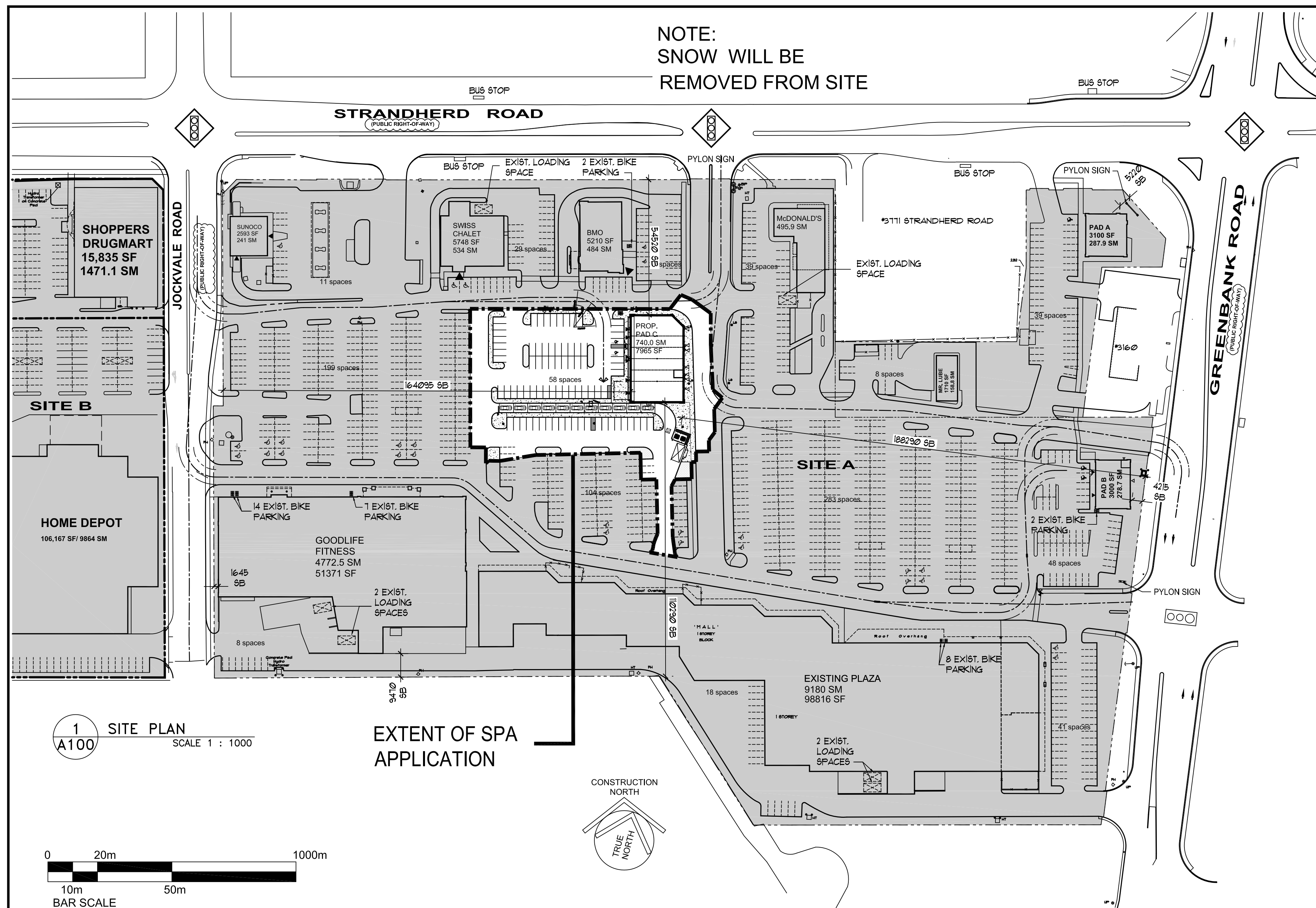


NOTE:  
SNOW WILL BE  
REMOVED FROM SITE

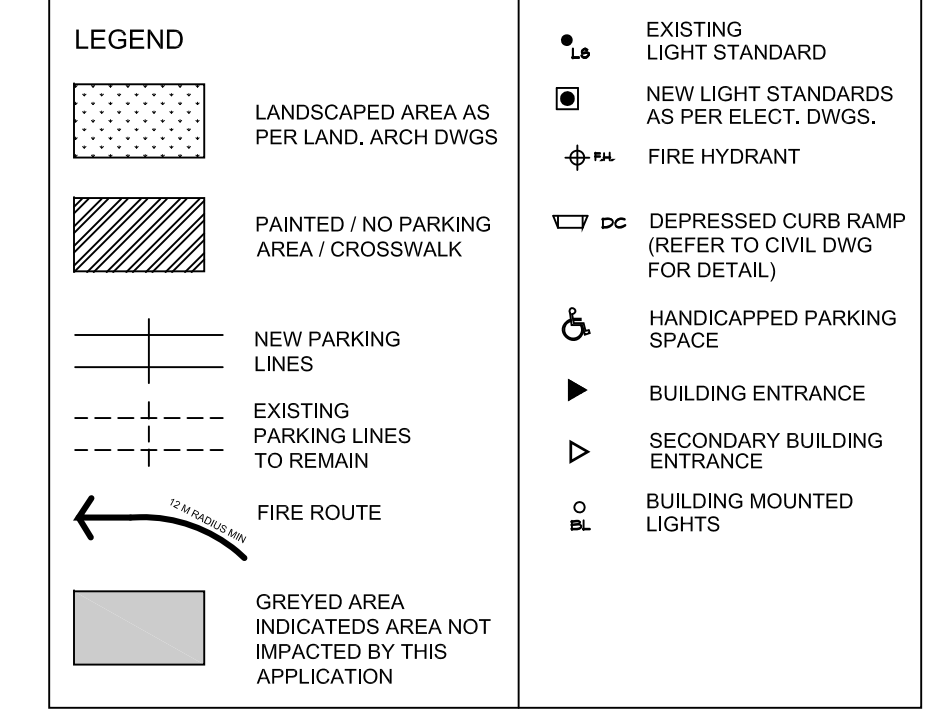


**SITE STATISTIC**

SITE AREA	77926.0 SM	±19.26 AC
SITE COVERAGE	22.7%	
LOT WIDTH	±200 M	
EX. BUILDING AREA	BLDG AREA	GLA
PLAZA	9180.0 SM	
SUNOCO	241.0 SM	
SWISS CHALET	534.0 SM	
BMO	484.0 SM	
McDONALD'S	495.9 SM	
GOODLIFE FITNESS	4772.5 SM	
PAD A (HAKIM)	287.9 SM	
MR.LUBE	158.8 SM	
PAD B	278.7 SM	
<b>BUILDING AREA (GLA)</b>	<b>16432.8 SM</b>	<b>176881 SF</b>
<b>PROP BUILDING AREA</b>	<b>BLDG AREA</b>	<b>GLA</b>
PAD C	729.0 SM	7845 SF
<b>BUILDING AREA</b>	<b>17161.8 SM</b>	<b>184726 SF</b>
<b>TOTAL SPACES</b>	<b>914 SPACES</b>	<b>5.33/100SM</b>
		<b>4.95/1000SF</b>

