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(416) 596-1930

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(613) 730-5709

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(613) 226-7381

Landscape Architecture

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(613) 722-5168

Noise Consultant

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(613) 688-1899

Transportation Engineering

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DRAWING LIST

- A000 - COVER
- A001 - STATISTICS
- A002A - SURVEY
- A002B - OVERALL PROPERTY LINE
- A003C - SITE PLAN (PH1)
- A101 - PARKING LEVEL 3
- A102 - PARKING LEVEL 2
- A103 - PARKING LEVEL 1
- A104 - GROUND FLOOR PLAN
- A105 - 2nd-6th FLOOR PLAN
- A106 - ROOF PLAN
- A301 - SECTIONS
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- A401 - ELEVATIONS
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- A600 - PERSPECTIVE
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- A602 - PERSPECTIVE
- A603 - PERSPECTIVE
- A604 - PERSPECTIVE

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8201 Campeau Drive Inc.

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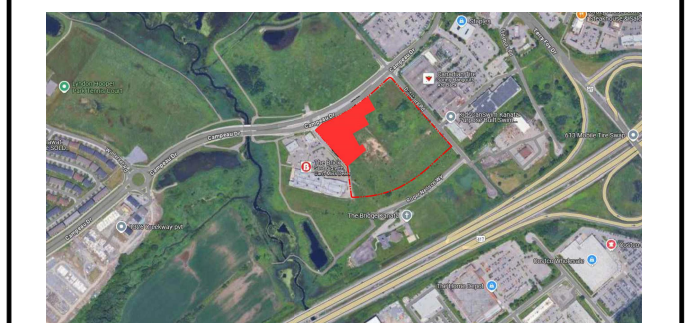
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Arcadis Professional Services (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
01	ISSUED FOR SPC	2025-07-18
02	ISSUED FOR SPC RESUB.	2025-10-03
03	ISSUED FOR SPC RESUB.	2026-04-06

KEY PLAN



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SEAL



ARCADIS

55 St. Clair Avenue West, Toronto,
ON M4V 2Y7, CANADA tel 416 596 1930

PROJECT

8201 Campeau Drive

PROJECT NO:

30259723

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

SCALE

COVER

DATE

SHEET NUMBER

ISSUE

A000

8201 Campeau Dr | Ottawa, Ontario

ARCADIS STATS ARE BASED ON DRAWINGS DATED: Oct. 2025

	sq.m.	sq.ft.
TOTAL LOT AREA:	62285.3	670432.7
PHASE 1 LOT AREA:	12288.5	132272.2
R.O.W ON TAGGART RD. :	1235.4	13297.7
NET PHASE 1 LOT AREA:	11053.1	118974.5
PARKLAND:	1658.0	17846.2
PHASE1 COVERAGE:		39.0%
PHASE1-FLOOR SPACE INDEX:		1.9

Parkland Dedication is 15% of Net Phase 1

	REQUIRED		AMENITY							
	TOTAL AMENITY		COMMUNAL AMENITY*		COMMUNAL AMENITY*		PRIVATE AMENITY		TOTAL AMENITY	
	6M2/UNIT	sq.m.	50% of total required Amenity		Balconies/ Patios				sq.m.	sq.ft.
BLDG A	1,110	11,948	555	5,974	555	5,974	1,191	12,820	1,746	18,794
BLDG B	942	10,140	471	5,070	593	6,383	1,059	11,399	1,652	17,782
PHASE1	2,052	22,088	1026	11,044	1,148	12,357	2,250	24,219	3,398	36,576

* Communal Amenity to be 50% of total required Amenity (2052x50%=1026sm)

FLOOR LEVEL	Floor to Floor Height		PHASE1 OVERALL (above grade)														
			GCA		GCA		GFA		UNIT COUNT	COMMUNAL AMENITY		COMMUNAL AMENITY		PRIVATE AMENITY			
			Outside wall included	Outside wall excluded	COMMERCIAL/RETAIL	RESIDENTIAL	INDOOR	OUTDOOR		BALCONIES/PATIOS							
	(mm)	(ft & inch)	sq.m.	sq.ft.	sq.m.	sq.ft.	sq.m.	sq.ft.	OVERALL	sq.m.	sq.ft.	sq.m.	sq.ft.	sq.m.	sq.ft.		
L-01	4267	13' 12"	4,789	51,546	4,598	49,491	272	2,930	2,676	28,804	42	212	2,282	936	10,075	630	6,781
L-02	3386	11' 1 1/2"	4,237	45,606	4,043	43,518			3,566	38,386	60					270	2,906
L-03	3386	11' 1 1/2"	4,237	45,606	4,043	43,518			3,566	38,386	60					270	2,906
L-04	3386	11' 1 1/2"	4,237	45,606	4,043	43,518			3,566	38,386	60					270	2,906
L-05	3386	11' 1 1/2"	4,237	45,606	4,043	43,518			3,566	38,386	60					270	2,906
L-06	3817	12' 6 1/2"	4,237	45,606	4,043	43,518			3,566	38,386	60					270	2,906
ROOF																270	2,906
SUB-TOTAL	21628		26,090	279,574	24,813	267,084	272	2,930	20,507	220,735	342	212	2,282	936	10,075	2,250	24,219

	GCA per firewall		GCA		GCA		GFA		GFA		UNIT COUNT	COMMUNAL AMENITY		COMMUNAL AMENITY		PRIVATE AMENITY	
	BLDG AA	BLDG AB	sq.m.	sq.ft.	sq.m.	sq.ft.	COMMERCIAL/RETAIL	RESIDENTIAL	INDOOR	OUTDOOR		BALCONIES/PATIOS					
	L-01	1,458	1,432	2,890	31,108	2,776	29,883	272	2,930	2,676	28,804	42	166	1,787	389	4,187	300
L-02	1,414	986	2,401	25,841	2,289	24,642			1,986	21,377	33					149	1,598
L-03	1,414	986	2,401	25,841	2,289	24,642			1,986	21,377	33					149	1,598
L-04	1,414	986	2,401	25,841	2,289	24,642			1,986	21,377	33					149	1,598
L-05	1,414	986	2,401	25,841	2,289	24,642			1,986	21,377	33					149	1,598
L-06	1,414	986	2,401	25,841	2,289	24,642			1,986	21,377	33					149	1,598
ROOF			66	713												149	1,598
TOTAL	8,530	6,364	14,960	161,025	14,223	153,092	272	2,930	11,162	120,147	185	166	1,787	389	4,187	1,191	12,820

	GCA per firewall		GCA		GCA		GFA		GFA		UNIT COUNT	COMMUNAL AMENITY		COMMUNAL AMENITY		PRIVATE AMENITY	
	BLDG BA	BLDG BB	sq.m.	sq.ft.	sq.m.	sq.ft.	COMMERCIAL/RETAIL	RESIDENTIAL	INDOOR	OUTDOOR		BALCONIES/PATIOS					
	L-01	993	906	1,899	20,438	1,822	19,609			1,444	15,543	22	46	495	547	5,888	330
L-02	959	877	1,836	19,765	1,754	18,877			1,580	17,009	27					122	1,308
L-03	959	877	1,836	19,765	1,754	18,877			1,580	17,009	27					122	1,308
L-04	959	877	1,836	19,765	1,754	18,877			1,580	17,009	27					122	1,308
L-05	959	877	1,836	19,765	1,754	18,877			1,580	17,009	27					122	1,308
L-06	959	877	1,836	19,765	1,754	18,877			1,580	17,009	27					122	1,308
ROOF			50	540												122	1,308
TOTAL			11,130	119,802	10,590	113,992			9,345	100,589	157	46	495	547	5,888	1,059	11,399

General Notes:
ALL NUMBERS ARE PRELIMINARY AND SUBJECT TO CHANGE
 The building height to the 6th floor must not exceed 18m

GCA is Gross Constructible Area (means the area enclosed by the building envelope).
 NSA is Net Saleable Area (Includes the residential units measured to the exterior of the outside wall).
 GFA is calculated based on the City of Ottawa Definition copied below.
 *GFA is calculated based on the City of Ottawa Definition copied below.
Gross floor area (GFA) means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:
 (a) floor area occupied by shared mechanical, service and electrical equipment that serve the building; (By-law 2008-326)
 (b) common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings; Part 1 - Administration, Interpretation and Definitions 1 - 24
 City of Ottawa Zoning By-law 2008-250 Consolidation (By-law 2008-326) (By-law 2017-302)
 (c) bicycle parking, motor vehicle parking or loading facilities;
 (d) common laundry, storage and washroom facilities that serve the building or tenants;
 (e) common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
 (f) common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
 (g) living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

