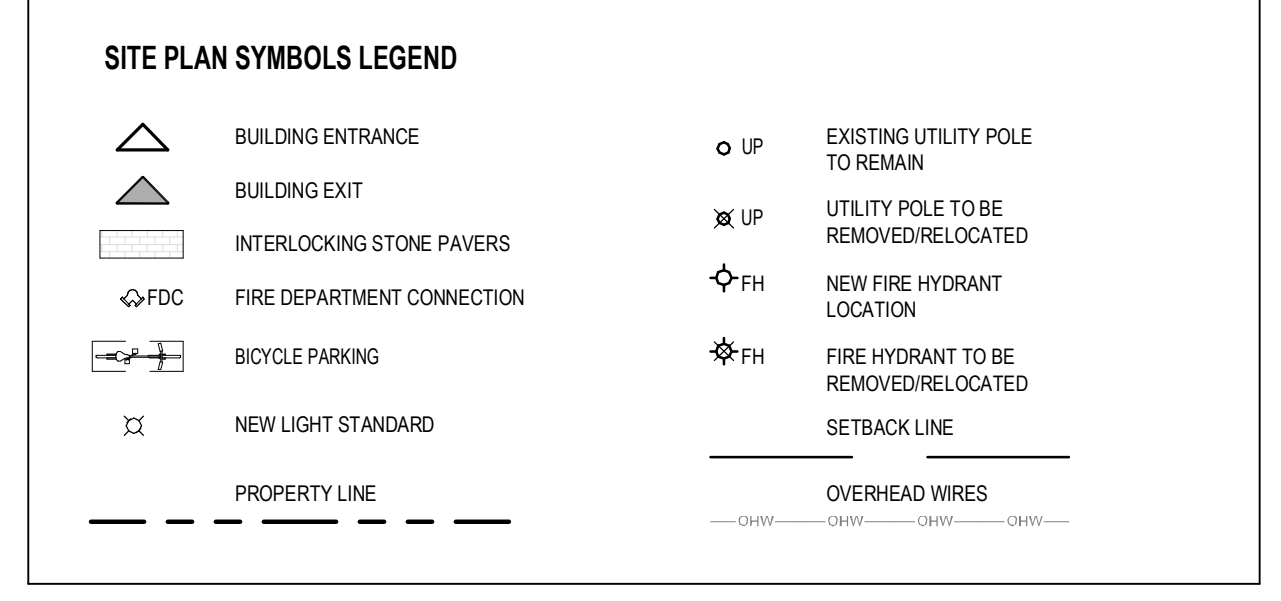
COMMUNAL AMENITY		
LEVEL	AREA	AREA (SF)
LEVEL 01	407.0 m <sup>2</sup>	4,381 SF
LEVEL 19	584.5 m <sup>2</sup>	6,269 SF
TOTAL	991.5 m <sup>2</sup>	10,650 SF



2 LOCATION PLAN  
SP-01 SCALE: NTS

SITE STATISTICS	
Current Zoning Designation:	GMA(2017) S486
Lot Width:	76.65 m
Total Lot Area:	2,391.05 m <sup>2</sup>
Average Existing Grade:	68.04 m