**MC (187H(20)) - ZONE PROVISIONS**

ZONING MECHANISMS	II PROVISIONS	PROVIDED
(a) Minimum lot area	No Minimum	77926 sm
(b) Minimum lot width	No Minimum	±1.370 m
(c) Minimum front yard and corner side yard setback	(i) abutting a lot in a residential zone	3 m
	(ii) abutting the rapid transit corridor	2 m
	(iii) other cases	No Minimum (GREENBANK ROAD) Site: 5.2m (STRANDHERD ROAD) Site: 5.2m Pad C: 54.5m
(d) Minimum interior side yard setback (JOCKVALE RD)	(i) abutting a lot in a residential zone	3 m
	(ii) abutting the rapid transit corridor	2 m
	(iii) other cases	No Minimum Site: 1.6m Pad C: 164.0m
(e) Minimum rear yard setback	(i) abutting a lot in a residential zone	6 m
	(ii) abutting the rapid transit corridor	2 m
	(iii) other cases	No Minimum Site: 9.5m Pad C: 110.2m
(f) Maximum floor space index	2.0	0.22
(g) Min. building height	for all uses within 400m of a rapid transit station, other than a gas bar	6.7M
		6.7M
(h) Maximum building height	20.0m	6.7M
(i) Minimum width of landscaped area	No minimum, except that where a yard is provided and not used for required driveways, alleys, parking, loading spaces or outdoor commercial paths, the whole yard must be landscaped	N/A
Exception: max. gross leasable floor area	35,000 sm	17161.8 SM EAST OF JOCKVALE RD.
Parking	MIN 3.6/100 SM GLA	618 SPACES 914 SPACES
Loading (3.5m x 7.0m)	1500sm - 2499sm gfa Shopping Centre	Total: Min. 2 Pad C: 1 Total: 7
Bicycle parking	1/500sm gfa Shopping Centre	Pad C: 2 Total: 35
Drive Thru Queuing	7 AT THE BOARD 11 TOTAL	Pad C: 2 Total: 35
Accessible Parking Requirements	901-950 = 21 Total (1 Type-A + 1 Type-B)	Proposed: 2 Existing: 31 Total: 33



**SURVEY INFO TAKEN FROM:**  
SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF PART OF LOT 15  
CONCESSION 3 (Rideau Front)  
GEOGRAPHIC TOWNSHIP OF NEPEAN  
Now CITY OF OTTAWA

**PREPARED BY:**  
FAIRHALL, MOFFATT & WOODLAND LIMITED  
ONTARIO LAND SURVEYORS  
JUNE 12 2012

NO.	BY	DATE	ISSUED
2	AB	APR6,26	SPA
1	AB	NOV21,25	SPA

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APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

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**APPLICANT :** NOAH EMERSON  
NORTH AMERICAN DEVELOPMENT GROUP.  
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**LANDSCAPE ENGINEER :** RUDY LEVSTEK  
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**SCOLER LEE BORENSTEIN + ASSOCIATES ARCHITECTS INC.**

**ARCHITECT:** ALLAN BORENSTEIN  
STE 900, 60 ST. CLAIR AVE E TEL: (416)362-7753  
TORONTO, ONTARIO M4T 1N5 FAX: (416)362-8519

**PROJECT**  
BARRHAVEN TOWN CENTRE  
3777 STRANDHERD DRIVE  
NEPEAN, ONTARIO

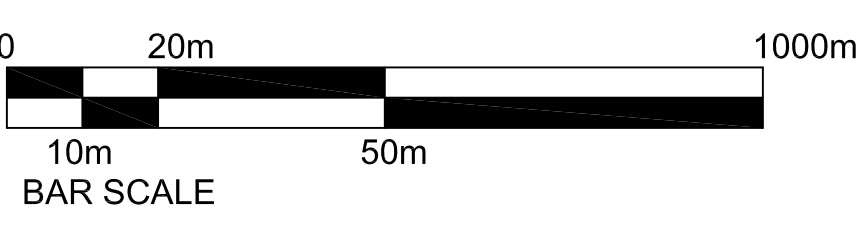
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SITE PLAN, DETAILS

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	DATE OCT 2025	SCALE A100
	SCALE AS NOTED	

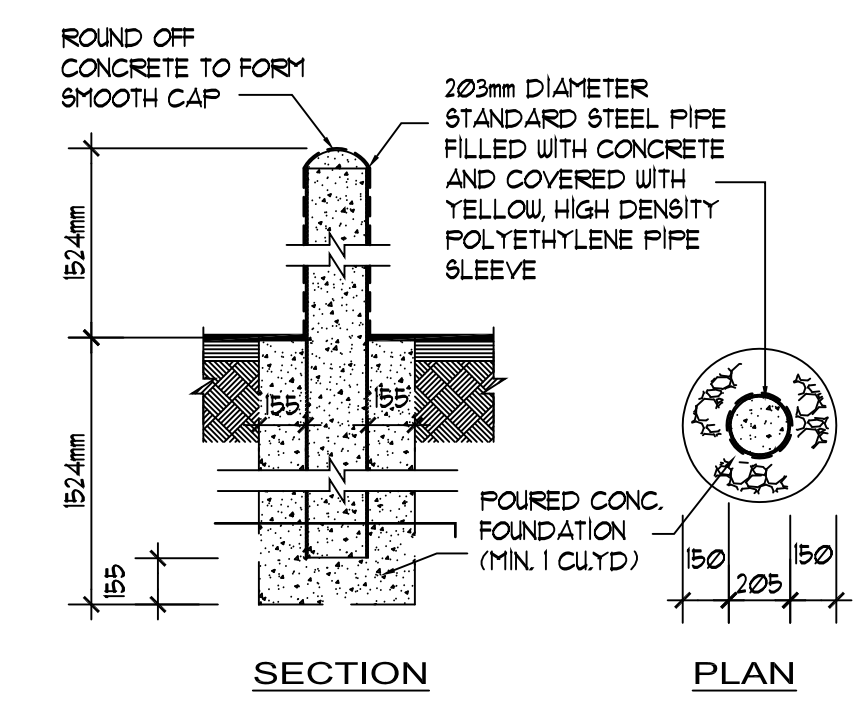
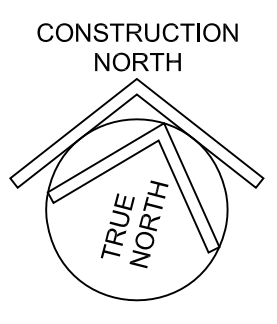
FILE #: D07-12-25-0157  
PLAN #: 19416