Vehicle parking	PH1 Min. parking space required			Parking space provided								
	commercial parking	visitor parking	residential parking	commercial		visitor		residential			Overall parking	
	3.4/100m2	0.2/unit	1/unit	BLDG A	PH1	BLDG A	BLDG B	PH1	BLDG A	BLDG B	PH1	PH1-TOTAL
SURFACE				9	9	10			10			19
P1						56	2		58	0	49	107
P2										67	53	120
P3										69	53	122
TOTAL				9	9	66	2	68	136	155	291	368

UNIT MATRIX		STUDIO	1B	1B+D	2B	3B	TOTAL
UNIT TYPE		±450sf	±600sf	±700sf	±875sf	±1100sf	
Average size							
BLDG A	L-01	0	9	10	1	0	20
	L-02	7	10	12	2	2	33
	L-03	7	10	12	2	2	33
	L-04	7	10	12	2	2	33
	L-05	7	10	12	2	2	33
	L-06	7	10	12	2	2	33
	TOTAL	35	59	70	11	10	185
	UNIT MIX	18.9%	31.9%	37.8%	5.9%	5.4%	100.0%
BLDG B	L-01	1	10	7	3	1	22
	L-02	4	13	8	1	1	27
	L-03	4	13	8	1	1	27
	L-04	4	13	8	1	1	27
	L-05	4	13	8	1	1	27
	L-06	4	13	8	1	1	27
	TOTAL	21	75	47	8	6	157
	UNIT MIX	13.4%	47.8%	29.9%	5.1%	3.8%	100.0%
PHASE 1	OVERALL	56	134	117	19	16	342
	UNIT MIX	16.4%	39.2%	34.2%	5.6%	4.7%	100.0%

Bicycle parking	Required	Proposed
Residential	0.5/units	172
Retail	1/250m2	6
Phase1 Total		178

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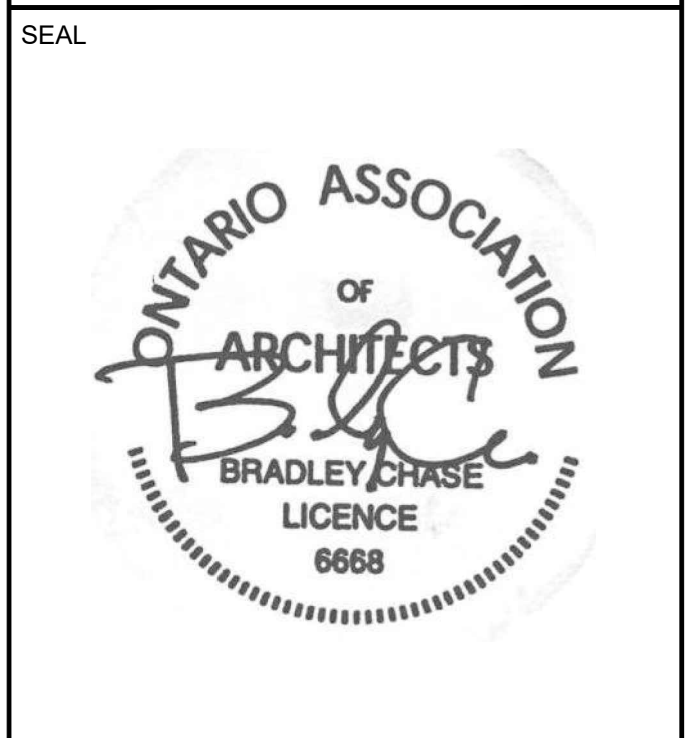
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ARCADIS
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PROJECT
8201 Campeau Drive

PROJECT NO: 30259723

DRAWN BY: CHECKED BY:

PROJECT MGR: APPROVED BY:

SHEET TITLE: STATUS
SCALE: DATE

SHEET NUMBER: A001
ISSUE



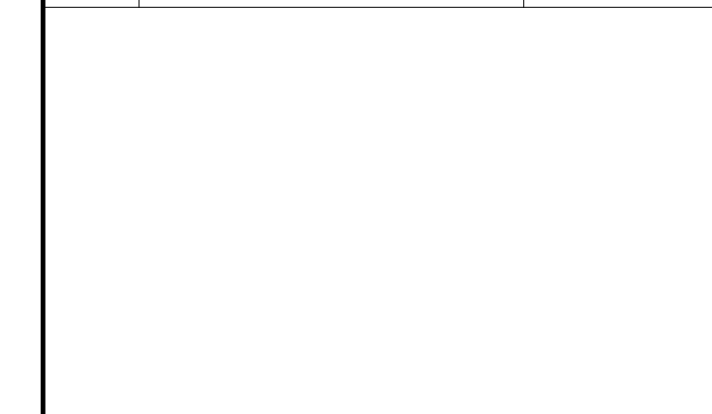
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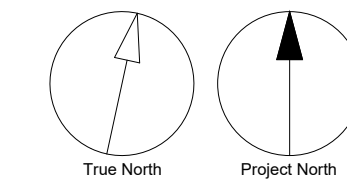
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ON M4V 2Y7, CANADA | tel 416 596 1930

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PROJECT NO: 30259723

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SHEET TITLE OVERALL PROPERTY LINE	SCALE 1:600
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SHEET NUMBER A002b	ISSUE



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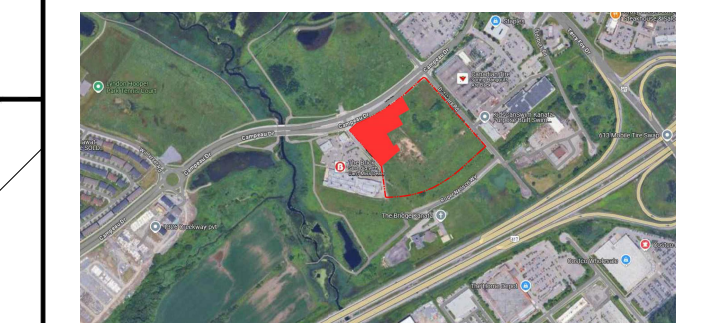
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KEY PLAN



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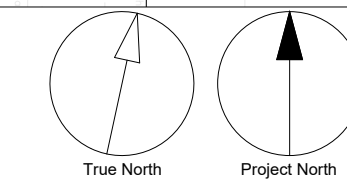
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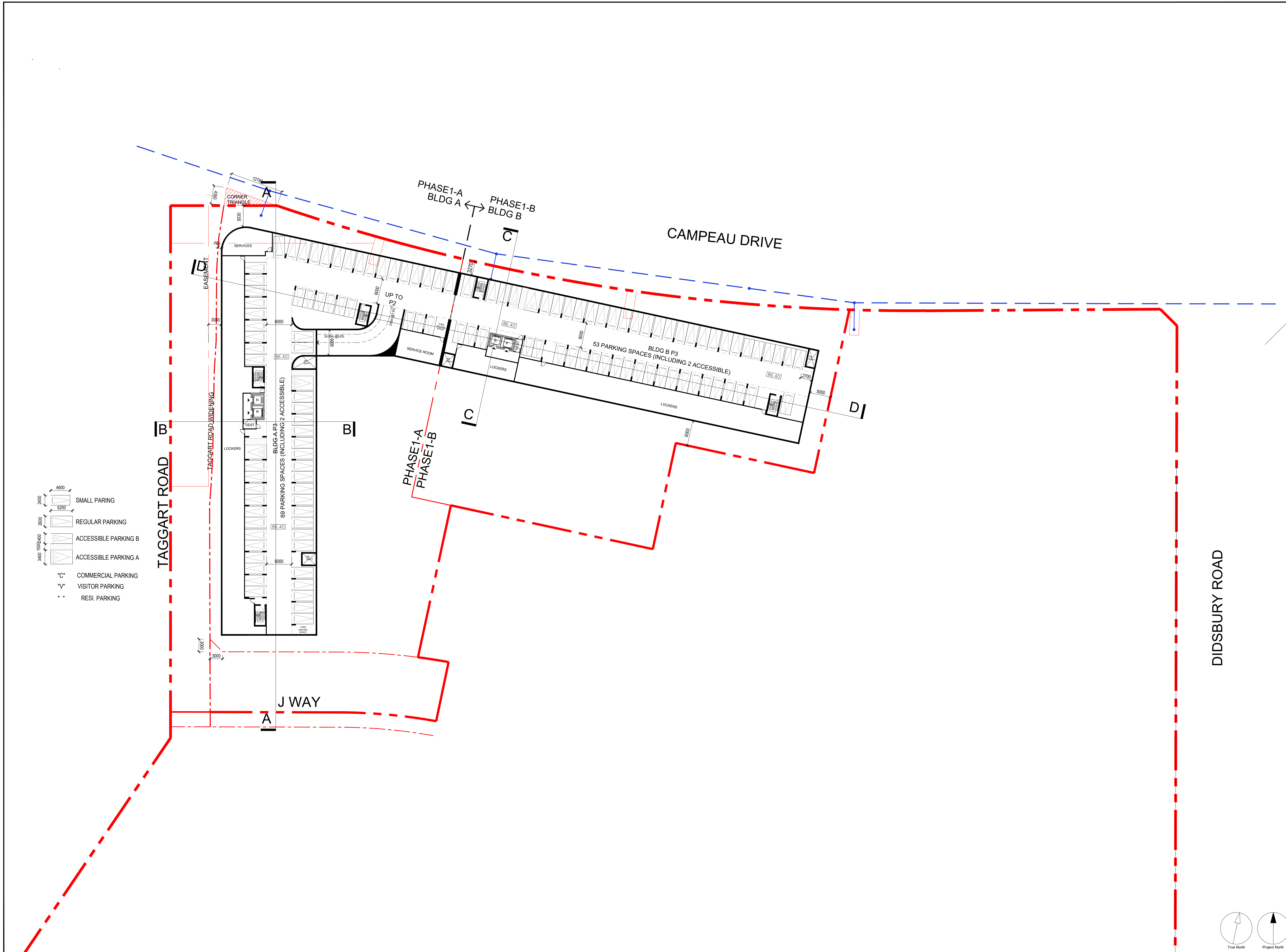
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SHEET TITLE: SCALE: 1:400