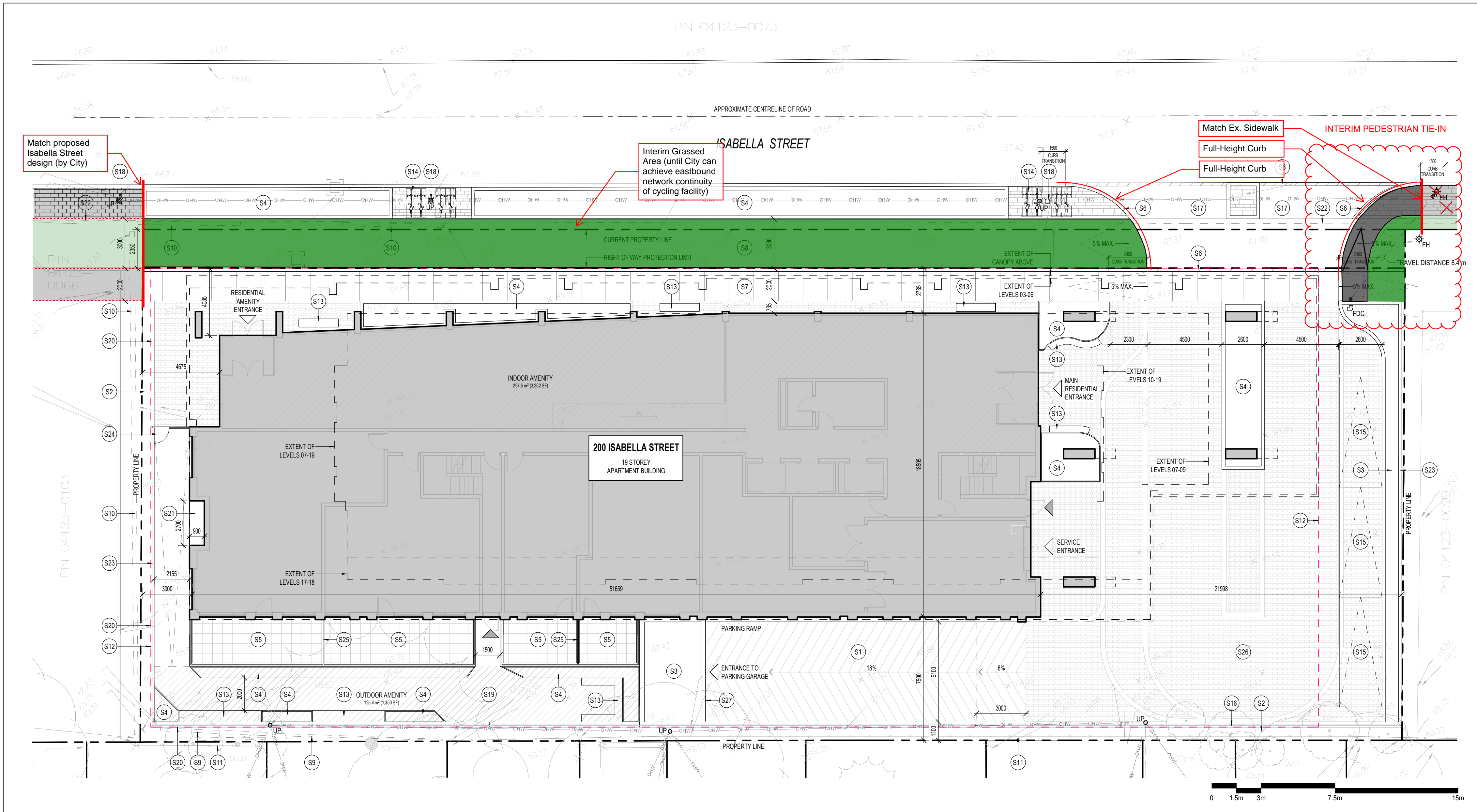
Proposed Development - 19 Storey High-Rise Apartment Building		
Zoning Mechanism	Required	Provided
No. of Units	229 Units	
Minimum Lot Width Table 187(b)	No Minimum	76.65 m
Minimum Lot Area Table 187(a)	No Minimum	2,388.61 m <sup>2</sup>
Min. Front Yard Setback Schedule 486	0.75 m for the first 6 storeys 2.75 m at 7+ storeys	0.75 m for the first 6 storeys 2.75 m at 7+ storeys
Min. Interior Side Yard Setback (East) Schedule 486	3 m for the first 6 storeys 11.78 m at 7-9 storeys 18.28 m at 10+ storeys	3 m for the first 6 storeys 11.78 m at 7-9 storeys 18.28 m at 10+ storeys
Min. Interior Side Yard Setback (West) Schedule 486	3 m for the first 6 storeys 11.82 m at 7+ storeys	3 m for the first 6 storeys 11.82 m at 7+ storeys
Min. Rear Yard Setback Schedule 486	7.5 m for the first 6 storeys 9.5 m at 7-17 storeys 11.1 m at 18 storeys 14.5 m at 19 storeys	7.5 m for the first 6 storeys 9.5 m at 7-17 storeys 11.1 m at 18 storeys 14.5 m at 19 storeys
Maximum Building Height Schedule 486	60 m or 19 storeys	60 m / 19 storeys
Parking Space Rates (Residents) 191 (Sch. 1A - Area X), Section 101(6)	88 Spaces 0.5 spaces / unit for 217 units -10% of required parking spaces	77 Spaces
Minimum Visitor Parking Rates 101 (Sch. 1A - Area X)   Section 102(2)	22 Spaces 0 spaces for first 12 units 0.1 spaces / unit for 217 units	22 Spaces
Bicycle Parking Rates (Residents) Table 1114(4)(i) (Sch. 1 - Area X)	115 Spaces 0.5 spaces / unit for 229 units	242 Spaces
Total Amenity Area Table 1374(4)(i)	1,374 m <sup>2</sup>	1,594.3 m <sup>2</sup>
Communal Amenity Area Table 1374(4)(i)	6 m <sup>2</sup> / unit for 229 units 687 m <sup>2</sup> Min. 50% of Total Amenity Area	961.5 m <sup>2</sup>