DRAWINGS REVISED: \_\_\_\_\_ LAST UPDATED: \_\_\_\_\_

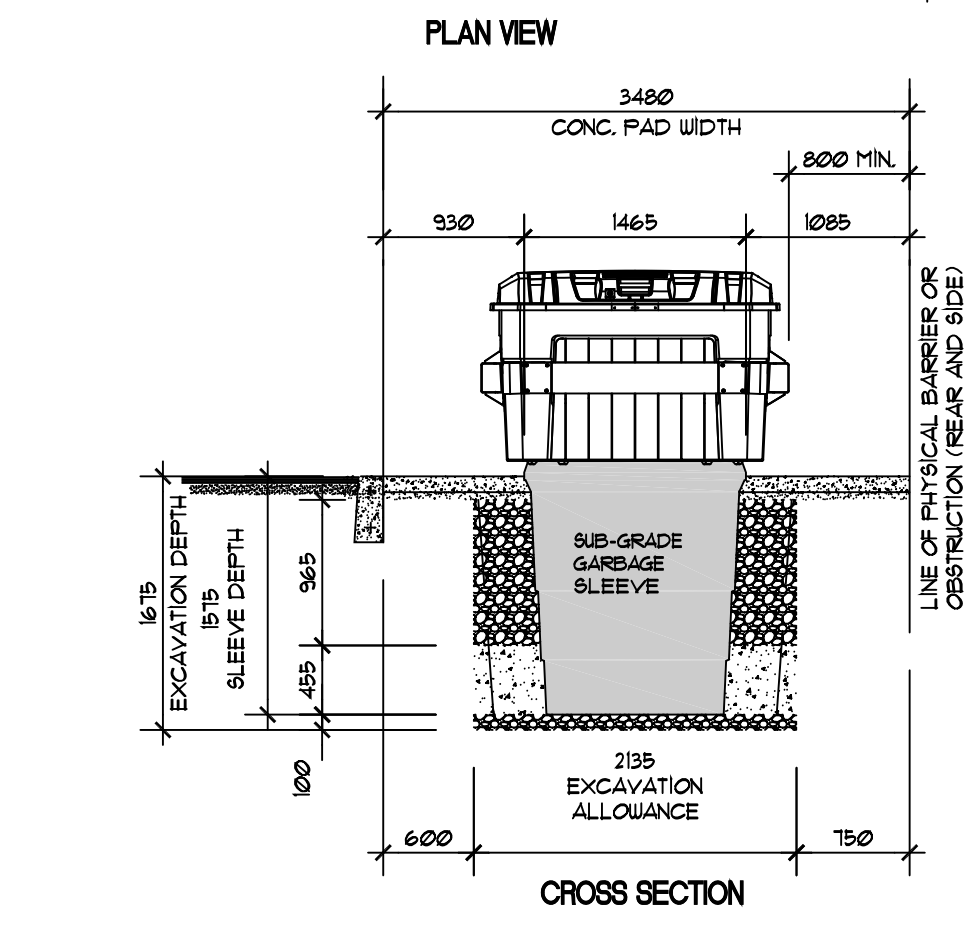
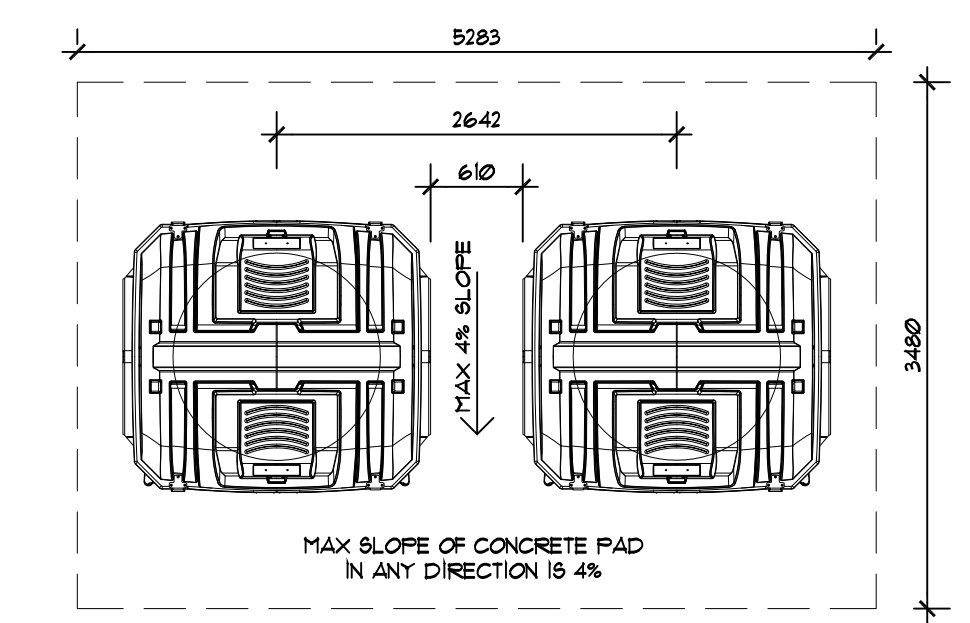