SITE PLAN PHASE 1 DATE

SHEET NUMBER: A003C ISSUE





- SMALL PARING
- REGULAR PARKING
- ACCESSIBLE PARKING B
- ACCESSIBLE PARKING A
- COMMERCIAL PARKING
- VISITOR PARKING
- RESI. PARKING

CLIENT

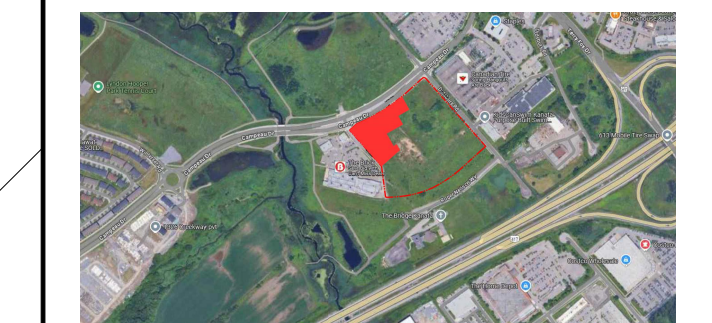
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|--|--|

SEAL



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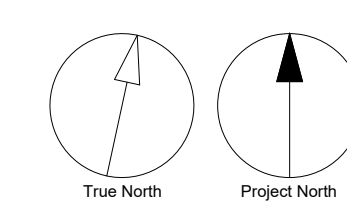
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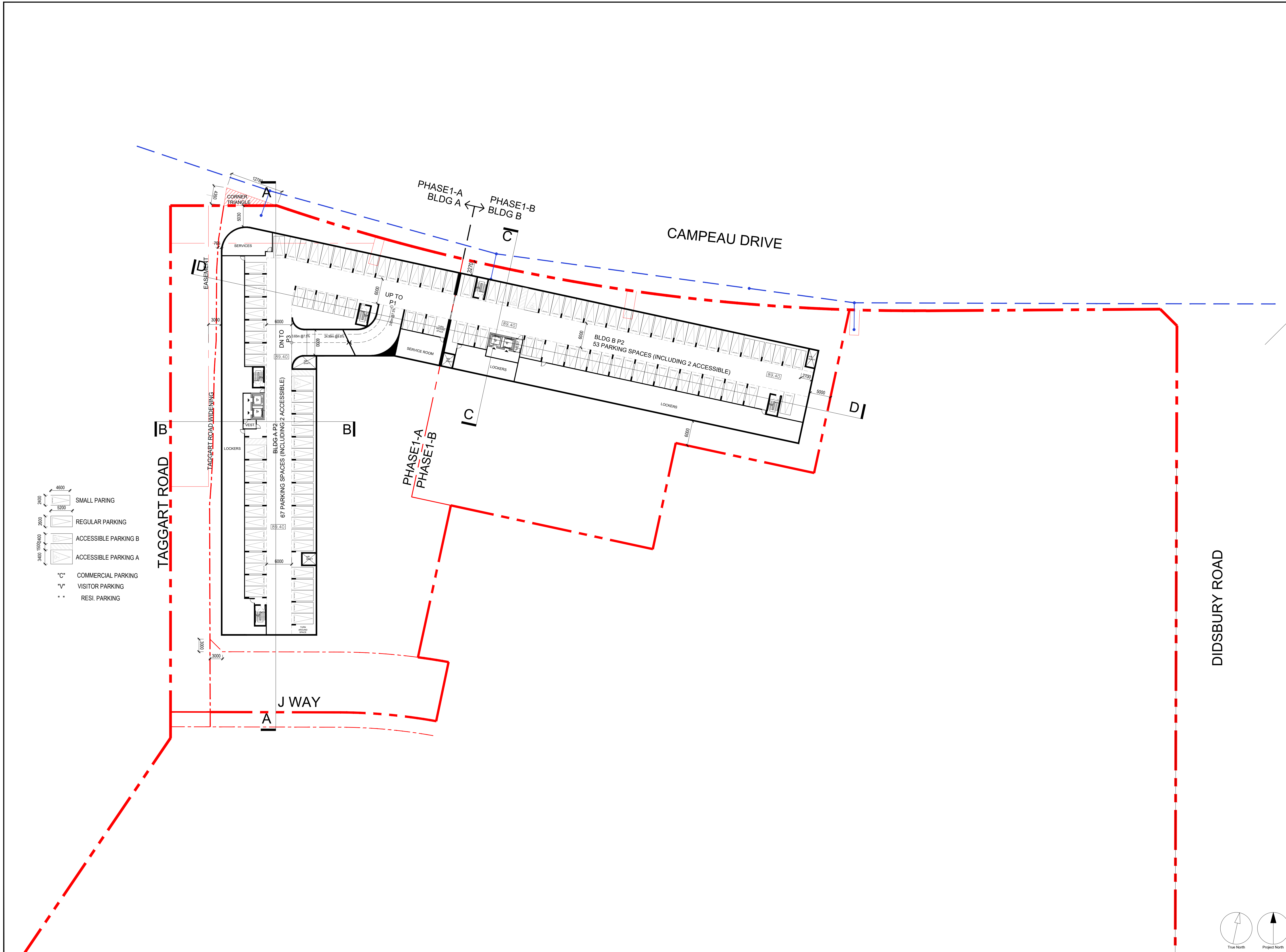
PHASE 1 PARKING LEVEL 3 1:400

SHEET NUMBER DATE

A101 ISSUE



SCALE CHECK 1/10



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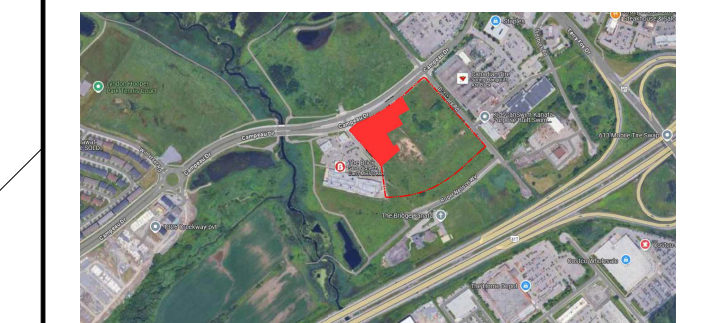
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 Ottawa, ON K1S 3N4
 (613) 721-0555</p> | <p>Noise Consultant
 Paterson Group Inc.
 154 Colomade Road South
 Ottawa, ON K2E 7J5
 (613) 226-7381</p> |
| <p>Planning:
 Fohren Planning + Design
 420 O'Connor Street
 Ottawa, ON K2P 1W4
 (613) 730-5709</p> | <p>Environmental Engineer
 EXP Services Inc.
 100-2650 Quennel Drive
 Ottawa, Ontario K2B 9H6
 (613) 688-1899</p> |
| <p>Geotechnical Engineering:
 Paterson Group Inc.
 154 Colomade Road South
 Ottawa, ON K2E 7J5
 (613) 226-7381</p> | <p>Transportation Engineering
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 (613) 410-8443</p> |