PLAN OF SURVEY OF LOTS 11, 12, 13, 14, 15, 16 & 17 AND PART OF THE 10 FOOT LANE SOUTH ISABELLA STREET REGISTERED PLAN 84265 CITY OF OTTAWA STANTEC GEOMATICS LTD. 2019

1 SURVEY INFO  
SP-01 SCALE: 1 : 1

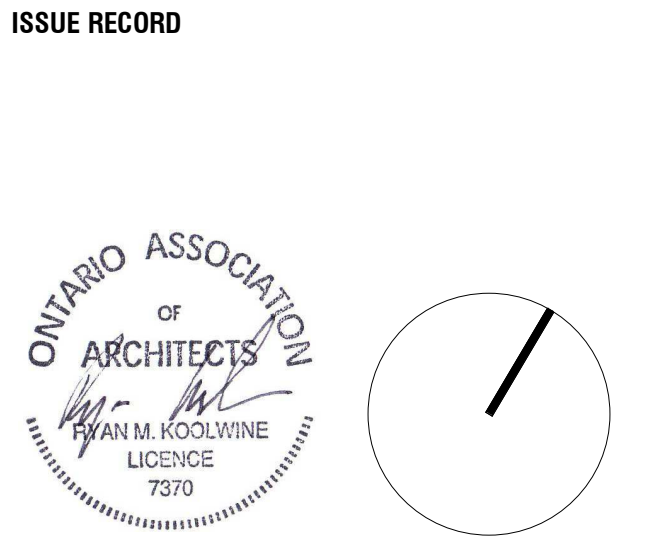
- SITE PLAN NOTES**
- S1 CONCRETE SURFACE c/w HERRINGBONE SURFACE & INTEGRATED SNOWMELT
  - S2 SOFT LANDSCAPING, REFER TO LANDSCAPE
  - S3 RAISED PLANTER, REFER TO LANDSCAPE
  - S4 PLANTING BED, REFER TO LANDSCAPE
  - S5 PATIO c/w CONCRETE UNIT PAVING, REFER TO LANDSCAPE
  - S6 DEPRESSED CURB, REFER TO CIVIL
  - S7 PROPOSED SIDEWALK, REFER TO CIVIL
  - S8 PROPOSED MULTI-USE PATHWAY, REFER TO CIVIL
  - S9 EXISTING RETAINING WALL TO BE DEMOLISHED, REFER TO CIVIL
  - S10 EXISTING STONE RETAINING WALL w/ STEEL FENCE TO BE DEMOLISHED, REFER TO CIVIL
  - S11 EXISTING BOARD FENCE TO BE DEMOLISHED
  - S12 LINE IDENTIES EXTENT OF PARKING LEVEL BELOW
  - S13 BENCH, REFER TO LANDSCAPE
  - S14 BICYCLE PARKING
  - S15 SHORT-TERM PARKING
  - S16 CAST-IN-PLACE CONCRETE RETAINING WALL, REFER TO CIVIL
  - S17 VEHICULAR CONCRETE PAVING, REFER TO CIVIL
  - S18 NEW LIGHT STANDARD AS PER CITY OF OTTAWA STANDARDS, REFER TO ELECTRICAL & CIVIL
  - S19 CONCRETE WALKWAY, REFER TO LANDSCAPE
  - S20 CONCRETE UPSHANK
  - S21 GAS PIPING, REFER TO MECHANICAL
  - S22 EXISTING CONCRETE SIDEWALK TO BE REMOVED
  - S23 PRIVACY FEATURE SCREEN, REFER TO LANDSCAPE
  - S24 GATE, REFER TO LANDSCAPE
  - S25 PRIVACY SCREEN, REFER TO LANDSCAPE
  - S26 CONCRETE UNIT PAVING, REFER TO LANDSCAPE
  - S27 PAINTED STEEL GUARD



1 SITE PLAN  
SP-01 SCALE: 1 : 150

- GENERAL ARCHITECTURAL NOTES:**
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
  - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  - Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
  - The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
  - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  - These documents are not to be used for construction unless specifically noted for such purpose.

1 ISSUED FOR SITE PLAN CONTROL 2026-01-30



**200 ISABELLA STREET**  
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K1S 1V7

PROJ SCALE DRAWN REVIEWED  
2516 NOTED BH/SDL RMK

SITE PLAN

SP-01