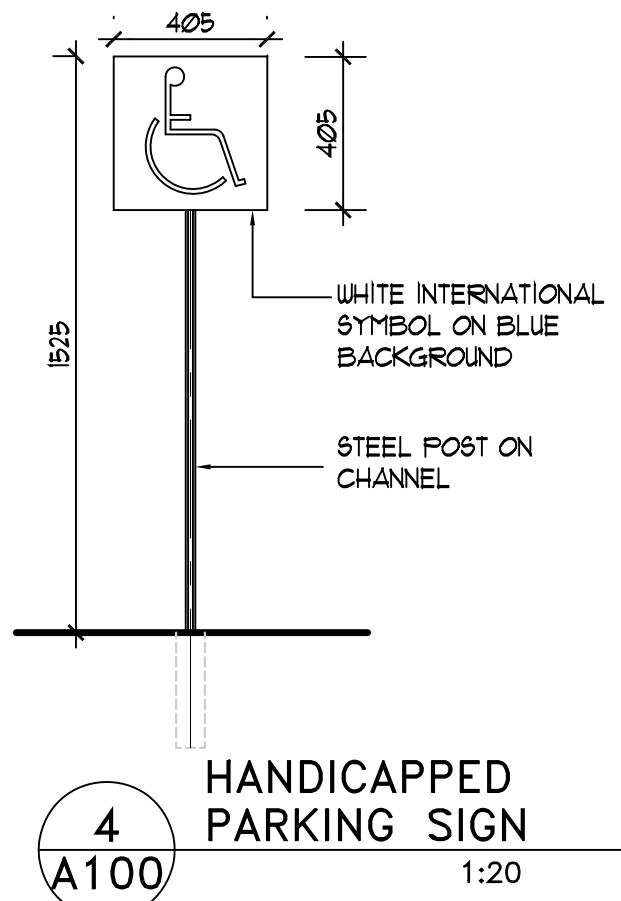
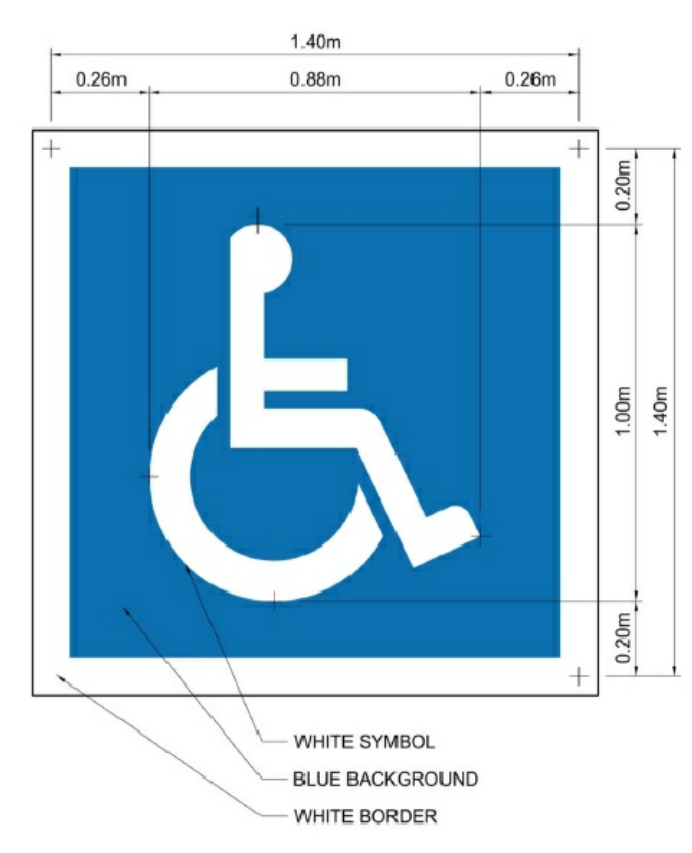
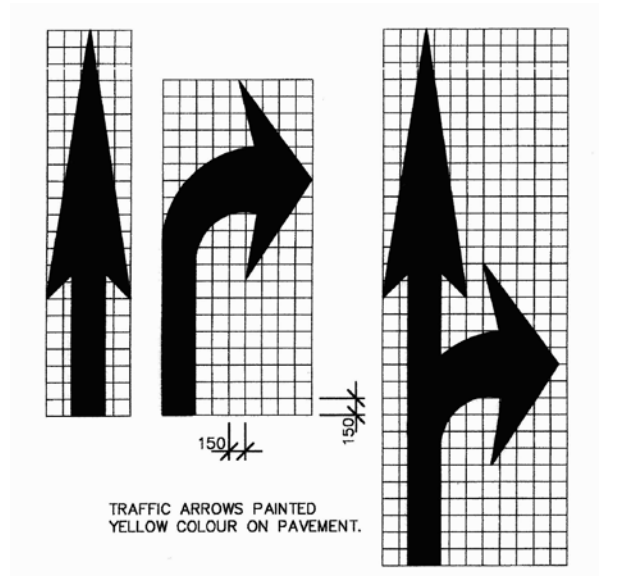
1 SITE PLAN SCALE 1 : 1000