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55 St. Clair Avenue West, Toronto, ON M4V 2Y7, CANADA tel 416 596 1930

PROJECT

8201 Campeau Drive

PROJECT NO: 30259723

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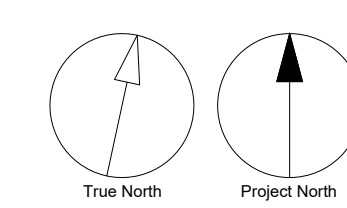
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SHEET TITLE SCALE

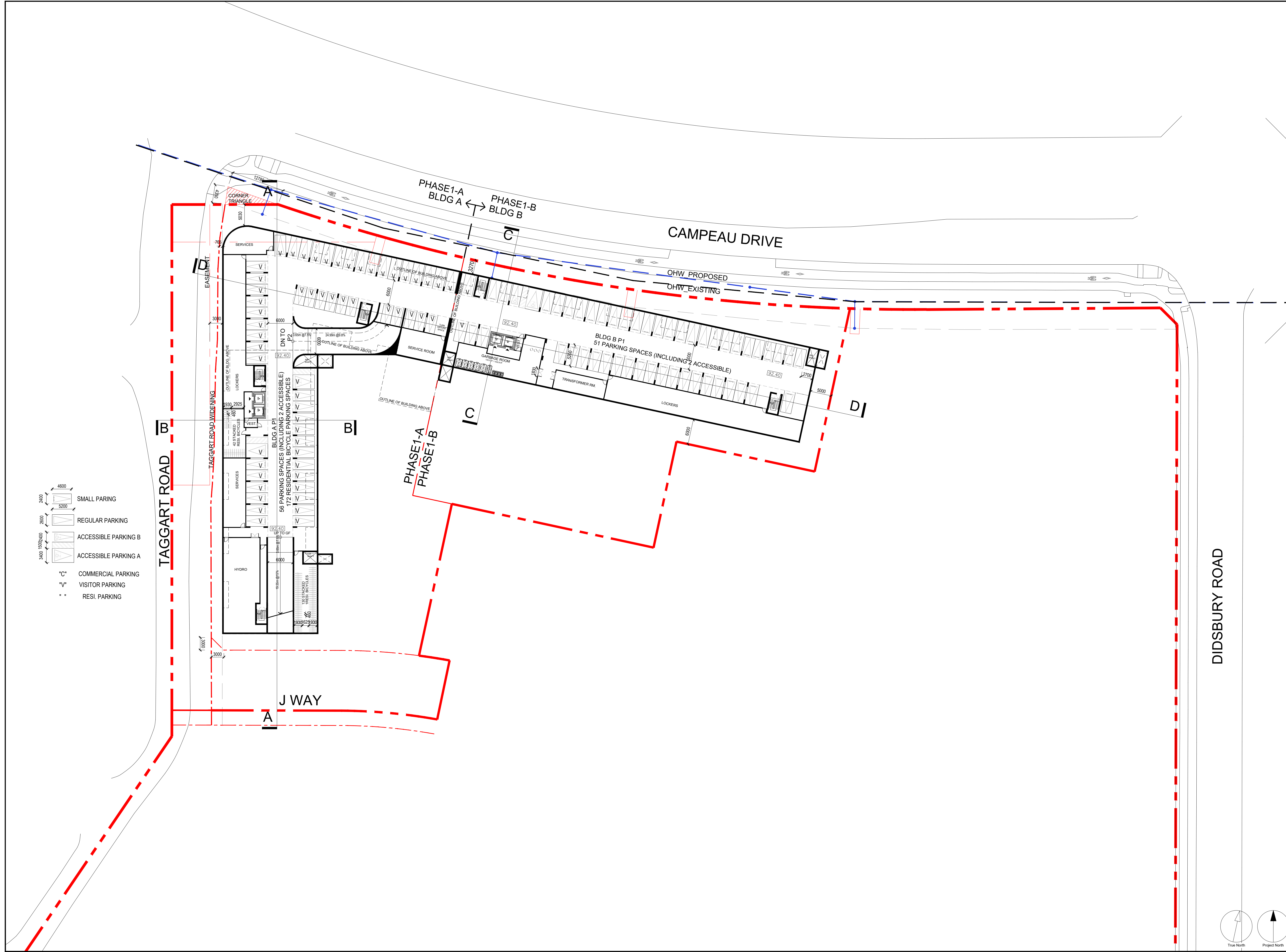
PHASE 1 PARKING LEVEL 2 1:400

SHEET NUMBER DATE

A102 ISSUE



SCALE CHECK 1/10



- SMALL PARING
- REGULAR PARKING
- ACCESSIBLE PARKING B
- ACCESSIBLE PARKING A
- COMMERCIAL PARKING
- VISITOR PARKING
- RESI. PARKING

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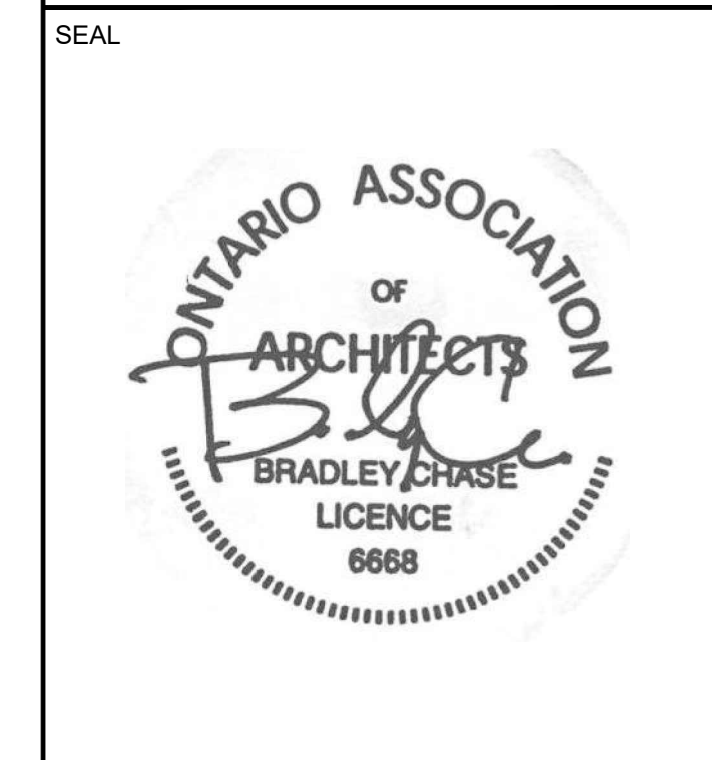
ISSUES

No.	DESCRIPTION	DATE
01	ISSUED FOR SPC	2025-07-18
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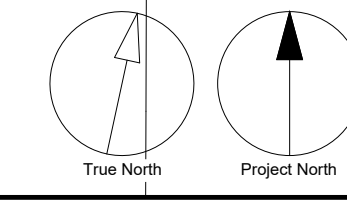
- CONSULTANTS
- | | |
|--|--|
| <p>Architect:
Arcadis
55 St. Clair Ave. West
Toronto, ON M4V 2Y7
(416) 596-1930</p> <p>Civil Engineering:
Arcadis
Suite 500, 333 Preston Street
Oshawa, ON K1G 3M4
(613) 721-0555</p> <p>Planning:
Fotene Planning + Design
420 O'Connor Street
Oshawa, ON K2P 1W4
(613) 730-5709</p> <p>Geotechnical Engineering:
Paterson Group Inc.
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Oshawa, ON K2E 7J5
(613) 226-7381</p> | <p>Landscape Architecture
James B. Lennox & Associates Inc.
3332 Carling Avenue
Oshawa, ON K2H 6A8
(613) 722-5168</p> <p>Noise Consultant
Paterson Group Inc.
154 Colomade Road South
Oshawa, ON K2E 7J5
(613) 226-7381</p> <p>Environmental Engineer
EXP Services Inc.
100-2650 Quakersview Drive
Oshawa, Ontario K2B 9H6
(613) 688-1899</p> <p>Transportation Engineering
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PROJECT MGR: APPROVED BY:

SHEET TITLE: PHASE 1 PARKING LEVEL 1
SHEET NUMBER: A103
SCALE: 1:400
DATE:
ISSUE





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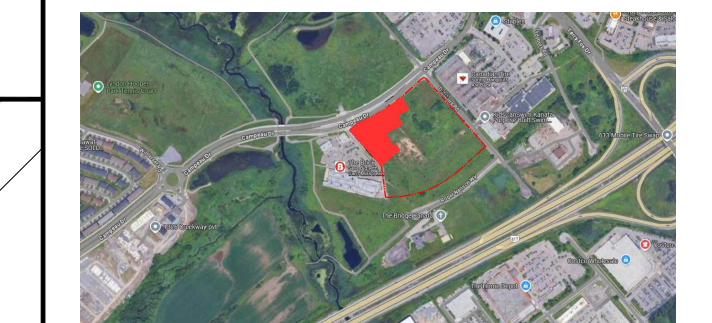
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	03	ISSUED FOR SPC RESUB.	2026-04-06

KEY PLAN



CONSULTANTS

<p>Architect: Arcadis 55 St. Clair Ave. West Toronto, ON M4V 2Y7 (416) 596-1930</p> <p>Civil Engineering: Arcadis Suite 500, 333 Preston Street Ottawa, ON K1S 1N4 (613) 721-0555</p> <p>Planning: Folex Planning + Design 420 O'Connor Street Ottawa, ON K2P 1Y4 (613) 730-5709</p> <p>Geotechnical Engineering: Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J5 (613) 226-7381</p>	<p>Landscape Architecture James B. Lennox & Associates Inc. 3332 Carling Avenue Ottawa, ON K2H 6A8 (613) 722-5168</p> <p>Noise Consultant Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J5 (613) 226-7381</p> <p>Environmental Engineer EXP Services Inc. 100-2650 Quennestown Drive Ottawa, Ontario K2B 9H6 (613) 688-1899</p> <p>Transportation Engineering CGH Transportation 6 Plaza Court Ottawa, ON K2H 7W1 (613) 410-8243</p>
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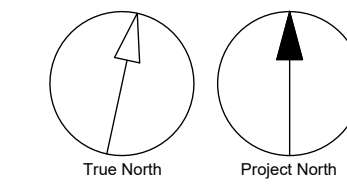
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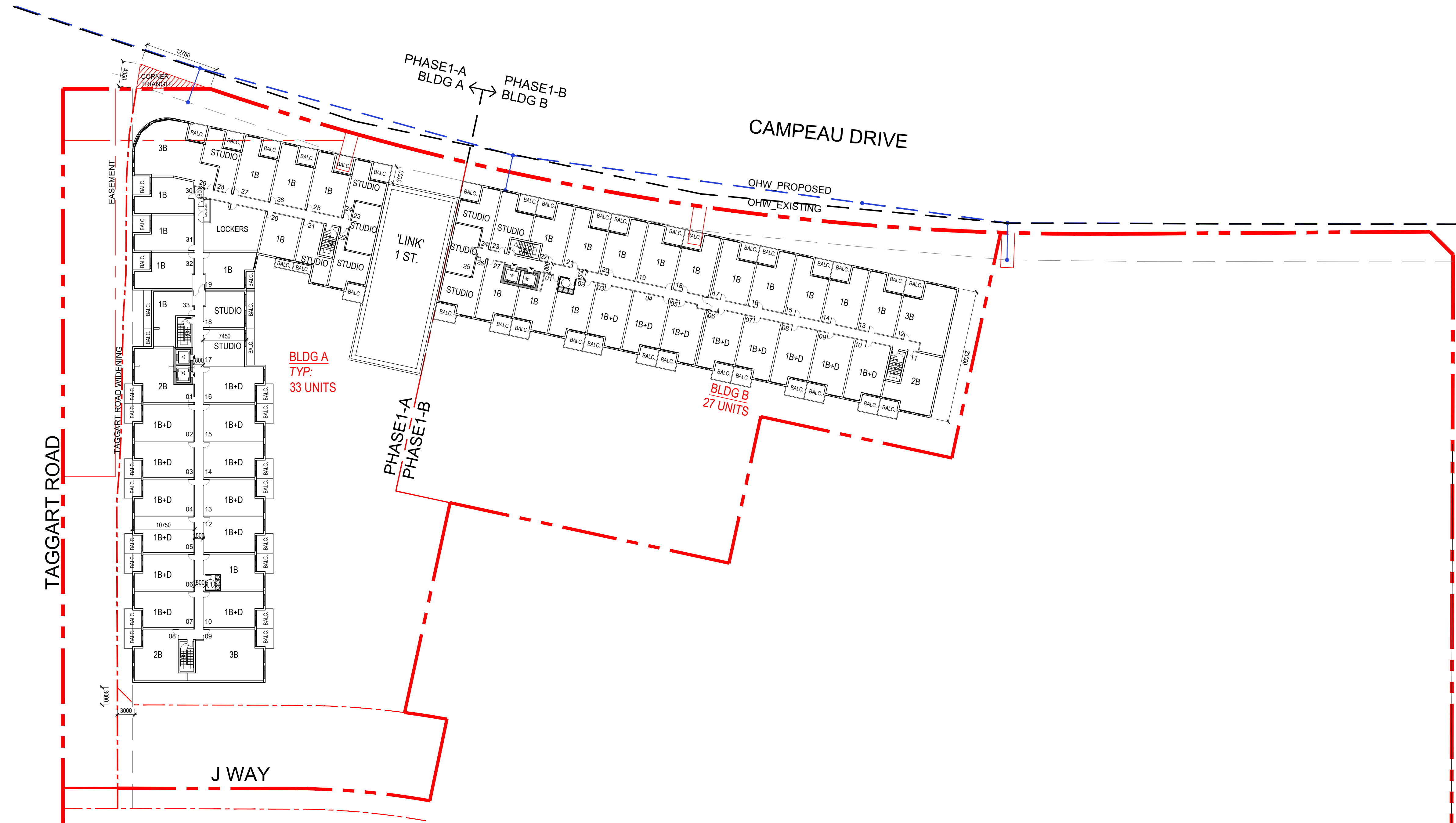
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SHEET NUMBER / **DATE**
 A104 /

ISSUE



SCALE CHECK 1/10m



BLDG A
TYP:
33 UNITS

BLDG B
27 UNITS

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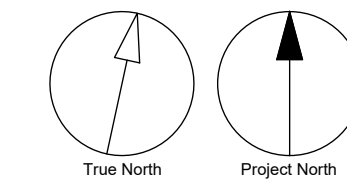
- CONSULTANTS
- | | |
|--|--|
| <p>Architect:
Arcadis
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Toronto, ON M4V 2Y7
(416) 596-1930</p> <p>Civil Engineering:
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Suite 500, 333 Preston Street
Ottawa, ON K1S 3N4
(613) 721-0555</p> <p>Planning:
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(613) 730-5709</p> <p>Geotechnical Engineering:
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(613) 226-7381</p> | <p>Landscape Architecture
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Paterson Group Inc.
154 Colomade Road South
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(613) 226-7381</p> <p>Environmental Engineer
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PROJECT NO: 30259723
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SHEET TITLE PHASE 1 2ND-6TH FLOOR	SCALE 1:400
	DATE
SHEET NUMBER A105	ISSUE





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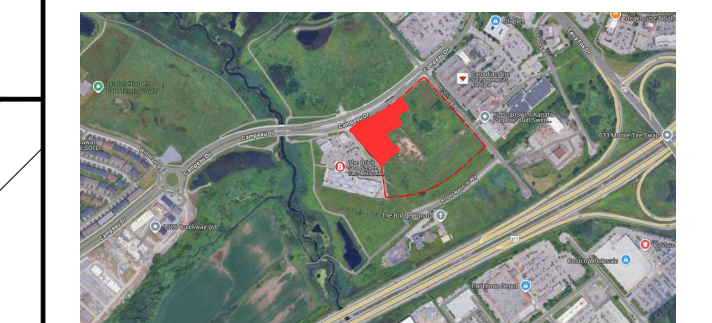
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KEY PLAN