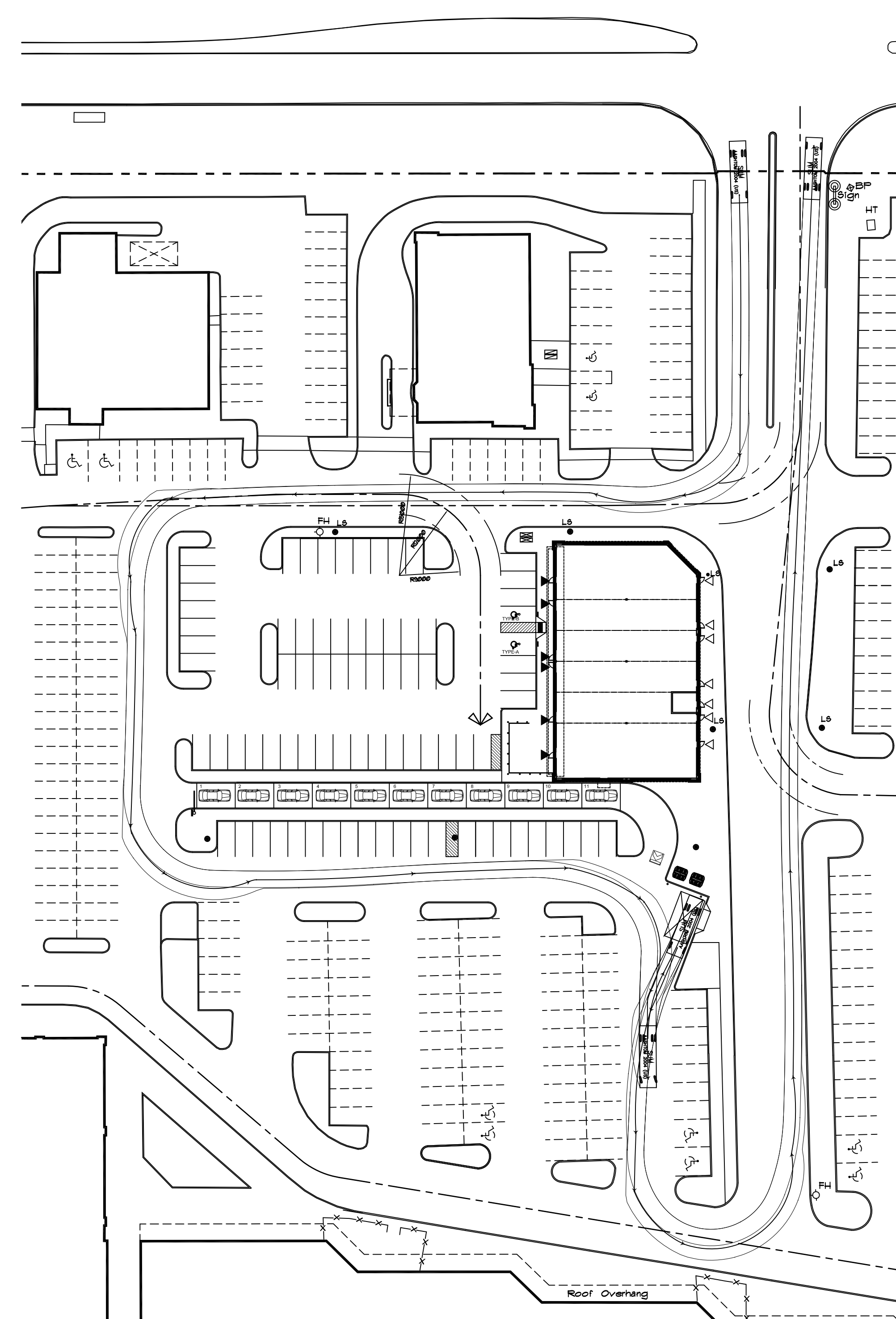
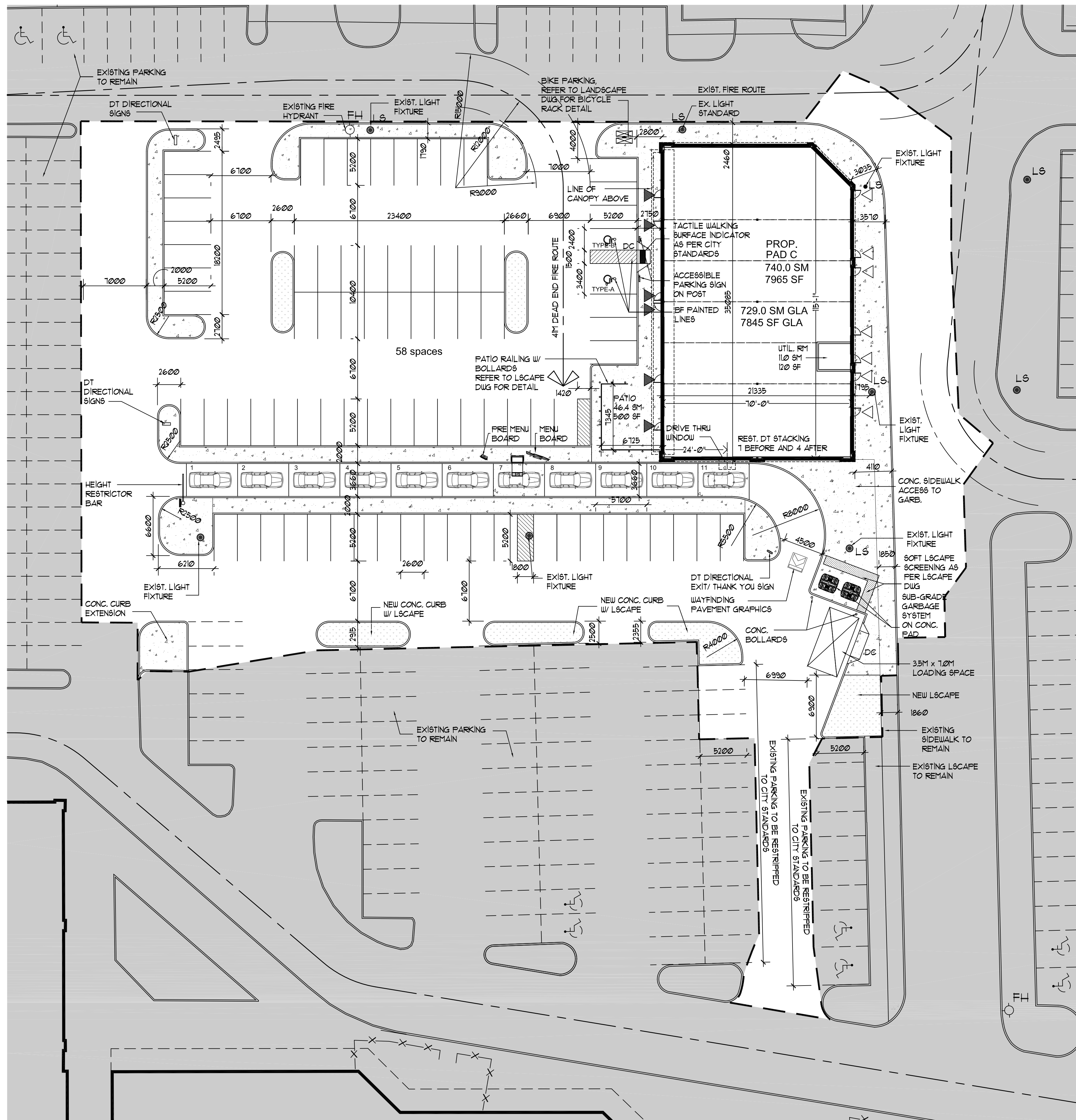
EXTENT OF SPA APPLICATION