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| <p>Architect:
 Arcadis
 55 St. Clair Ave. West
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 (416) 596-1930</p> <p>Civil Engineering:
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 Ottawa, ON K1S 1M4
 (613) 721-0555</p> <p>Planning:
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 (613) 688-1899</p> <p>Transportation Engineering
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 (613) 410-8243</p> |
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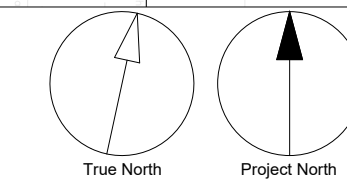
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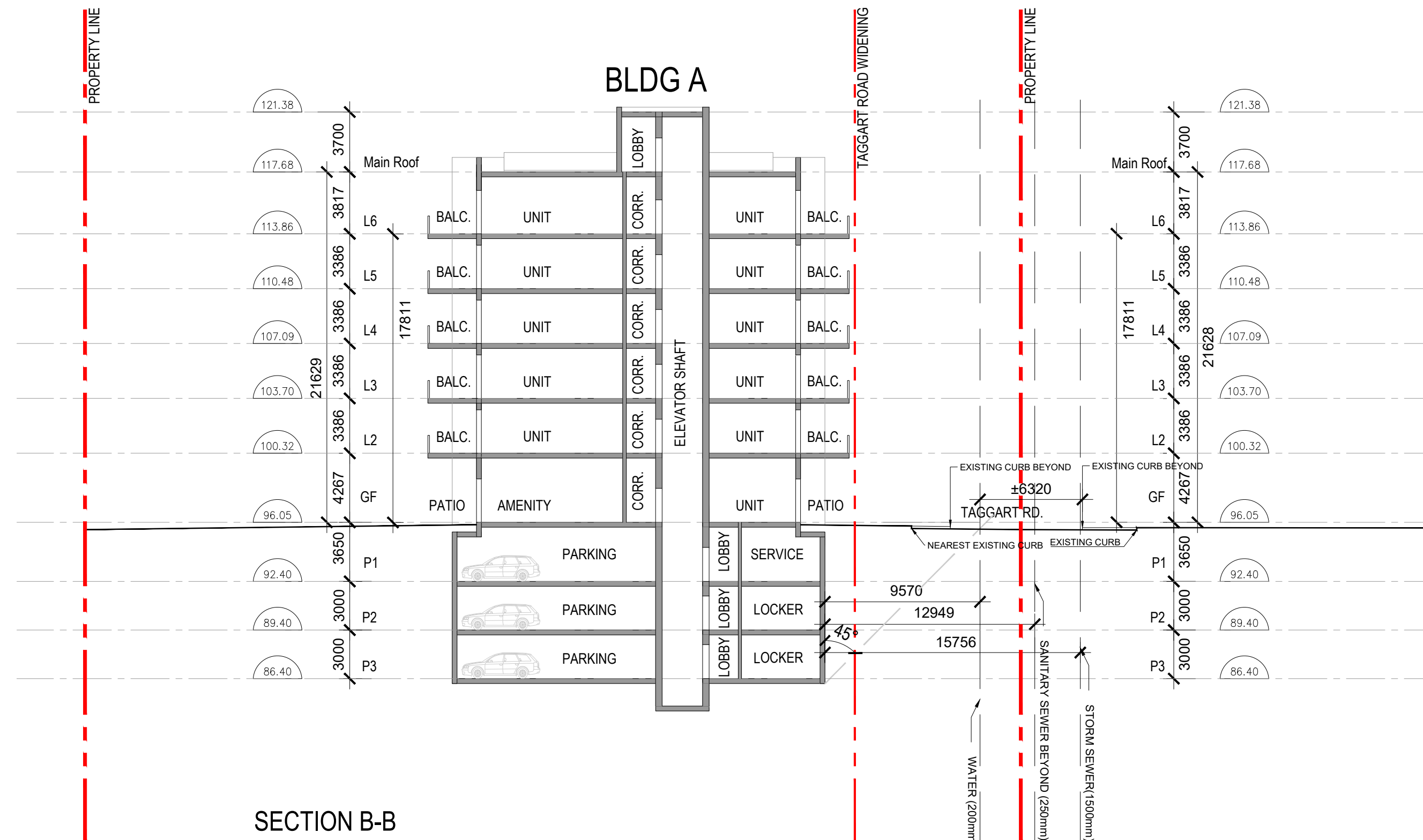
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PROJECT MGR: APPROVED BY:

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SHEET NUMBER: A106
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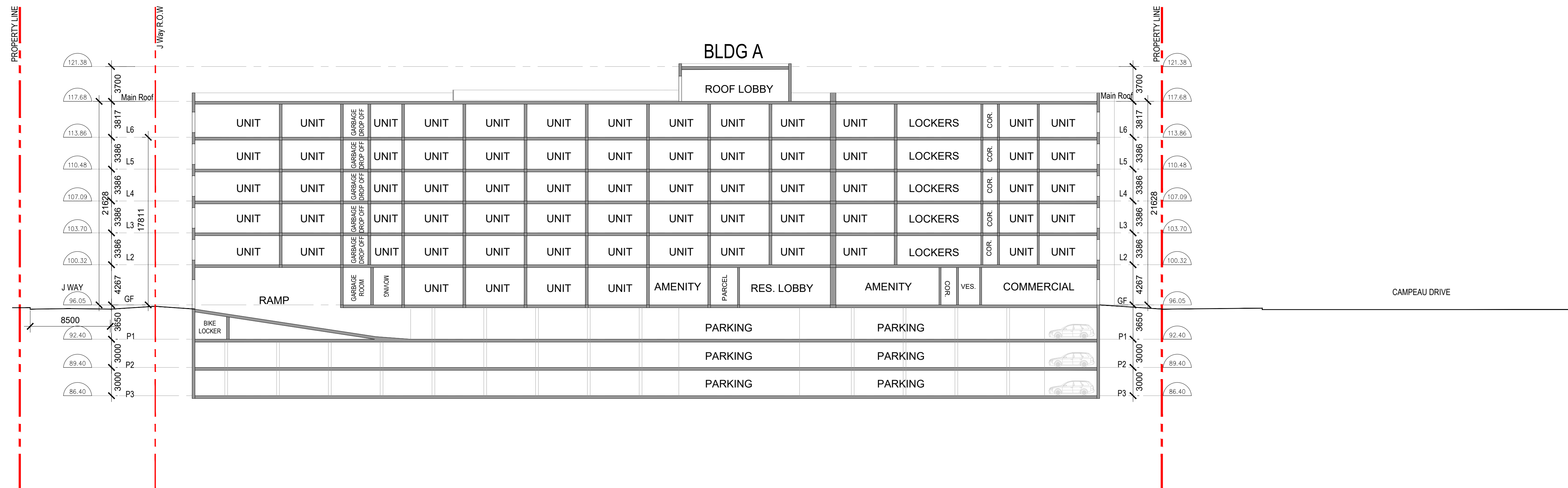




SECTION B-B

Note: utility show as notion, locations and details to be confirmed by the Civil.

SECTION B-B



SECTION A-A

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KEY PLAN



CONSULTANTS

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<p>Civil Engineering: Arcadis Suite 500, 333 Preston Street Ottawa, ON K2E 7J2 (613) 721-0555</p>	<p>Noise Consultant Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J2 (613) 226-7381</p>
<p>Planning: Fotenn Planning + Design 420 O'Connor Street Ottawa, ON K2P 1W4 (613) 730-5709</p>	<p>Environmental Engineer EXP Services Inc. 100-2650 Queensview Drive Ottawa, Ontario K2B 9H6 (613) 688-1899</p>
<p>Geotechnical Engineering: Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J2 (613) 226-7381</p>	<p>Transportation Engineering CGH Transportation 6 Plaza Court Ottawa, ON K2H 7N1 (613) 410-8443</p>

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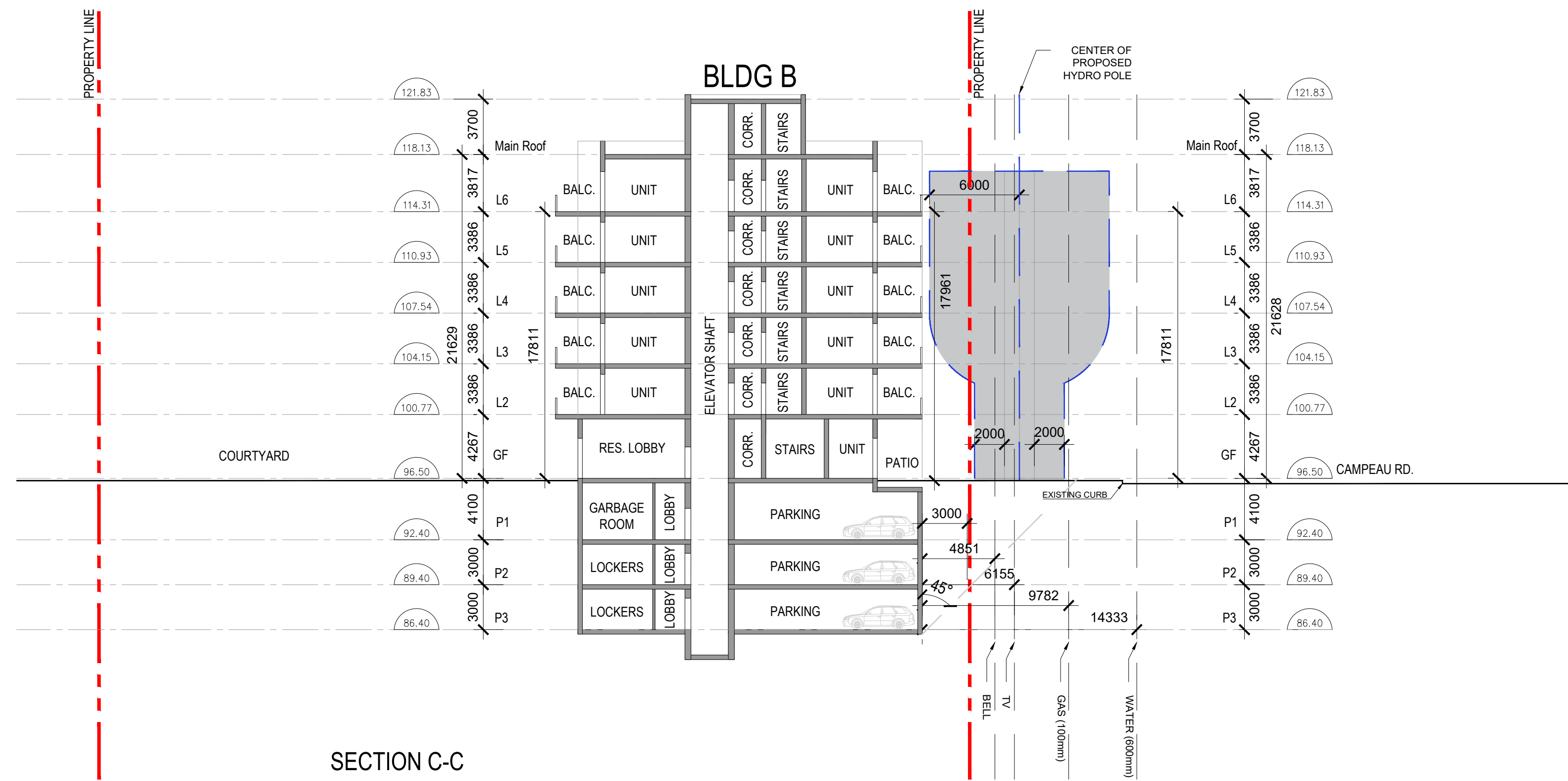
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SHEET TITLE: SECTIONS
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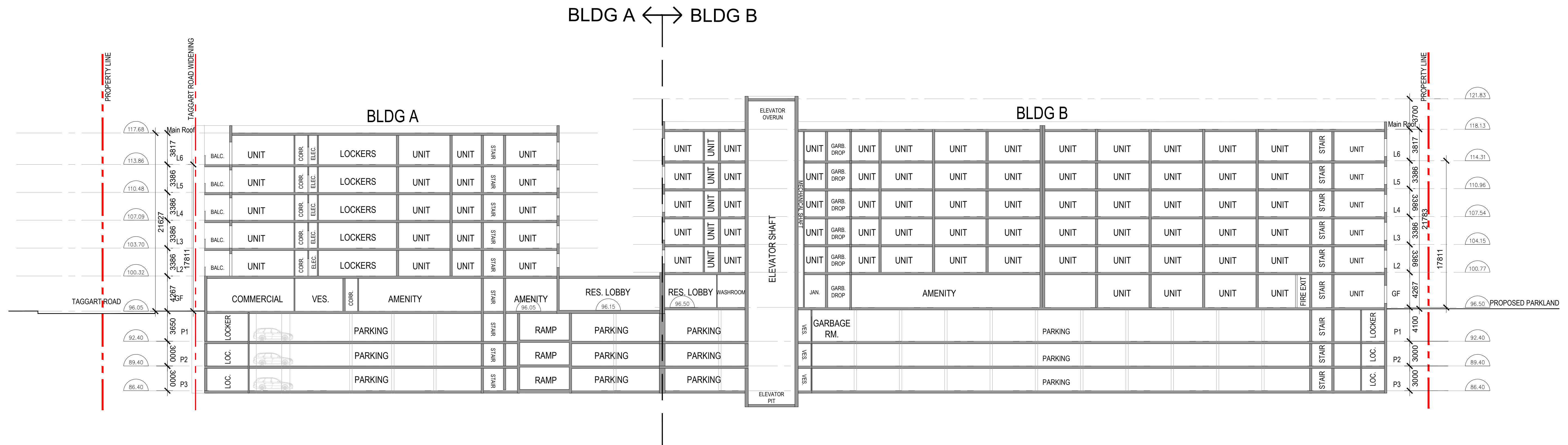
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ISSUE:



SECTION C-C

Note: utility show as notion, locations and details to be confirmed by Civil.

SECTION C-C



SECTION D-D

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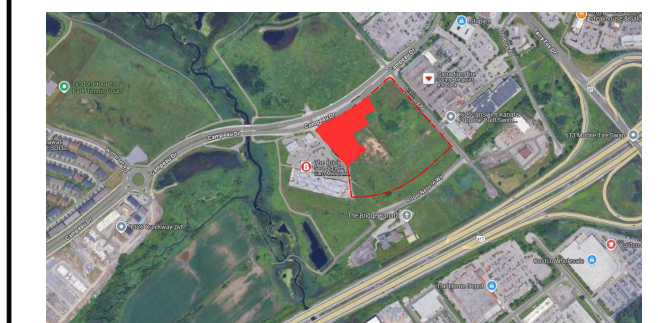
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KEY PLAN



CONSULTANTS

- | | |
|--|--|
| Architect:
Arcadis
55 St. Clair Ave. West
Toronto, ON M4V 2Y7
(416) 596-1930 | Landscpe Architecture
James B. Lennox & Associates Inc.
3332 Carling Avenue
Ottawa, ON K2H 6A8
(613) 722-5168 |
| Civil Engineering:
Arcadis
Suite 500, 333 Preston Street
Channah, ON K2E 7J5
(613) 721-0555 | Noise Consultant
Paterston Group Inc.
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Channah, ON K2E 7J5
(613) 226-7381 |
| Planning:
Fotenn Planning + Design
420 O'Connor Street
Channah, ON K2E 7J5
(613) 730-5709 | Environmental Engineer
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| Geotechnical Engineering:
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(613) 226-7381 | Transportation Engineering
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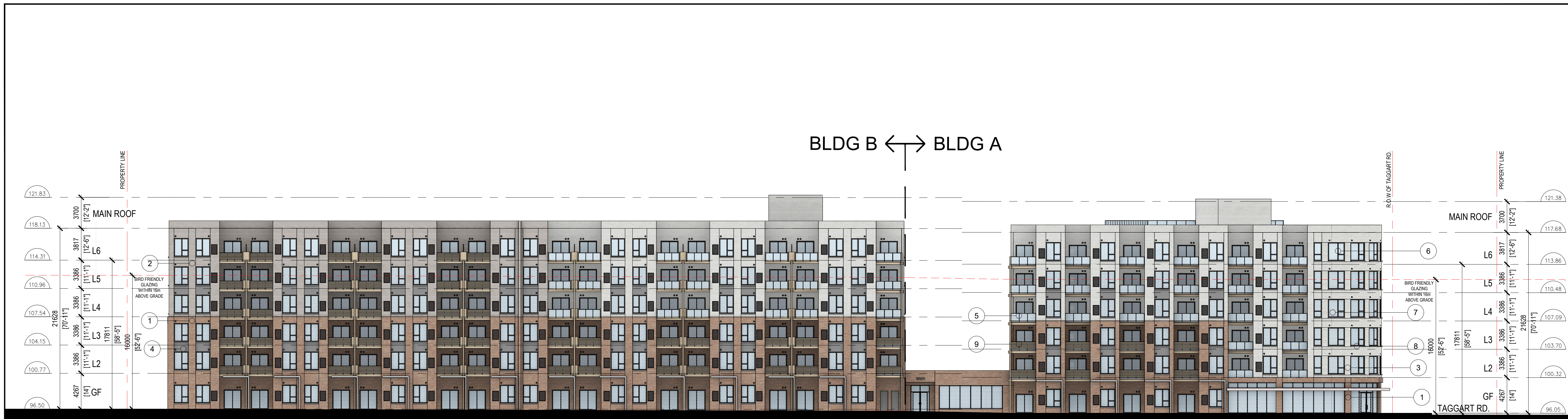
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PROJECT MGR: **APPROVED BY:**