3 ROAD PAINTING SCALE NTS



6 SUB-GRADE GARBAGE SYSTEM SCALE 1:50



SURVEY INFO TAKEN FROM:  
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PLAN OF PART OF LOT 15  
CONCESSION 3 (Rideau Front)  
GEOGRAPHIC TOWNSHIP OF NEPEAN  
Now CITY OF OTTAWA

PREPARED BY:  
FAIRHALL, MOFFATT & WOODLAND LIMITED  
ONTARIO LAND SURVEYORS  
JUNE 12 2012

2	AB	APR6,26	SPA
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DATE:

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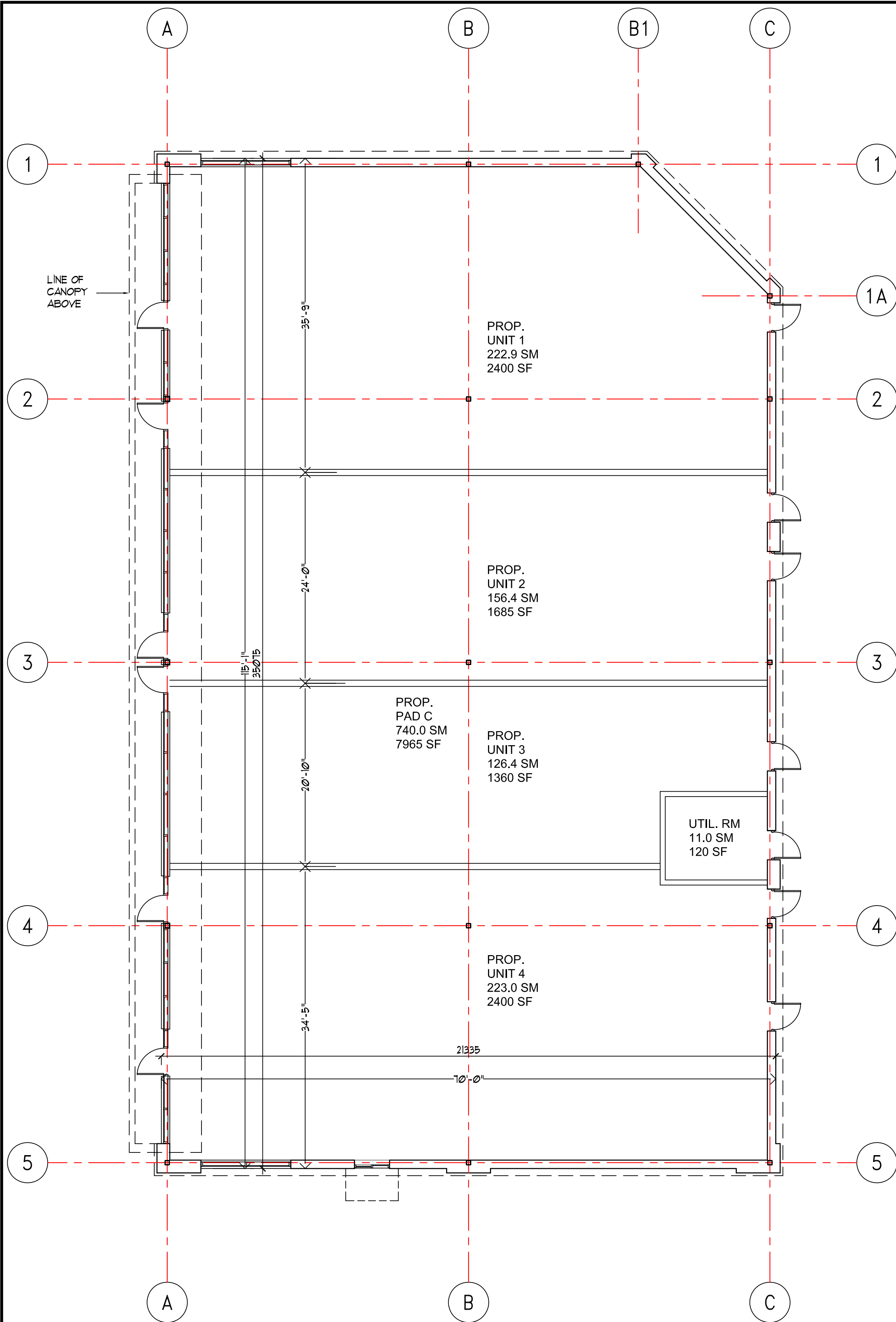
PROJECT  
**BARRHAVEN TOWN CENTRE**  
3777 STRANDHERD DRIVE  
NEPEAN, ONTARIO

DRAWING TITLE  
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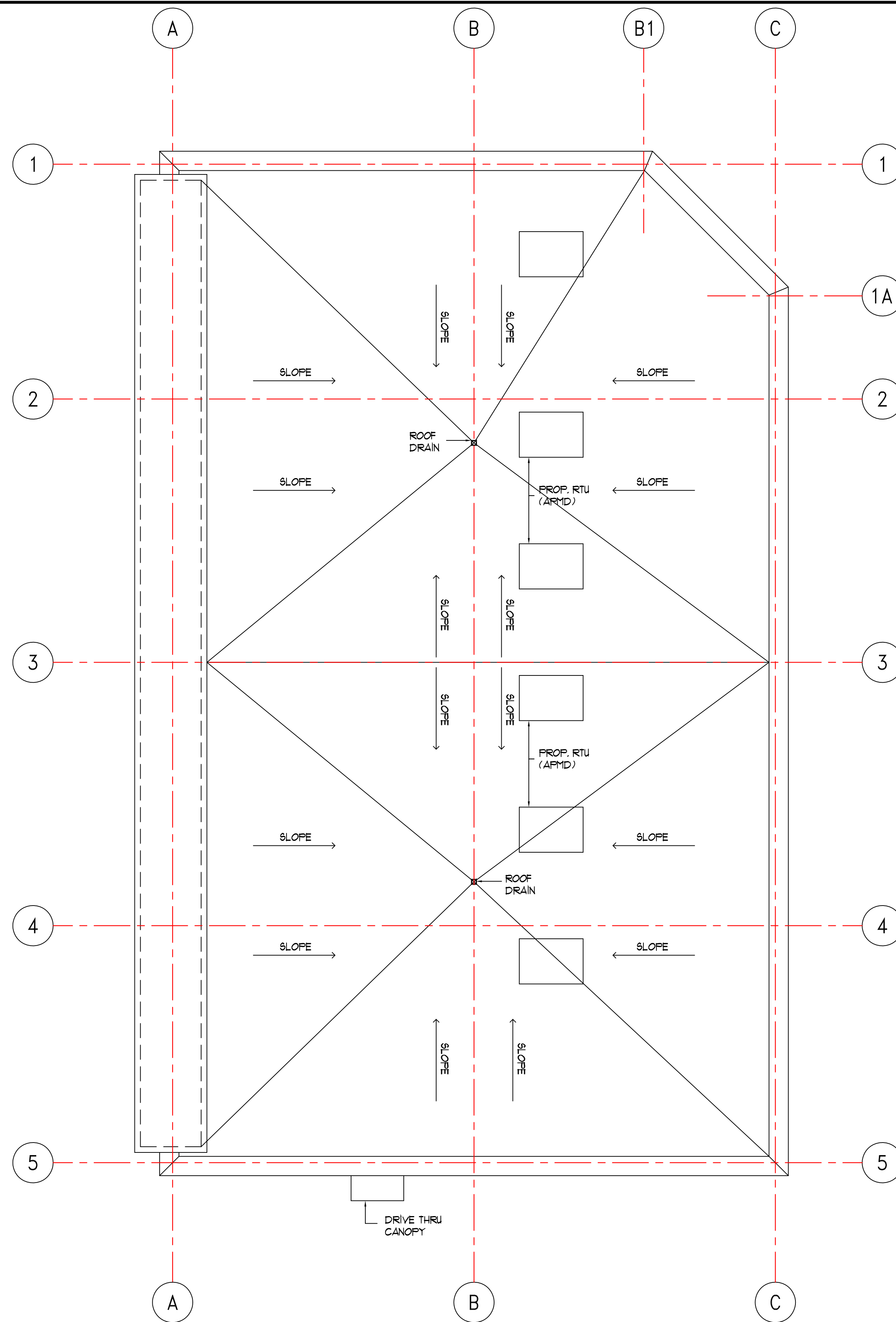
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	DATE	OCT 2025	DWG. NO.
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	AS NOTED		

FILE #: D07-12-25-0157  
PLAN #: 19416

DRAWINGS REVISED: LAST UPDATED:



1 FLOOR PLAN  
A200 SCALE 1 : 100



2 ROOF PLAN  
A200 SCALE 1 : 100


2	AB	APR6,26	SPA
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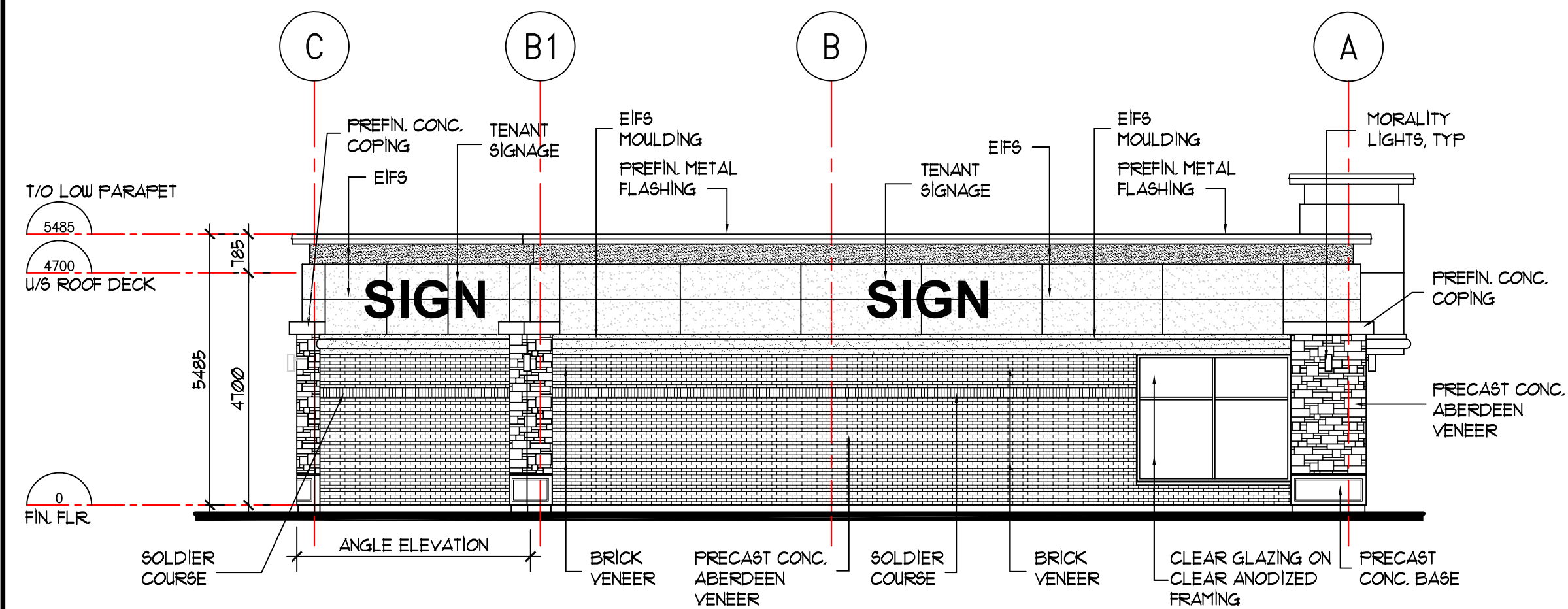
PROJECT  
**BARRHAVEN TOWN CENTRE**  
3777 STRANDHERD DRIVE  
NEPEAN, ONTARIO