SHEET TITLE **SCALE**
SECTIONS 1:250

DATE

SHEET NUMBER **ISSUE**
A302



NORTH ELEVATION FROM CAMPEAU DRIVE

MATERIAL LEGEND

1. MASONRY VENEER
2. FIBRE CEMENT PANEL GREY RED
3. FIBRE CEMENT PANEL BLUE GREY
4. METAL PANEL - DARK GRAY
5. ALUMINUM RAILING
6. ALUMINUM MULLIONS
7. VISION GLASS
8. PRECAST CONCRETE WINDOW SILL
9. WOOD



WEST ELEVATION FROM TAGGART ROAD

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KEY PLAN



CONSULTANTS

<p>Architect: Arcadis 55 St. Clair Ave. West Toronto, ON M4V 2Y7 (416) 596-1930</p>	<p>Landscape Architecture James B. Lennox & Associates Inc. 3332 Carling Avenue Ottawa, ON K2H 6A8 (613) 722-5168</p>
<p>Civil Engineering: Arcadis Suite 500, 333 Preston Street Ottawa, ON K1S 3N4 (613) 721-0555</p>	<p>Noise Consultant Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J5 (613) 226-7381</p>
<p>Planning: Fotene Planning + Design 420 O'Connor Street Ottawa, ON K2P 1W4 (613) 730-5709</p>	<p>Environmental Engineer EXP Services Inc. 100-2650 Queensview Drive Chesham, Ontario K2B 5R6 (613) 688-1899</p>
<p>Geotechnical Engineering: Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J5 (613) 226-7381</p>	<p>Transportation Engineering CGH Transportation 6 Plaza Court Ottawa, ON K2H 7W1 (613) 410-8443</p>

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PROJECT NO: 30259723

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SHEET TITLE: ELEVATIONS
SCALE: 1:250
DATE:

SHEET NUMBER: A401
ISSUE:



SOUTH ELEVATION FROM J WAY

MATERIAL LEGEND

1. MASONRY VENEER
2. FIBRE CEMENT PANEL GREY RED
3. FIBRE CEMENT PANEL BLUE GREY
4. METAL PANEL - DARK GRAY
5. ALUMINUM RAILING
6. ALUMINUM MULLIONS
7. VISION GLASS
8. PRECAST CONCRETE WINDOW SILL
9. WOOD



EAST ELEVATION FROM PARKLAND

CLIENT

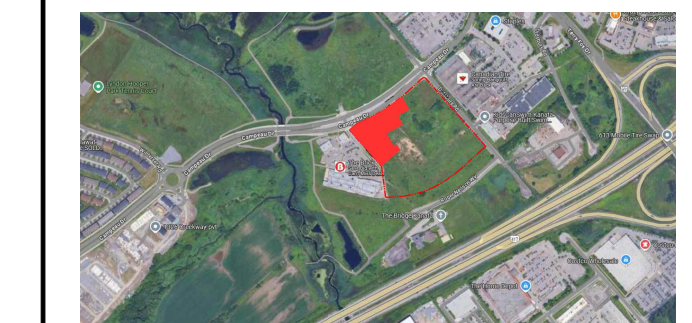
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KEY PLAN



CONSULTANTS

<p>Architect: Arcadis 55 St. Clair Ave. West Toronto, ON M4V 2Y7 (416) 596-1930</p>	<p>Landscape Architecture James B. Lennox & Associates Inc. 3332 Carling Avenue Ottawa, ON K2H 6A8 (613) 722-5168</p>
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<p>Planning: Fohren Planning + Design 420 O'Connor Street Ottawa, ON K2P 1W4 (613) 730-5709</p>	<p>Environmental Engineer EXP Services Inc. 100-2650 Queensview Drive Ottawa, Ontario K2B 9H6 (613) 688-1899</p>
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03	ISSUED FOR SPC RESUB.	2026-04-06

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CONSULTANTS

Architect: Arcadis 55 St. Clair Ave. West Toronto, ON M4V 2Y7 (416) 596-1930	Landscape Architecture James B. Lennox & Associates Inc. 3332 Carling Avenue Ottawa, ON K2H 6A8 (613) 722-5168
Civil Engineering: Arcadis Suite 500, 333 Preston Street Ottawa, ON K1S 1N4 (613) 721-0555	Noise Consultant Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J2 (613) 226-7381
Planning: Fotens Planning + Design 420 O'Connor Street Ottawa, ON K2P 1Y4 (613) 730-5709	Environmental Engineer EXP Services Inc. 100-2650 Queensview Drive Ottawa, Ontario K2B 9H6 (613) 688-1899
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No.	DESCRIPTION	DATE
01	ISSUED FOR SPC	2025-07-18
02	ISSUED FOR SPC RESUB.	2025-10-03
03	ISSUED FOR SPC RESUB.	2026-04-06

KEY PLAN



CONSULTANTS

<p>Architect: Arcadis 55 St. Clair Ave. West Toronto, ON M4V 2Y7 (416) 596-1930</p> <p>Civil Engineering: Arcadis Suite 500, 333 Preston Street Channah, ON K1S 1N4 (613) 721-0555</p> <p>Planning: Fotene Planning + Design 420 O'Connor Street Channah, ON K2P 1W4 (613) 730-5709</p> <p>Geotechnical Engineering: Paterson Group Inc. 154 Colomade Road South Channah, ON K2E 7J5 (613) 226-7381</p>	<p>Landscape Architecture James B. Lennox & Associates Inc. 3332 Carling Avenue Channah, ON K2B 6A8 (613) 722-5168</p> <p>Noise Consultant Paterson Group Inc. 154 Colomade Road South Channah, ON K2E 7J5 (613) 226-7381</p> <p>Environmental Engineer EXP Services Inc. 100-2650 Quakerview Drive Channah, Ontario K2B 9H6 (613) 688-1899</p> <p>Transportation Engineering CGH Transportation 6 Plaza Court Channah, ON K2H 7N1 (613) 410-8443</p>
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ON M4V 2Y7, CANADA | tel 416 596 1930

PROJECT

8201 Campeau Drive

PROJECT NO: 30259723

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SHEET NUMBER	ISSUE
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CONSULTANTS

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<p>Civil Engineering: Arcadis Suite 500, 353 Preston Street Ottawa, ON K1S 1N4 (613) 721-0555</p>	<p>Noise Consultant Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J5 (613) 226-7381</p>
<p>Planning: Fotens Planning + Design 420 O'Connor Street Ottawa, ON K2P 1W4 (613) 730-5709</p>	<p>Environmental Engineer EXP Services Inc. 100-2650 Quennel Drive Ottawa, Ontario K2B 9H6 (613) 688-1899</p>
<p>Geotechnical Engineering: Paterson Group Inc. 154 Colomade Road South Ottawa, ON K2E 7J5 (613) 226-7381</p>	<p>Transportation Engineering CPH Transportation 6 Plaza Court Ottawa, ON K2H 7W1 (613) 410-8443</p>

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03	ISSUED FOR SPC RESUB.	2026-04-06

KEY PLAN



CONSULTANTS

<p>Architect: Arcadis 55 St. Clair Ave. West Toronto, ON M4V 2Y7 (416) 596-1930</p> <p>Civil Engineering: Arcadis Suite 500, 333 Preston Street Channah, ON K1S 1N4 (613) 721-0555</p> <p>Planning: Fotens Planning + Design 420 O'Connor Street Channah, ON K2P 1W4 (613) 730-5709</p> <p>Geotechnical Engineering: Paterson Group Inc. 154 Colomade Road South Channah, ON K2E 7J5 (613) 226-7381</p>	<p>Landscape Architecture James B. Lennox & Associates Inc. 3332 Carling Avenue Channah, ON K2B 6A8 (613) 722-5168</p> <p>Noise Consultant Paterson Group Inc. 154 Colomade Road South Channah, ON K2E 7J5 (613) 226-7381</p> <p>Environmental Engineer EXP Services Inc. 100-2650 Quakerview Drive Channah, Ontario K2B 9H6 (613) 688-1899</p> <p>Transportation Engineering CGH Transportation 6 Plaza Court Channah, ON K2A 7W1 (613) 410-8443</p>
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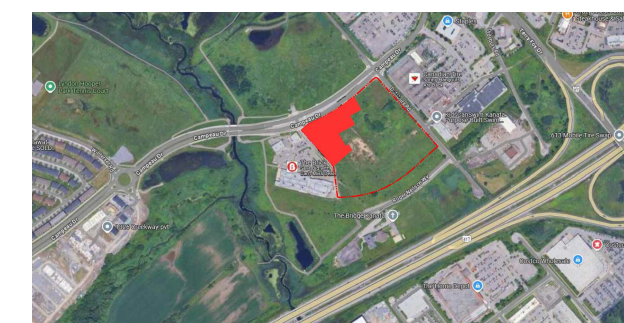
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