DRAWING TITLE  
**PLANS**

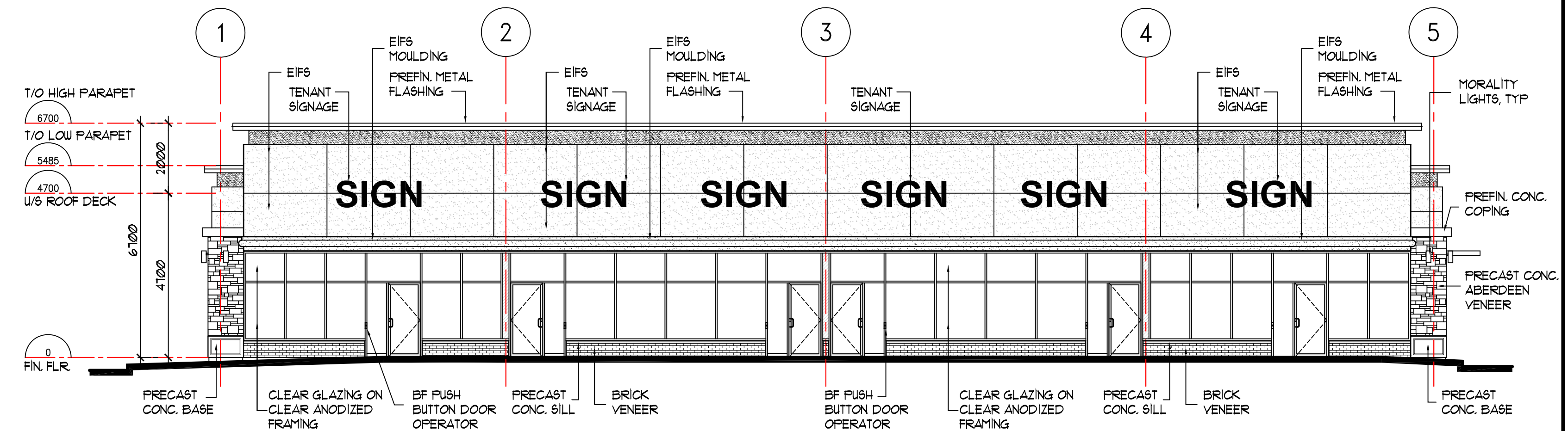
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	DATE	OCT 2025	DWG. NO.
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FILE #: D07-12-25-0157  
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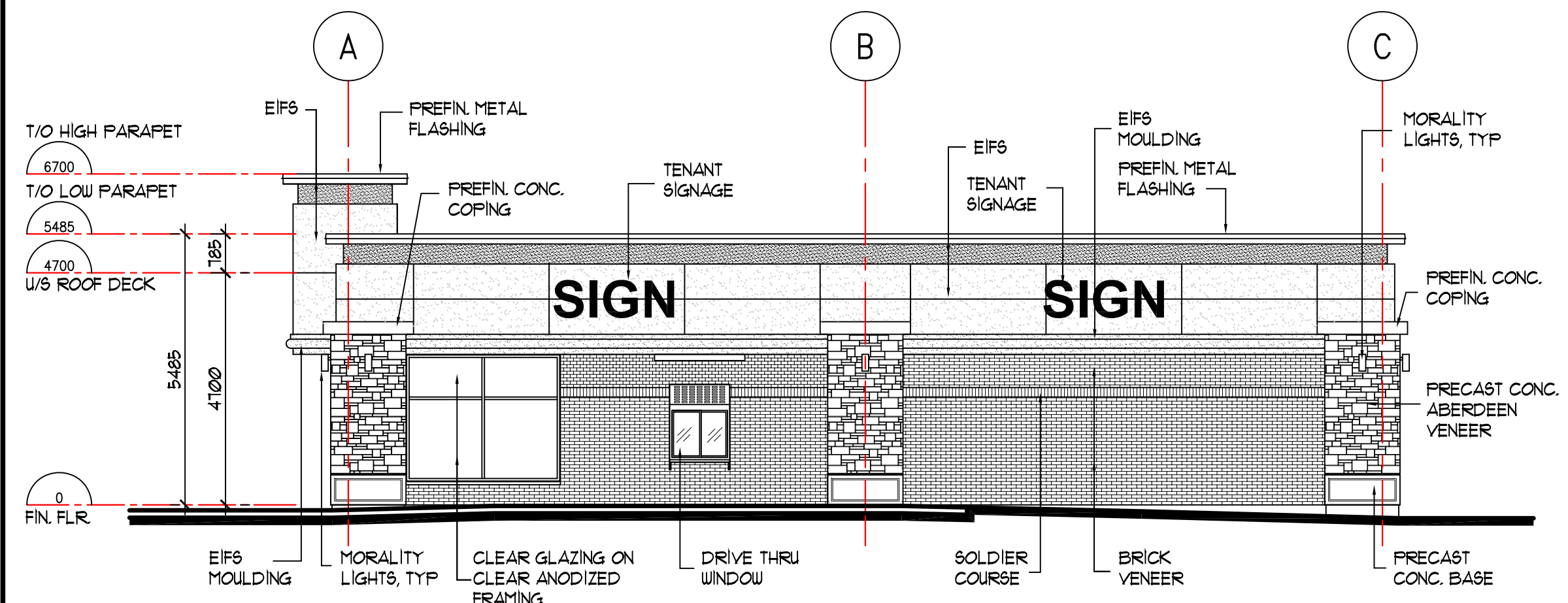
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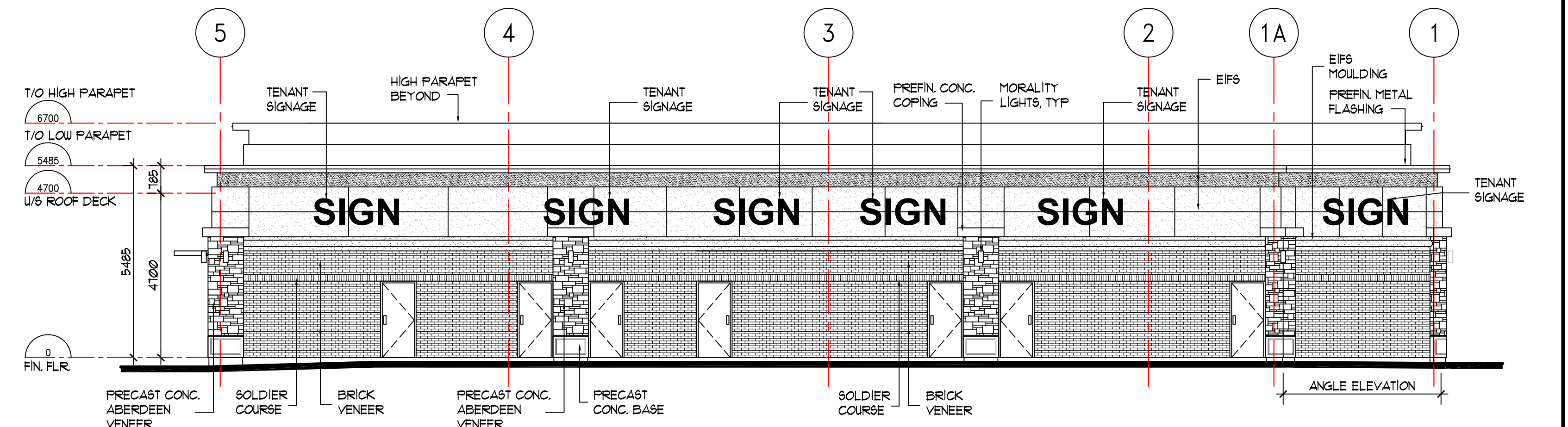
1 NORTH ELEVATION  
A300 SCALE 1 : 100



2 WEST ELEVATION  
A300 SCALE 1 : 100



3 SOUTH ELEVATION  
A300 SCALE 1 : 100



4 EAST ELEVATION  
A300 SCALE 1 : 100

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PROJECT  
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DRAWING TITLE  
ELEVATIONS

	DRAWN	JL	FOLIO
	CHECKED	AB	25078
	DATE	OCT 2025	DWG. NO.
	SCALE		A300

FILE #: D07-12-25-0157  
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